

BAL HARBOUR

- VILLAGE -

Reinaldo Borges, Chair
Elizabeth Camargo, Board Member
Jose L. Gomez, Board Member
Nathan VanDeman, Board Member
David Koplowitz, Board Member

Village Manager Jorge M. Gonzalez
Village Clerk Dwight S. Danie
Building Director Eliezer Palacio
Village Attorneys Weiss Serota
Helfman Cole & Bierman, PA

ARCHITECTURAL REVIEW BOARD

REGULAR MEETING AGENDA

JULY 11, 2024

AT 1:00 P.M.

Bal Harbour Village Hall • 655 - 96th Street • Bal Harbour • Florida 33154

This meeting will be conducted in-person. The meeting will also be broadcast on the Village's website (www.balharbourfl.gov) and members of the public are encouraged to participate by calling 305-865-6449 by emailing meetings@balharbourfl.gov before and during the meeting.

1 CALL TO ORDER / ROLL CALL

2 PLEDGE OF ALLEGIANCE

3 APPROVAL OF MINUTES

3.1 ARB Minutes - June 21, 2024
[Architectural Review Board Minutes June21_2024.pdf](#)

4 ARB-HEARINGS - *Please be advised that the following item on the agenda is quasi-judicial in nature. If you wish to comment upon an item, please inform the Chairman when he asks for public input on the item. An opportunity for persons to speak will be made available after the applicant and staff has made their presentations on each item. All testimony, including public testimony and evidence, will be made under oath or affirmation. Additionally, each person who gives testimony may be subject to cross-examination. If you refuse either to be cross-examined or to be sworn, your testimony will be given its due weight. The general public will not be permitted to cross-examine witnesses, but the public may request the Architectural Review Board to ask questions of staff or witnesses on their behalf. Persons representing organizations must present evidence of their authority to speak for their organization. Further details of the quasi-judicial procedures may be obtained from the Clerk.*

(Disclosure of Ex-Parte Communications)

(Swearing-In by Village Clerk)

4.1 ARB-23-06-001

10185 Collins Ave., Bal Harbour FL, 33154

Architect(s): Ann Jackaway Architecture, Inc.

Owners: The Association for the Plaza of Bal Harbour Condominium, Inc.

Replacement of doors, windows, balcony railings & concrete restoration- 50-yr cert.

[1- 10185_Collins_Ave_ARB_MEMO-7-11-24.pdf](#)

[2- 10185 COLLINS AVE- ARB-23-06-001-POWERPOINT PRESENTATION \(CL\).pdf](#)

[3- 10185 COLLINS AVE - ARB-23-06-001 - APPLICATION.pdf](#)

[4- 10185 COLLINS AVE - ARB-23-06-001 - NARRATIVE.pdf](#)

[5- 10185 COLLINS AVE - ARB-23-06-001 - PROPERTY APPRAISER PRINTOUT.pdf](#)

5 OTHER BUSINESS

6 PUBLIC COMMENT

7 ADJOURNMENT

One or more members of any Village Committee/Board may attend this meeting of the Council and may discuss matters which may later come before their respective Boards/Committees. The New Business and Council Discussion Section includes a section for Public Comment. On public comment matters, any person is entitled to be heard by this Council on any matter; however, no action shall be taken by the Council on a matter of public comment, unless the item is specifically listed on the agenda, or is added to the agenda by Council action.

Any person who acts as a lobbyist, pursuant to Village Code Section 2-301 (Lobbyists), must register with the Village Clerk, prior to engaging in lobbying activities before Village staff, boards, committees, and/or the Village Council. A copy of the Ordinance is available in the Village Clerk's Office at Village Hall. If a person decides to appeal any decision made by the Village Council with respect to any matter considered at a meeting or hearing, that person will need a record of the proceedings and, for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (F.S. 286.0105).

In accordance with the Americans with Disabilities Act of 1990, all persons who are disabled and who need special accommodations to participate in this proceeding because of that disability should contact the Village Clerk's Office (305-866-4633), not later than two business days prior to such proceeding. All Village Council meeting attendees, including Village staff and consultants, are subject to security screening utilizing a metal detector and/or wand, prior to entering the Council Chamber, Conference Room, or other meeting area located within Village Hall. This is for the safety of everyone. Thanks for your cooperation.

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ARCHITECTURAL REVIEW BOARD

REGULAR MEETING AGENDA

JUNE 21, 2024

AT 1:00 P.M.

Bal Harbour Village Hall • 655 - 96th Street • Bal Harbour • Florida 33154

This meeting was conducted in-person. The meeting was also broadcast on the Village's website (www.balharbourfl.gov) and members of the public were encouraged to participate by calling 305-865-6449 by emailing meetings@balharbourfl.gov before and during the meeting.

1 CALL TO ORDER / ROLL CALL- The meeting was called to order at 1:05 PM.

The following Board Members were present:

Reinaldo Borges, Chair
Jose Gomez
Nathan VanDeman

The following Board Members were not present:

David Koplowitz
Elizabeth Camargo

The following were also present:

Eliezer Palacio, Building Director
Dwight Danie, Village Clerk
Susan Trevarthen, Village Attorney

2 PLEDGE OF ALLEGIANCE - The Pledge of Allegiance was led by Chair Borges.

3 APPROVAL OF MINUTES

3.1 Architectural Review Board Meeting Minutes - April 4, 2024

MOTION: A Motion to approve the minutes was moved by Acting Chair David Koplowitz and seconded by Nathan VanDeman.

VOTE: The Motion passed by unanimous voice vote (3-0).

4 ARB-HEARINGS -

Ms. Trevarthen read the quasi-judicial procedures statement. She then asked the board members to disclose ex parte communications, to which board members responded that they had none to disclose. The Village Clerk swore in all those who would be providing testimony.

4.1 ARB-2024-0006

84 Bal Bay Drive, Bal Harbour FL, 33154
Architect(s): SDH Studio
Owners: 84 BB LLC
New Two-Story, Single-Family Residence

Mr. Palacio introduced the item saying that the project regarding the renovation of an existing two-story residential single-family home, in his opinion, complied with the Appearance Code and Zoning Ordinance and has been reviewed and approved by the Village's Planning and Zoning Consultant and the Public Works and Beautification Department, adding that the applicant has agreed with all the Building Officials eighteen conditions.

Cristina Magdaleno, Architect, SDH Studio, said that the home was designed in a tropical modern style to using materials such as travertine, stucco, bronze lovers, and extensive vegetation to soften the design. She provided an overview of the renderings, floor plans, and landscape plans.

There was a general consensus from the Board that the designs were elegant, and provided a seamless integration with the surroundings, with the caveat that limited parking could cause result in parking on the street.

The Village Clerk read an email from Neca Logan, 64 Camden Drive, expressing her concern of a potential invasion of the setback in the pool area, and a driveway that might be difficult to navigate. Ms. Logan also suggested that dock access might be necessary in the future.

Stephanie Halfen, SDH Studio, clarified the garage was a three-car garage. Mr. Palacio said that the setbacks were correct adding that it was a requirement for construction vehicles to be maintained on the property.

MOTION: A Motion to approve the project as presented with the conditions proposed by the Building Official was moved by Nathan VanDeman and seconded by Jose Gomez.

The Building Official's conditions are as follows.

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences, and landscape plantings.
4. Any new hedge must be planted at least 10' from the edge of the curb.
5. Any new trees must be planted at least 10' from the edge of the curb.
6. All Electrical, Mechanical and Plumbing equipment are required to be 1.0 foot above B.F.E. (Base Flood Elevation) per F.B.C. & A.S.C.E. 24 and cannot infringe upon the building setbacks.
7. Flood Design Data is required to be in accordance with F.B.C. 2023, Section 1603.1.7. & A.S.C.E. 24.
8. Architect to provide an Elevation Certificate FEMA Form 086-0-33, for proposed construction that complies with F.B.C. 322 & A.S.C.E. 24.
9. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
10. The Project shall comply with Section 21-102, a, b, and c regarding setbacks in the R-1 Zoning District.
11. The Project shall comply with Section 21-100, maximum building height of 35 ft. in the R-1 Zoning District.
12. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
13. If any portion of the landscaping, fence, or any other permitted item will be located within the five-foot easement at the front or side of the property, then prior to the issuance of a required permit or permit revision to the master building permit, the Owner of the Project described herein shall execute "Hold Harmless Agreement" as a condition precedent to permit issuance.
14. If the proposed landscape and hardscape design conflicts with the Village's stormwater infrastructure system, the Architect and Civil Engineer are required to resolve prior to permit issuance. Any revisions required to the hardscape or landscape shall be bought before the ARB, if applicable, or be administratively approved prior to permit.
15. Perimeter landscaping required by the certificate of appropriateness must be maintained by the property owner in accordance with the standards of the code.

16. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
17. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
18. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

VOTE: The Motion passed by unanimous voice vote (3-0).

4.2 ARB-2024-0007

182 Bal Bay Drive, Bal Harbour FL, 33154
Architect(s): Clay Krebs, T.A. Krebs LLC
Owners: Dorsey & Whitney Truss CO LLC TRS
Two Story Addition to Existing Residence.

Mr. Palacio introduced the item saying that the project regarding the two-story addition to an existing single-family home, in his opinion, complied with the Appearance Code and Zoning Ordinance and has been reviewed and approved by the Village's Planning and Zoning Consultant and the Public Works and Beautification Department, adding that the applicant has agreed with all the Building Officials eighteen conditions.

Clay Krebs, Architect, T.A. Krebs Architects, LLC, said the proposal was to remove an existing hip roof and build a second-floor addition which would include a game room, gym, laundry room, bathroom, lounge, wet bar and two bedrooms. He said the generator and AC units would be moved to the roof with appropriate screening and structural elements would be added to support the new floor and roof.

Mr. Gomez said he was concerned with the aesthetic transition between the rest of the house and the new addition and suggested creating a better connection to avoid a forced appearance.

The Village Clerk read an email from Neca Logan, 64 Camden Drive saying that she was opposed to the addition in that it increased the density of the lot and added impervious elements.

MOTION: A Motion to approve the project as presented with the conditions proposed by the Building Official was moved by Jose Gomez and seconded by Nathan VanDeman.

The Building Official's conditions are as follows.

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences and landscape plantings.
4. Any new hedge must be planted at least 10' from the edge of the curb (existing hedge may remain).
5. Any new trees must be planted at least 10' from the edge of the curb (existing trees/palms may remain).
6. All Electrical, Mechanical and Plumbing equipment are required to be 1.0 foot above B.F.E. (Base Flood Elevation) per F.B.C. & A.S.C.E. 24 and cannot infringe upon the building setbacks.
7. Flood Design Data is required to be in accordance to F.B.C. 2023, Section 1603.1.7. & A.S.C.E. 24.
8. Architect to provide an Elevation Certificate FEMA Form 086-0-33, for proposed construction that complies with F.B.C. 322 & A.S.C.E. 24.
9. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
10. The Project shall comply with Section 21-102, a, b, and c regarding setbacks in the R-1 Zoning District.
11. The Project shall comply with Section 21-100, maximum building height of 35 ft. in the R-1 Zoning District.
12. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
13. If any portion of the landscaping, fence, or any other permitted item will be located within the five-foot easement at the front or side of the property, then prior to the issuance of a required permit or permit revision to the master building permit, the Owner of the Project described herein shall execute "Hold Harmless Agreement" as a condition precedent to permit issuance.
14. If the proposed landscape and hardscape design is in conflict with the Village's stormwater infrastructure system, the Architect and Civil Engineer are required to resolve prior to permit issuance. Any revisions required to the hardscape or landscape shall be brought before the ARB, if applicable, or be administratively approved prior to permit.

15. Perimeter landscaping required by the certificate of appropriateness must be maintained by the property owner in accordance with the standards of the code.
16. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
17. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
18. The Certificate of Appropriateness expires 18 months after issuance as per Bal Harbour Village Municipal Code 2-75(d)(1-3).

VOTE: The Motion passed by unanimous voice vote (3-0).

4.3 ARB-2024-0008

10155 Collins Avenue, Bal Harbour FL, 33154

Architect(s): Dustin Mizell

Owners: Bal Harbour Condominium Association, INC
Exterior Renovations.

Mr. Palacio noted a typo in his Board Memorandum, changing the property address from 10175 to 10155 Collins Avenue. He then introduced the item saying that the project regarding renovations to the exterior lot, in his opinion, complied with the Appearance Code and Zoning Ordinance and has been reviewed and approved by the Village's Planning and Zoning Consultant and the Public Works and Beautification Department, adding that the applicant has agreed with all the Building Officials eight conditions.

Dustin Mizell, Landscape Architect, Environment Design Group, described the project surrounding the existing pool deck and south portion of the lot, that included the addition of a raised wood deck, an aluminum pergola, an ADA accessible ramp, a basketball court and a car share area. He said the intent was to soften existing stark concrete wall with a faux green wall and composite wood cladding, and to install synthetic turf. He said that salt-tolerant vegetation and cohesive lighting would also be added.

Mr. VanDeman suggested changing the darker colors of proposed materials to lighter colors to lessen absorbed heat and improve comfort. He also suggested using larger trees where possible, and to utilize raised planters instead of pots, where in-ground planting was not feasible.

Mr. Gomez said the design was more like a public park than a resort, that it lacked warmth and feels plasticky due to the use of artificial materials. He suggested using natural materials to improve the overall aesthetic.

Chair Borges agreed that that use of an artificial wall was unfortunate, but he said he understood that the environment on the lot was salty, windy and harsh.

Mr. Mizell said that all suggestions were noted, and that the present design was the end product of several years of working back and forth with members of the condominium association, budget constraints, and weight constraints.

The Village Clerk read an email from Neca Logan saying that the proposal was a tasteful upgrade to an existing space, that the basketball court should be a lighter color, and that all lighting should be turtle compliant.

Chair Borges suggested that an artist might be hired to enhance the wall. He suggested splitting the item allowing the project to move forward and have the design of the return to the ARB for further consideration.

MOTION: A Motion to approve the project with the Building Officials conditions and with the additional conditions that lighter colors be utilized for the sport court, the faux roof materials, and the synthetic wood materials, and for the applicant to present to the ARB an alternate solution for the wall was moved by Nathan VanDeman and seconded by Jose Gomez.

The Building Official's conditions are as follows.

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences and landscape plantings.
4. A construction contract and/or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
5. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
6. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
7. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
8. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

VOTE: The Motion passed by unanimous voice vote (3-0).

4.4 ARB-2024-0009

209 Bal Bay Drive / 160 Biscay Drive, Bal Harbour FL, 33154
Architect(s): Cheryl Bassan
Owners: Debbie & Jerome Falic
New Tennis Court and Gazebo.

Mr. Palacio noted a typo in his Board Memorandum, changing the property address to 160 Biscay Drive, adding that 209 Bal Bay Drive was the lot address following a unity of title. He then introduced the item saying that the project regarding the addition of a tennis court and gazebo, in his opinion, that the project complied with the Appearance Code and Zoning Ordinance and has been reviewed and approved by the Village's Planning and Zoning Consultant and the Public Works and Beautification Department, adding that the applicant has agreed with all the Building Officials eighteen conditions.

Denise Preschel, Architect, Preschel Bassan Studio, said that the existing property at 209 Ball Bay Drive was a two-story residence, and the adjacent lot at 160 Bal Bay Drive would be used for the court and gazebo following the demolition of an existing one-story structure, and would now be used for recreation and entertaining purposes. She described the proposed materials saying the at the design aims for a minimalistic, floating structure with a warm tropical feel.

Mr. Gomez said that the project was nicely thought out and he really liked the design. He said that as a very minor comment he would have liked the southwest elevation to be more asymmetrical, but overall, the architect did a beautiful job.

Mr. VanDeman agreed that the design was beautiful and asked if there was any way to do away with the glass railing in the back. Mr. Gomez suggested that a retaining wall could be placed on the property line with a raised planter, to which Ms. Preschel said that it could be done, and to which Mr. VanDeman agreed.

Chair Borges noted suggested the exploration of alternative roofing materials, such as standing roof seams, when considering future maintenance, saying that the pergola would need to be removed in order to replace the roofing membrane.

The Village Clerk read an email from Neca Logan, 64 Camden Drive, saying that she was opposed to the encroachment into the setback area particularly regarding noise issues between nearby properties.

Mr. VanDeman said that in regards to the implementation of linear drains along the edges of the pavement, from his experience, they present issues with clogging, and he suggested to oversize the trench drains for better functionality.

MOTION: A Motion to approve the project as presented with the conditions proposed by the Building Official was moved by Nathan VanDeman and seconded by Jose Gomez.

The Building Official's conditions are as follows.

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences, and landscape plantings.
4. Any new hedge must be planted at least 10' from the edge of the curb.
5. Any new trees must be planted at least 10' from the edge of the curb.
6. All Electrical, Mechanical and Plumbing equipment are required to be 1.0 foot above B.F.E. (Base Flood Elevation) per F.B.C. & A.S.C.E. 24 and cannot infringe upon the building setbacks.
7. Flood Design Data is required to be in accordance to F.B.C. 2023, Section 1603.1.7. & A.S.C.E. 24.
8. Architect to provide an Elevation Certificate FEMA Form 086-0-33, for proposed construction that complies with F.B.C. 322 & A.S.C.E. 24.
9. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
10. The Project shall comply with Section 21-127, a, b, and c regarding setbacks in the R-2 Zoning District.
11. The Project shall comply with Section 21-125, maximum building height of 30 ft. in the R-2 Zoning District.
12. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
13. If any portion of the landscaping, fence, or any other permitted item will be located within the five-foot easement at the front or side of the property, then prior to the issuance of a required permit or permit revision to the master building permit, the Owner of the Project described herein shall execute "Hold Harmless Agreement" as a condition precedent to permit issuance.
14. If the proposed landscape and hardscape design conflicts with the Village's stormwater infrastructure system, the Architect and Civil Engineer are required to

resolve prior to permit issuance. Any revisions required to the hardscape or landscape shall be bought before the ARB, if applicable, or be administratively approved prior to permit.

15. Perimeter landscaping required by the certificate of appropriateness must be maintained by the property owner in accordance with the standards of the code.
16. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
17. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
18. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

VOTE: The Motion passed by unanimous voice vote (3-0).

4.5 ARB-2024-0010

10175 Collins Avenue, Bal Harbour FL, 33154

Architect(s): Bellin Pratt & Fuentes LLC

Owners: The Tiffany of Bal Harbour Condominium Association, LLC.

Renovating Existing Pool Deck.

Mr. Palacio introduced the item saying that the project regarded the renovation of an existing pool deck, in his opinion, complied with the Appearance Code and Zoning Ordinance and has been reviewed and approved by the Village's Planning and Zoning Consultant and the Public Works and Beautification Department, adding that the applicant has agreed with all the Building Officials eight conditions.

David Fuentes and Glenn Pratt, Belin Pratt and Fuentes LLC, introduced themselves. Mr. Fuentes described the project of renovating the deck on top of the garage, which included waterproofing, new planters, new stairs and landscaping, saying that there would be minimal changes to the pool, spa and cabanas. He presented the materials and color pallet proposed for the project, after which he show renderings of the project and the survey of existing conditions.

Mr. Pratt said that the building has undergone extensive structural repairs and that the pool deck has been demolished two years ago, and that the residents are very interested in the completion of the project. He said that the proposed project provides upgrades to address life safety issues and ADA accessibility including new egress and redesigned stairs.

Mr. Gomez said that the architects had done a great job but noted that the design to the project does not integrate with or relate to the design of the building, adding that it was a missed opportunity.

Mr. Pratt said that he understood and that, in working with the condominium association, the design attempted to create different spaces to address the different needs and wishes of the building's residents. Chair Borges added that the project focuses on the rear of the building.

Mr. VanDeman said that he liked overall design noting that it reminded him of an early Burle Marx pattern. He said that the large building looking down on the deck creates a horizontal canvas, and aesthetics of the beautiful design tends to break down in the north end with hard ninety degree turns versus the softened corners. He encouraged re-evaluating the area and maybe adding a second paving material. He also noted that the synthetic turf would induce heat, and suggested embellishing a cooler canopy above it.

Chair Borges said that in contrasting this project with the previously reviewed deck project, this project hit the spot with more resort-type landscaping and its reference to Burle Marx. He added that the lighting plan was useful and that the project greatly improved the building and brought a lot of value.

The Village Clerk read an email from Neca Logan, 64 Camden Drive, saying that the project was a long time coming. She suggested the use of lighter colored pavers for less heat, and that the lighting be turtle friendly.

Mr. VanDeman said that he would make a motion with friendly suggestions to re-evaluate the design aesthetics of the north end of the project, consideration of additional canopy to cool the synthetic turf.

Chair Borges suggest that care be taken with synthetic turf in that, over time, mold tends to grow under where moisture is trapped.

Mr. Gomez commended the project saying that it was day and night with the previously reviewed deck project, that it was fantastic and a great improvement.

MOTION: A Motion to approve the project as presented with the conditions proposed by the Building Official and the recommendations from the Board was moved by Nathan VanDeman and seconded by Jose Gomez.

The Building Official's conditions are as follows.

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.

3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences and landscape plantings.
4. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
5. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
6. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
7. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
8. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

VOTE: The Motion passed by unanimous voice vote (3-0).

4.6 ARB-2024-0011

9601 Collins Avenue, Bal Harbour FL, 33154

Architect(s): Ken Gardner

Owners: Majestic Tower Community Association, Inc.

Landscape renovation to pool area / plantings, hardscape and cabana fronts.

Mr. Palacio introduced the item saying that the project regarded the landscape renovation of an existing pool area with new plantings, hardscape and cabana fronts, and in his opinion, it complied with the Appearance Code and Zoning Ordinance and had been reviewed and approved by the Village's Planning and Zoning Consultant and the Public Works and Beautification Department, adding that the applicant has agreed with all the Building Officials eight conditions

Robert Spataro, Architect of Record, G3 Architecture Interior Planning, provided described the project including an elevated green space behind the existing fountain, the creation of twelve parking spaces hidden with landscaping, the replacement of a port-a-cochere, the replacement of pavers and improving the beach access area, and the addition of pergolas for shading.

Ken Gardner, landscape architect, GSLA Design, presented the existing tree and disposition plans and that he tried to create as many windbreaks as possible with green

buttonwoods, layered landscaping with palms and shade trees, artificial turf areas with date palms, irrigation, and turtle-friendly lighting.

A general discussion ensued regarding the column supporting the glass canopy of the port-a-cochere followed by a suggestion of using the opportunity to incorporate it into the design of the project and landscaping.

There were no comments from the public

MOTION: A Motion to approve the project as presented with the conditions proposed by the Building Official was moved by Jose Gomez and seconded by Nathan VanDeman.

The Building Official's conditions are as follows.

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences and landscape plantings.
4. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
5. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
6. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
7. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
8. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness

VOTE: The Motion passed by unanimous voice vote (3-0).

4.7 ARB-2024-0012

224 Bal Bay Drive, Bal Harbour FL, 33154

Architect(s): Jorge L. Esteban, A.I.A.

Owners: Honeybell Trust

Exterior Alterations

Mr. Palacio introduced the item saying that the project regarded alterations to the exterior of a single-family home, and in his opinion, it complied with the Appearance Code and Zoning Ordinance and had been reviewed and approved by the Village's Planning and Zoning Consultant and the Public Works and Beautification Department, adding that the applicant has agreed with all the Building Officials eighteen conditions

Jorge Esteban, Architect of Record, said that the house was built in 2018 and that the owner was seeking approval for three items. Presenting the site plan, he described the proposed items. The first item was the extension of a bar and sitting area under an existing balcony located on the north side of the house. The second item was the replacement of the existing solid concrete driveway with permeable pavers. The third item was the extension of a bedroom over the existing garage where this currently a sun deck.

He described the materials to be used and showed renderings.

Mr. Gomez commended Mr. Esteban saying that the addition looked seamless and very well done, to which Chair Borges and Mr. VanDeman agreed.

MOTION: A Motion to approve the project as presented with the conditions proposed by the Building Official was moved by Jose Gomez and seconded by Nathan VanDeman.

The Building Official's conditions are as follows.

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences and landscape plantings.
4. Any new hedge must be planted at least 10' from the edge of the curb (existing hedge may remain).
5. Any new trees must be planted at least 10' from the edge of the curb (existing trees/palms may remain).

6. All Electrical, Mechanical and Plumbing equipment are required to be 1.0 foot above B.F.E. (Base Flood Elevation) per F.B.C. & A.S.C.E. 24 and cannot infringe upon the building setbacks.
7. Flood Design Data is required to be in accordance to F.B.C. 2023, Section 1603.1.7. & A.S.C.E. 24.
8. Architect to provide an Elevation Certificate FEMA Form 086-0-33, for proposed construction that complies with F.B.C. 322 & A.S.C.E. 24.
9. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
10. The Project shall comply with Section 21-102, a, b, and c regarding setbacks in the R-1 Zoning District.
11. The Project shall comply with Section 21-100, maximum building height of 35 ft. in the R-1 Zoning District.
12. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
13. If any portion of the landscaping, fence, or any other permitted item will be located within the five-foot easement at the front or side of the property, then prior to the issuance of a required permit or permit revision to the master building permit, the Owner of the Project described herein shall execute "Hold Harmless Agreement" as a condition precedent to permit issuance.
14. If the proposed landscape and hardscape design is in conflict with the Village's stormwater infrastructure system, the Architect and Civil Engineer are required to resolve prior to permit issuance. Any revisions required to the hardscape or landscape shall be brought before the ARB, if applicable, or be administratively approved prior to permit.
15. Perimeter landscaping required by the certificate of appropriateness must be maintained by the property owner in accordance with the standards of the code.
16. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
17. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
18. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

VOTE: The Motion passed by unanimous voice vote (3-0).

4.8 ARB-2024-0014

121 Bal Cross Drive, Bal Harbour FL, 33154
Architect(s): Boutros Bou-Nahra Architect, LLC
Owners: Eitan & Jennifer Zimmerman
Second Floor Addition

Mr. Palacio introduced the item saying that the project regarded a second floor addition to a single-family home, and in his opinion, it complied with the Appearance Code and Zoning Ordinance and had been reviewed and approved by the Village's Planning and Zoning Consultant and the Public Works and Beautification Department, adding that the applicant has agreed with all the Building Officials eighteen conditions

Boutros Bou-Nahra, Architect, provided an overview of the project showing the survey, and pictures of the existing building. He said that his intention was create a design that integrated seamlessly with the existing while adhering to the setback requirements. He described the materials to be used including Brazilian Garapa wood to soften the building's appearance and create a unified look. He said the landscape remains unchanged as well as the pervious/impervious areas. He described the execution of a fluted stucco using forms and cylindrical molds to create a concave texture.

The Village Clerk read an email from Neca Logan, 64 Camden Drive, saying that changing the landscaping from the original plans was disingenuous and recommending that landscaping be utilized to effectively block some of the view of the playground.

MOTION: A Motion to approve the project as presented with the conditions proposed by the Building Official was moved by Nathan VanDeman and seconded by Jose Gomez.

The Building Official's conditions are as follows.

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences and landscape plantings.
4. Any new hedge must be planted at least 10' from the edge of the curb (existing hedge may remain).
5. Any new trees must be planted at least 10' from the edge of the curb (existing trees/palms may remain).

6. All Electrical, Mechanical and Plumbing equipment are required to be 1.0 foot above B.F.E. (Base Flood Elevation) per F.B.C. & A.S.C.E. 24 and cannot infringe upon the building setbacks.
7. Flood Design Data is required to be in accordance to F.B.C. 2023, Section 1603.1.7. & A.S.C.E. 24.
8. Architect to provide an Elevation Certificate FEMA Form 086-0-33, for proposed construction that complies with F.B.C. 322 & A.S.C.E. 24.
9. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
10. The Project shall comply with Section 21-127, a, b, and c regarding setbacks in the R-2 Zoning District.
11. The Project shall comply with Section 21-12, maximum building height of 30 ft. in the R-2 Zoning District.
12. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
13. If any portion of the landscaping, fence, or any other permitted item will be located within the five-foot easement at the front or side of the property, then prior to the issuance of a required permit or permit revision to the master building permit, the Owner of the Project described herein shall execute "Hold Harmless Agreement" as a condition precedent to permit issuance.
14. If the proposed landscape and hardscape design is in conflict with the Village's stormwater infrastructure system, the Architect and Civil Engineer are required to resolve prior to permit issuance. Any revisions required to the hardscape or landscape shall be brought before the ARB, if applicable, or be administratively approved prior to permit.
15. Perimeter landscaping required by the certificate of appropriateness must be maintained by the property owner in accordance with the standards of the code.
16. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
17. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
18. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

VOTE: The Motion passed by unanimous voice vote (3-0).

5 OTHER BUSINESS

Board members agreed to move the July 4 ARB meeting to July 11, 2024 at 1:00 PM.

6 PUBLIC COMMENT - There were no comments from the public.

7 ADJOURNMENT- The meeting was adjourned at 3:55 PM.

Reinaldo Borges, Chair



Attest:


Dwight S. Danie, Village Clerk

BAL HARBOUR

- V I L L A G E -

ARCHITECTURAL REVIEW BOARD MEMORANDUM

TO: Architectural Review Board Members

FROM: Eliezer Palacio, Building Director 

DATE: 7/11/2024

SUBJECT: 10185 Collins Avenue
Exterior Renovation of an existing multifamily condominium
(The Plaza of Bal Harbour Condo)

BACKGROUND

The Village of Bal Harbour the "Village" received an Architectural Review Board (ARB) application on June 20, 2023, for the existing pool deck renovation of an existing multifamily condominium located at 10185 Collins Avenue ("the Property").

The Property sits on Lots 13, The Plaza of Bal Harbour Condo and is located in the Ocean Front zoning district of the Bal Harbour Village.

THE PROJECT (AE Description)

The Plaza of Bal Harbour is proposing to renovate the exterior of the building. The renovation includes new windows and doors, new balcony partitions between adjoining balcony units, new balcony railings and new exterior paint colors.

All windows and doors on the building's exterior will be replaced, except for some Metal fire doors that will be painted. All of the exterior Condominium Units windows and balcony doors, office windows and doors, and all common area exterior windows and doors, will be replaced size for size in the existing openings. These are to be category 5 impact rated, of the same glazing as existing, with dark bronze aluminum frames and the same mid-range bronze glazing tint. The Units balcony doors currently have a glazed transom above each door, which will be replaced with a single light, full height swing door, with the same glazing as the windows. The new windows that are operable are single hung, or fixed, and will retain the same operation, when installed.

The buildings existing heavy, decorative concrete railings will be replaced with continuous clear glass panels, thin, dark bronze aluminum top and bottom rails, with no vertical frames, attached at the top of the existing slabs.

The Color of the building will be painted white, with painted, grey balcony slabs, on the top, and bottom horizontal surfaces, and the vertical sides.

The existing units, whose balconies are attached with a framed partition wall, will have those walls removed and replaced with a frosted, glazed partition panel, which is attached to the exterior wall of the Units and to the balcony slab. It is lower than the slab above. It has the same framing as the windows and doors, a dark bronze aluminum frame with clear glazing, not tinted.

The eyebrows above the balconies will be painted the same grey on all sides as the balcony slabs.

RECOMMENDATION

It is the opinion of this writer that the proposed project renovation of the existing multifamily condominium follows the Village's Appearance Code and Zoning Ordinance. The Village Planning and Zoning Consultant and the Park's and Public Spaces Department has reviewed the plans and concur that the plans comply.

I recommend that the Board review the submittal for compliance and if they concur with my recommendation, issue a Certificate of Appropriateness.

If approved, the following conditions should be added to the motion:

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences and landscape plantings.
4. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
5. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
6. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
7. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
8. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

THE PLAZA OF BAL HARBOUR

10185 COLLINS AVENUE BAL HARBOUR, FL. 33154
 ARCHITECTURAL REVIEW BOARD (ARB) EXTERIOR RENOVATION SUBMITTAL



ANNE JACKAWAY ARCHITECTURE, INC.
ANNE JACKAWAY, AIA, PRESIDENT
 1755 SW 10TH ST, MIAMI, FL. 33135
 TEL: 305-297-0220

FULL LEGAL DESCRIPTION:
 THE LOT SITS ON LOT/S 13, AND IS LOCATED IN THE OCEAN FRONT ZONING DISTRICT OF THE VILLAGE RESIDENTIAL SECTION, THE LOT IS 122,468,00 SF. (INCLUDING THE LAND SEAWARD OF THE EROSION CONTROL LINE, IN THE VILLAGE OF BAL HARBOUR, ACCORDING TO PLAT BOOK 44, PAGE 27 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.)

Anne Jackaway
 ARCHITECT
 1755 SW 10TH ST, SUITE 100
 MIAMI, FL 33135
 PH: 305-297-0220
 FAX: 305-297-0220
 www.annejackaway.com

TO THE BEST OF MY ABILITY AND KNOWLEDGE, I HAVE PREPARED THESE DOCUMENTS IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND ETHICS OF THE ARCHITECTURAL PROFESSION AND THE STATE OF FLORIDA.

THE PLAZA OF BAL HARBOUR
 EXTERIOR RENOVATION
 10185 COLLINS AVENUE BAL HARBOUR, FL. 33154

ARB SUBMITTAL
 06/26/2024



COVER SHEET

A-A

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NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY



KEY NOTES:

- 1 REMOVE EXISTING RAILINGS ABOVE SLABS. ALL LEVELS FROM 2 TO 15.
- 2 REMOVE WINDOWS.
- 3 REMOVE DOORS & TRANSOM WINDOW PANEL ABOVE.
- 4 REMOVE BALCONY PARTITIONS BETWEEN UNITS.
- 5 DOORS TO BE REMEDIATED AND PAINTED
- 7 REMOVE EXISTING WALL
- 8 REMOVE GARAGE DOOR

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY

EXISTING FRONT FACADE
N.T.S.



TO THE BEST OF MY KNOWLEDGE AND BELIEF, I HAVE PREPARED THESE PLANS TO BE ACCORDING TO ALL APPLICABLE REGULATORY REQUIREMENTS AND I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE DESIGN OR CONSTRUCTION OF THE PROJECTS DESCRIBED HEREIN.

THE PLAZA OF BAL HARBOUR
EXTERIOR RENOVATION
10185 COLLINS AVENUE BAL HARBOUR, FL 33154

ARB RESUBMITTAL
04/26/2024



FRONT EXISTING & PROPOSED FACADE

A-B



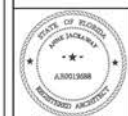
- KEY NOTES:**
- 1 NEW GLAZED RAILING INFINITY POSTLESS GLASS RAILING SYSTEM. NOA No. 25-0218.02. MANUFACTURER: POMA & SONS, INC.
 - 2 NEW WINDOWS, SERIES 380 ALUMINUM SINGLE HUNG WINDOW, L.M.I. NOA No. 20-0722.20. MANUFACTURER: WINDOW, INC.
 - 3 NEW DOORS, SERIES 400 ALUMINUM OUTSWINGING GLAZED DOOR. NOS No. 21-0917.03. MANUFACTURER: CSI.
 - 4 PAINT WALL, CHANTILLY LACE, #00-65, BENJAMIN MOORE PAINT COMPANY.
 - 5 PAINT BALCONIES AND EYE BROWS ON ALL SIDES, GRAY HUSKIE, #1473 BENJAMIN MOORE PAINT COMPANY.
 - 6 STOREFRONT NEW WINDOWS SERIES-653300 FLORIDA NUMBER No 25574. MANUFACTURER: CSI.
 - 7 STOREFRONT NEW SERIES 450 FRENCH DOOR OUTSWINGING GLAZED DOOR. FLORIDA NUMBER No 25573. MANUFACTURER: CSI.
 - 8 DOORS TO BE RETAINED, REMEDIATED + PAINTED COLOR CHANTILLY LACE, #00-65 BENJAMIN MOORE PAINT COMPANY.
 - 9 ALUMINUM AND GLASS BALCONY PARTITION.
 - 10 NEW GARAGE DOORS WILL BE REPLACED BY ASSOCIATION.

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TO THE BEST OF HIS SKILL AND KNOWLEDGE, THE ARCHITECT HAS PREPARED THESE PLANS AND SPECIFICATIONS IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND ETHICS OF THE ARCHITECTS' BOARD OF FLORIDA. THE ARCHITECT DOES NOT GUARANTEE OR WARRANT THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREON.

THE PLAZA OF BAL HARBOUR
 EXTERIOR RENOVATION
 10185 COLLINS AVENUE BAL HARBOUR, FL 33154

ARB RESUBMITTAL
 06/26/2024



REAR EXISTING & PROPOSED FACADE

PROPOSED FRONT RENDERING
 N.T.S.

A-C

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY



KEY NOTES:

- 1 REMOVE EXISTING RAILINGS ABOVE SLABS. ALL LEVELS FROM 2 TO 15.
- 2 REMOVE WINDOWS.
- 3 REMOVE DOORS & TRANSOM WINDOW PANEL ABOVE.
- 4 REMOVE BALCONY PARTITIONS BETWEEN UNITS.
- 6 DOORS TO BE REMEDIATED AND PAINTED
- 7 REMOVE EXISTING WALL
- 8 REMOVE GARAGE DOOR

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY

EXISTING REAR FACADE
N.T.S.

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TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE INFORMATION CONTAINED ON THIS SHEET IS TRUE AND CORRECT AS OF THE DATE OF THE ORIGINAL PREPARATION THEREOF. THE ARCHITECT DOES NOT WARRANT OR GUARANTEE THE ACCURACY OF THE INFORMATION CONTAINED ON THIS SHEET.

THE PLAZA OF BAL HARBOUR
10186 COLLINS AVENUE BAL HARBOUR, FL 33154

ARCH RESUBMITTAL
06/26/2024



REAR EXISTING & PROPOSED FACADE

A-D



KEY NOTES:

- 1. NEW GLAZED RAILING INFINITY POSTLESS GLASS RAILING SYSTEM.
NDA No. 23-0214.02
MANUFACTURER: ROMA & SONS, INC.
- 2. NEW WINDOWS, SERIES 360 ALUMINUM SINGLE HUNG WINDOW-L.M.I.
NDA No. 20-0723.20
MANUFACTURER: WINDOW, INC.
- 3. NEW DOORS, SERIES 450 ALUMINUM OUTSWING GLAZED DOOR
NDS No. 21-0917.03
MANUFACTURER: CDI
- 4. PAINT WALL: CHANTILLY LACE, #00-65, BENJAMIN MOORE PAINT COMPANY.
- 5. PAINT BALCONIES AND EYE BROWS ON ALL SIDES: GRAY HUSKIE, #4173 BENJAMIN MOORE PAINT COMPANY.
- 6. STOREFRONT NEW WINDOWS SERIES-SS3500
FLORIDA NUMBER No 25574.
MANUFACTURER: CDI
- 7. STOREFRONT NEW SERIES 450 FRENCH DOOR OUTSWING GLAZED DOOR.
FLORIDA NUMBER No 25573.
MANUFACTURER: CDI
- 8. DOORS TO BE RETAINED, REMEDATED + PAINTED COLOR: CHANTILLY LACE, #00-65.
- 9. ALUMINUM AND GLASS BALCONY PARTITION.
- 10. NEW GARAGE DOORS WILL BE REPLACED BY ASSOCIATION.

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TO THE BEST OF MY KNOWLEDGE AND BELIEF, I HAVE PREPARED THIS DOCUMENT IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND ETHICS OF THE ARCHITECTS AND ENGINEERS BOARD OF FLORIDA. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY OF ANY KIND, AND I AM NOT RESPONSIBLE FOR ANY CONSEQUENCES ARISING FROM THE USE OF THIS DOCUMENT.

THE PLAZA OF BAL HARBOUR
10186 COLLINS AVENUE BAL HARBOUR, FL 33154

APRS RESUBMITTAL
06/26/2024



REAR EXISTING & PROPOSED FACADE

A-E

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY

PROPOSED REAR RENDERING
N.T.S.

Table with 3 columns: POINT NUMBER, NAME, COORDINATES. Lists points from 80 to 251.

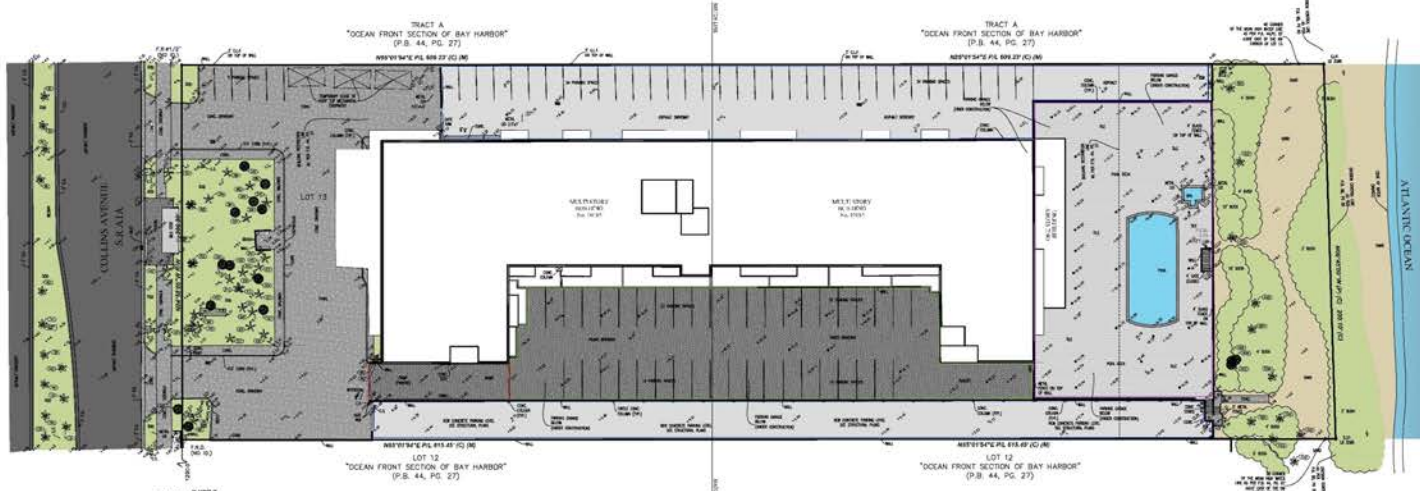
Table with 3 columns: POINT NUMBER, NAME, COORDINATES. Lists points from 252 to 329.

LEGEND table listing symbols and their corresponding field uses like Air Conditioner, Back Flow Preventer, Cable Television, etc.

LEGEND table listing symbols and their corresponding field uses like Irrigation Control Valve, Light Pole, Mail Box, etc.

ABBREVIATIONS table listing abbreviations and their full names like A/C, A/CPL, B.M., etc.

LEGEND table listing symbols for Building, Asphalt Pavement, Concrete Driveway, Paver Driveway, etc.



SITE & ROOF PLAN SCALE: 1/32"= 1'-0"

ELEVATION CERTIFICATE SECTION A - PROPERTY INFORMATION. Includes fields for owner name, property description, address, and owner signature.

ELEVATION CERTIFICATE SECTION B - BUILDING ELEVATION INFORMATION SURVEY REQUIRED. Includes building owner information, survey details, and building elevation data.

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY



THE PLAZA OF BAL HARBOUR EXTERIOR RENOVATION 10186 COLLINS AVENUE BAL HARBOUR, FL 33154

DATE SUBMITTED 09/26/2024



SITE PLAN A-1

POINT NUMBER	MARK	TYPE	COORDINATES (X, Y)
101	CONC. M&T	1101	700.00, 150.00
102	CONC. M&T	1102	700.00, 150.00
103	CONC. M&T	1103	700.00, 150.00
104	CONC. M&T	1104	700.00, 150.00
105	CONC. M&T	1105	700.00, 150.00
106	CONC. M&T	1106	700.00, 150.00
107	CONC. M&T	1107	700.00, 150.00
108	CONC. M&T	1108	700.00, 150.00
109	CONC. M&T	1109	700.00, 150.00
110	CONC. M&T	1110	700.00, 150.00
111	CONC. M&T	1111	700.00, 150.00
112	CONC. M&T	1112	700.00, 150.00
113	CONC. M&T	1113	700.00, 150.00
114	CONC. M&T	1114	700.00, 150.00
115	CONC. M&T	1115	700.00, 150.00
116	CONC. M&T	1116	700.00, 150.00
117	CONC. M&T	1117	700.00, 150.00
118	CONC. M&T	1118	700.00, 150.00
119	CONC. M&T	1119	700.00, 150.00
120	CONC. M&T	1120	700.00, 150.00
121	CONC. M&T	1121	700.00, 150.00
122	CONC. M&T	1122	700.00, 150.00
123	CONC. M&T	1123	700.00, 150.00
124	CONC. M&T	1124	700.00, 150.00
125	CONC. M&T	1125	700.00, 150.00

LEGEND

- Air Conditioner
- Back Flow Preventer
- Cable Television
- Cabin Sign
- Chain Link Fence
- Clean Out
- Concrete Light Pole
- Concrete Power Pole
- Control Valve
- C.S.S. Nail
- Diameter
- Diameter-Height-Spread
- Drain
- Enbridge Manhole
- Electric Box
- Electric Meter
- Electric Motor
- Electric Panel
- Fire Hydrant
- Flag
- Floor Lamp
- Force Main Valve
- Gas Valve
- Grass Manhole
- Guard Pole
- Guy Wire

LEGEND

- Building
- Asphalt Pavement
- Concrete Driveway
- Paver Driveway
- Pool Deck Tiles
- Sand
- Green Areas
- Atlantic Ocean
- Pool & Spa
- Construction of 6' wide concrete curb to prevent pavers from slipping off the ramp.
- Exposed asphalt at parking garage.
- Covered Slab on Grade at parking garage.
- 2nd Floor Parking deck.
- 34 New wheel stop in the parking space.

ABBREVIATIONS

- A/C: Air Conditioner
- ASPH: Asphalt
- B.M.: Benchmarks
- C.C.S.: Concrete Block Structure
- C.G.: Curb & Gutter
- C/L: Cast-in-Place
- C.L.F.: Chain Link Fence
- CONC.: Concrete
- C.S.: Concrete Slab
- D.M.V.: Drive
- E.O.W.: Edge of Water
- E.T.P.: Electric Transformer Pad
- F.F.E.: Finished Floor Elevation
- F.F.R.: Found Iron Pipe
- F.N. & S.D.: Found Nail & Disc
- F.N.S.: Found Nail
- I.D.: Identification
- I.W.: Inverts
- L.F.E.: Lowest Floor Elevation
- M.S.D.: Measured
- M.F.: Metal Fence
- M/L: Monument Line
- P.B.: Plat Book
- P.C.P.: Permanent Control Point
- P.C.: Peg
- P.L.: Plat
- P/L: Property Line
- P.O.B.: Point of Beginning
- P.O.C.: Point of Commencement
- P.S.: Parking Spaces
- R.C.M.: Reconstructed
- R.R.M.: Permanent Reference Monument
- R.W.: Right-of-Way Line
- SMW: Sidewalk
- S.H. & S.D.: Set Nail & Disc (10 1/2" DIA)
- S.S.: Set Rebar (10 1/2" DIA)
- T.M.: Typical
- T.S.M.: Temporary Benchmark
- T.O.B.: Top of Box
- T.O.P.: Top of Pole Elevation
- U.E.: Utility Easement
- V.G.: Valley Gutter
- W.E.: Wire Elevation
- W.F.: Wood Fence



NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY

PARTIAL WEST SITE PLAN
SCALE: 1/16" = 1'-0"

THE PLAZA OF BAL HARBOUR
EXTERIOR RENOVATION
10186 COLLINS AVENUE BAL HARBOUR, FL 33154

APP SUBMITTAL
06/26/2024

A-1A

POST NUMBER	TYPE WALL
101	CONCRETE WALL 1.50'-2.71'
102	CONCRETE WALL 1.50'-2.71'
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250	CONCRETE WALL 1.50'-2.71'

LEGEND

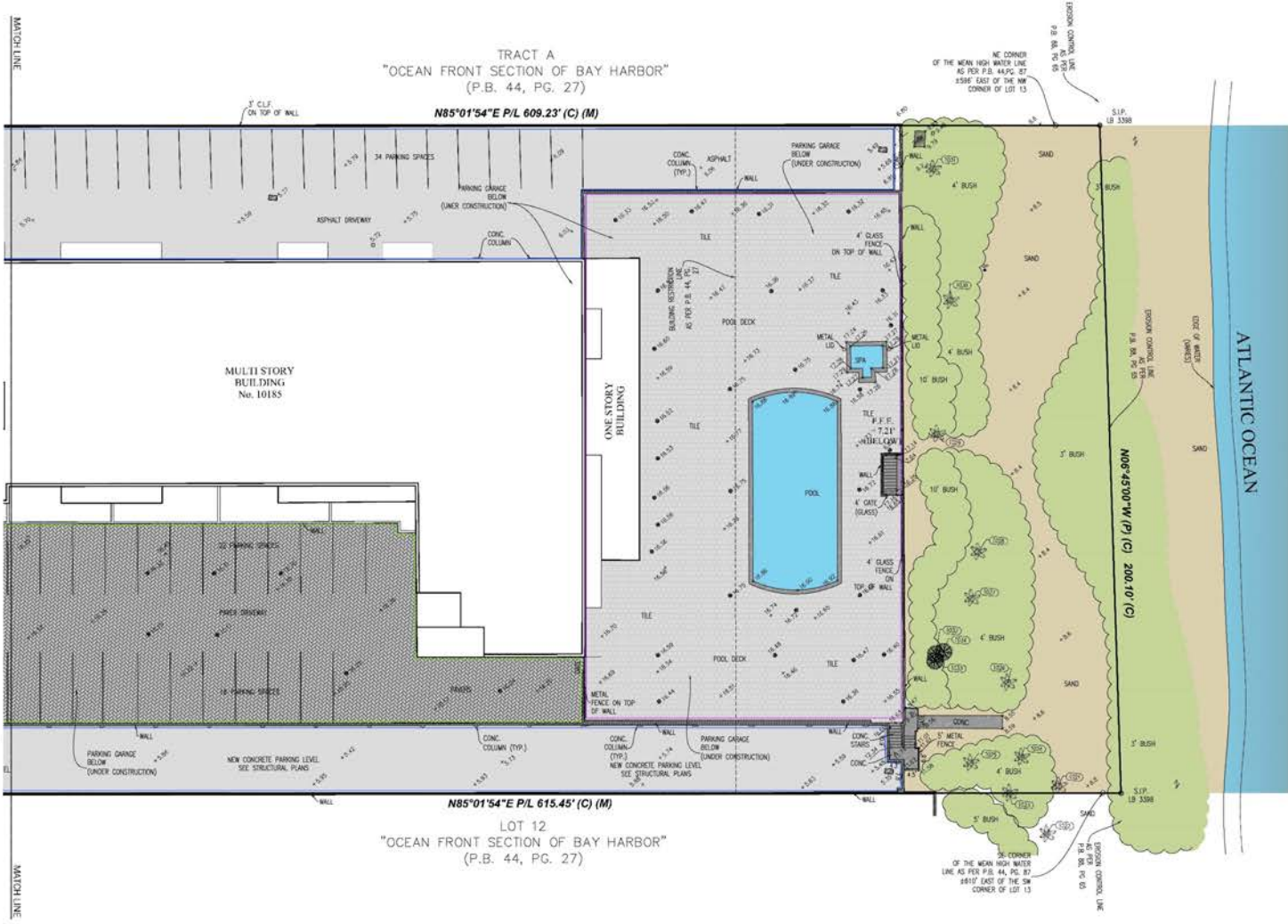
	Air Conditioner
	Book Flow Preventer
	Cable Television
	Catch Basin
	Chain Link Fence
	Clean Out
	Concrete Light Pole
	Concrete Power Pole
	Control Valve
	C.R.S. Post
	Diameter
	Diameter-Height-Spread
	Drain
	Drainage Manhole
	Electric Box
	Electric Meter
	Electric Panel
	Fire Hydrant
	Flag
	Floor Lamp
	Force Main Valve
	Gas Valve
	Grease Manhole
	Guard Pole
	Guy Wire

ABBREVIATIONS

A/C	Air Conditioner
ADP/FC	Adaptor
B.M.	Benchmark
(C)	Calculated
C.B.S.	Concrete Block Structure
C.C.	Curb & Gutter
C.A.	Concrete
C.C.F.	Chain Link Fence
CONC	Concrete
C.S.	Concrete Slab
CS	Conduit
D	Dead
DWT	Downspout
E.O.W.	Edge of Water
E.T.P.	Electric Transformer Pad
F.F.E.	Finished Floor Elevation
F.F.P.	Found Footing
F.N.D.	Found Nail & Disc
F.N.R.	Found Nail
I.D.	Identification
SW	Sewer
L.F.E.	Lower Floor Elevation
(M)	Measured
M.F.	Metal Fence
M/L	Monument Line
P.S.	Post Stake
P.C.P.	Permanent Control Point
PC	Post
PC	Post
P/L	Property Line
P.O.B.	Point of Beginning
P.O.C.	Point of Commencement
P.S.	Parking Stakes
R	Revised
R.R.	Reference Line
S.M.S.L.	Sea Mean Sea Level
S.W.	Sidewalk
S.N.S.L.	Sea Nail & One (LR 3398)
S.S.	Set Station (LR 3398)
TYP.	Typical
T.B.M.	Temporary Benchmark
T.O.B.	Top of Bank
T.O.P.	Top of Pipe Elevation
U.E.	Utility Elevation
V.C.	Water Curb
W.E.	Wire Elevation
W.F.	Wood Fence

LEGEND

	Building
	Asphalt Pavement
	Concrete Driveway
	Paver Driveway
	Pool Deck Tiles
	Sand
	Green Areas
	Atlantic Ocean
	Pool & Spa
	Construction of 6' wide concrete curb to prevent pavers from slipping off the ramp.
	Exposed asphalt at parking garage.
	Covered Slab on grade at parking garage.
	2nd Floor Parking deck.
	34 New wheel stop in the parking space.



NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY

PARTIAL EAST SITE PLAN
SCALE: 1/16" = 1'-0"

J. Anne Insolvency, Inc.
10100 W. WINDY HILL BLVD.
SUITE 100
DADE COUNTY, FL 33158
PH: 305-486-7800
WWW.JANNEINSOLVENCY.COM

THE PLAZA OF BAL HARBOUR
EXTERIOR RENOVATION
10186 COLLINS AVENUE BAL HARBOUR, FL 33154

URS RESUMPTUAL
09/26/2024

SITE PLAN

A-1B

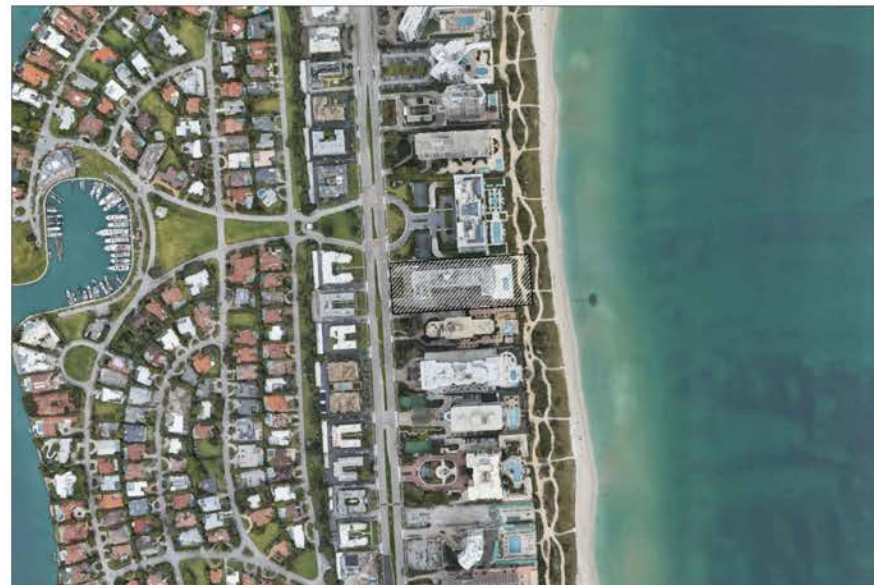
SITE DATA

ZONING DATA:
 LOT 13 OF OCEAN FRONT DISTRICT
LAND USE:
 35 - MULTI-FAMILY, HIGH DENSITY; APPROXIMATELY 395, 275 SF OF LIVING AREA PLUS 98,443 SF OF GARAGE AREA.
 YEAR BUILT: 1965
FEMA 50% RULE:
 SEE FEMA APPRAISAL REPORT PREPARED BY OPTEON APPRAISAL, INC
 ACTUAL CASH VALUE OF STRUCTURE ONLY: \$92,000,000.
 MAXIMUM ALLOWABLE VALUE OF ALTERATIONS: \$45,999,999 (EXCEPT FOR REQUIRED REPAIRS)
 YEAR BUILT: 1965
OCCUPANCY
 OCCUPANCY TYPE: RESIDENTIAL GROUP R-2
 OCCUPANCY LOAD RESIDENTIAL: 200 GROSS. WITH A PARKING GARAGE: 200 GROSS. INCLUDING INCIDENTAL USE AREAS INCLUDING STORAGE: 300 GROSS.
CONSTRUCTION TYPE: (CBS) STRUCTURE HIGH RISE
LEVEL ALTERATION: LEVEL 1
RISK CATEGORY: II
EXPOSURE CATEGORY: D
COMPREHENSIVE PLAN FUTURE LAND USE MAP (FLUM):
 LOT 13: HIGH DENSITY RESIDENTIAL (35-55 DUA)
 ECL AREA: BEACHFRONT
SITE:
 LOT 13 (INCLUDING THE LAND SEAWARD TO THE EROSION CONTROL LINE) OF THE OCEAN FRONT SECTION OF BAY HARBOR ACCORDING TO THE PLAT THEREOF RECORDED RECORDED IN PLAT BOOK 44 AT PAGE 27 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY.
SIZE LOT:
 LOT 13: 122,468 SF / 2.81 ACRES
 (THE AREA INCLUDES THE LAND SEAWARD OF THE EROSION CONTROL LINE)
DENSITY: 56 DUA
 ALLOWED = 2.81 ACRES X 55 DUA = 154 DU
 PROVIDED = 61 DU
BUILDING HEIGHT:
 AVERAGE STREET GRADE: 4.35' NGVD
 MAX. HEIGHT ALLOWED: 4.35' + 275' = 279.35' NGVD
 EXISTING HEIGHT: 268'-4" NGVD
OCCUPANCY TYPE: MIX-USED PROJECT
 LEVEL 1: GARAGE, STORAGE, COMMON CONDOMINIUM AREAS
 LEVEL 2-15: RESIDENTIAL (R-2) & CONDOMINIUM AREAS
CONSTRUCTION TYPE:
 TYPE IA (FULLY SPRINKLED)
MAX FLOOR AREA RATIO: 2.8 TO 1
 2.8 = 325,483.2 SF
 EXISTING FLOOR AREA RATIO = 324,636 SF
MAX LOT COVERAGE:
 20% MAX FOR 15 LEVELS
 PLUS 1% REDUCTION FOR EACH EXTRA LEVEL
 15 LEVELS EXISTING = 13% LOT COVERAGE= 15,111.72 SF
 EXISTING LOT COVERAGE = 15,060.82 SF
FULL LEGAL DESCRIPTION:
 THE PLAZA OF BAL HARBOUR CONDO DESC OCEAN FRONT SEC OF BAL HARBOR RE SUB PB 44-27 LOT 13 & PORT LYING EAST & ADJACENT WEST OF EROSION LINE PER PB 105-62 LOT SIZE 122, SQ FT M/L
FINISHED FLOOR ELEVATION: 5.8'
LOWEST ELEVATION OF EQUIPMENT: 5.8'
FLOOD ZONE: AE/X
PANEL NUMBER: 12086C0163
BASE FLOOD ELEVATION: 8 FEET
HIGHEST CROWN OF ROAD ELEVATION: 5.8'
LOWEST ADJACENT GRADE: 5.6'
HIGHEST ADJACENT GRADE: 7.4'

1 SITE DATA



2 NEIGHBORHOOD PLAN



3 LOCATION PLAN

SITE DATA, NEIGHBORHOOD & LOCATION PLANS
 N.T.S.

James J. Johnson
 ARCHITECT
 1770 SW 10TH AVENUE, SUITE 1010
 MIAMI, FL 33135
 PH: 305-372-0226
 FAX: 305-372-0228
 www.jamesjohnson.com
 ARCH0015199

IN THE CITY OF MIAMI, FLORIDA, I, THE CITY ENGINEER, HAVE REVIEWED THE ABOVE TITLED PLANS AND FIND THEM TO BE IN ACCORDANCE WITH THE CITY CODE AND THE ZONING ORDINANCE OF THE CITY OF MIAMI, FLORIDA, AND I HEREBY GRANT THE NECESSARY CITY ENGINEER'S APPROVAL FOR THE SUBMISSION OF THE PLANS TO THE MIAMI-DADE COUNTY BOARD OF COUNTY COMMISSIONERS FOR THEIR REVIEW AND APPROVAL.

THE PLAZA OF BAL HARBOUR
 10118 COLLINS AVENUE BAL HARBOUR, FL 33154

APP SUBMITTAL
 04/26/2024



SITE DATA, NEIGHBORHOOD & LOCATION PLANS

A-1C

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY



SUBJECT PROPERTY
FRONT VIEW



BUILDING TO THE WEST OF
SUBJECT PROPERTY



2ND BUILDING TO THE WEST
OF SUBJECT PROPERTY



3RD BUILDING TO THE NORTH
OF SUBJECT PROPERTY



BUILDING IN FRONT OF SUBJECT
PROPERTY



BUILDING TO THE SOUTH OF
SUBJECT PROPERTY



2ND BUILDING TO THE SOUTH
OF SUBJECT PROPERTY



3RD BUILDING TO THE SOUTH OF
SUBJECT PROPERTY



BUILDING IN FRONT OF SUBJECT
PROPERTY







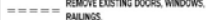
NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY

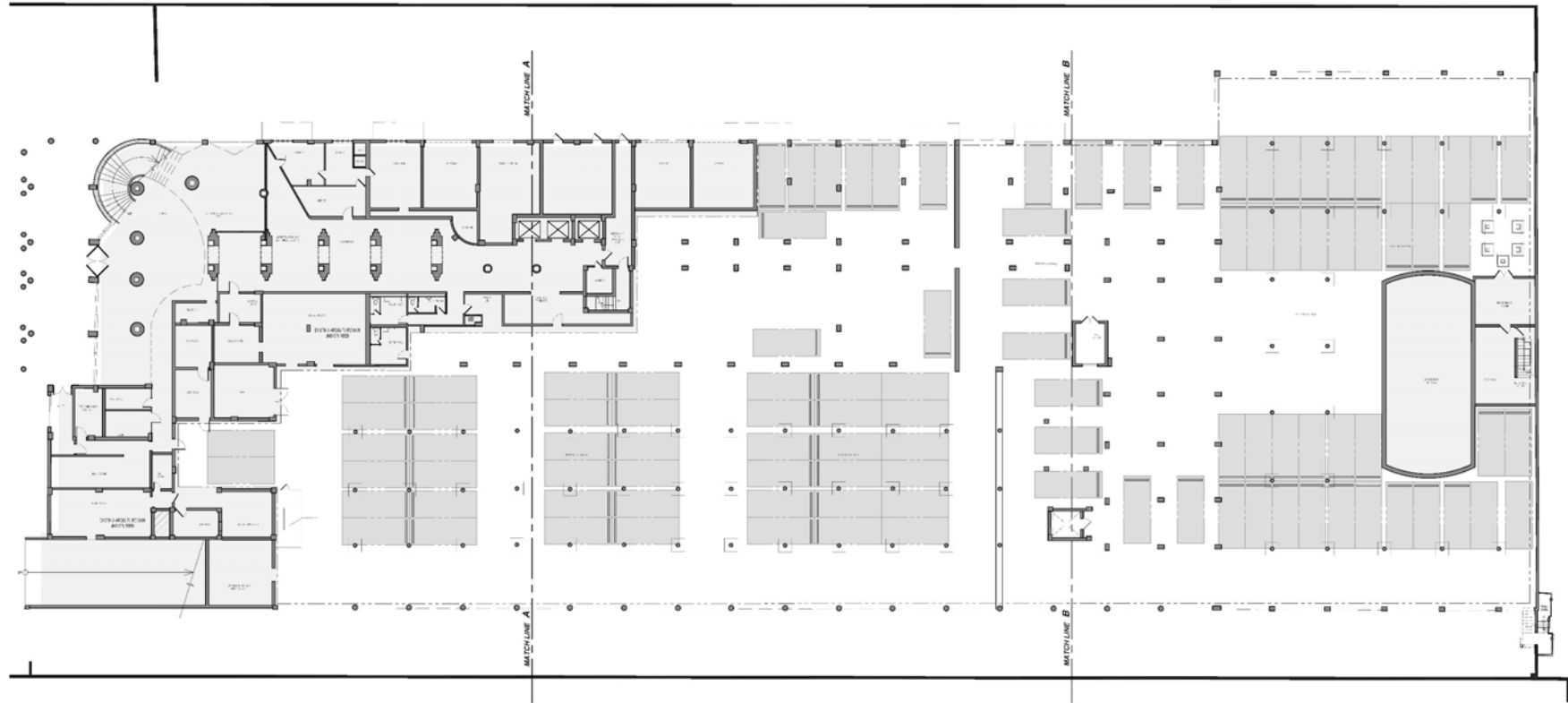
THE PLAZA OF BAL HARBOUR
EXTERIOR RENOVATION
10186 COLLINS AVENUE BAL HARBOUR, FL 33154

ARCH SUBMITTAL
06/26/2024

ELEVATIONS OF
NEIGHBORHOOD STREET
VIEW

A-1D

LEGEND	
	EXISTING AREAS TO REMAIN UNDISTURBED
	EXISTING WALL TO REMAIN
	REMOVE EXISTING BALCONY RAILING
	EXISTING AREAS TO REMAIN UNDISTURBED
	REMOVE EXISTING DOORS, WINDOWS, RAILINGS
	PARKING SPACE
	REMOVE ASPHALT AND PREPARING EXISTING PARKING GARAGE AREA FOR NEW CEMENT. SEE STRUCTURAL PLAN.



FULL EXTERIOR DEMOLITION GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY



TO THE BEST OF MY KNOWLEDGE AND BELIEF, I HAVE PREPARED THIS DOCUMENT IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA STATUTES AND THE BOARD OF PROFESSIONAL ENGINEERS AND ARCHITECTS.



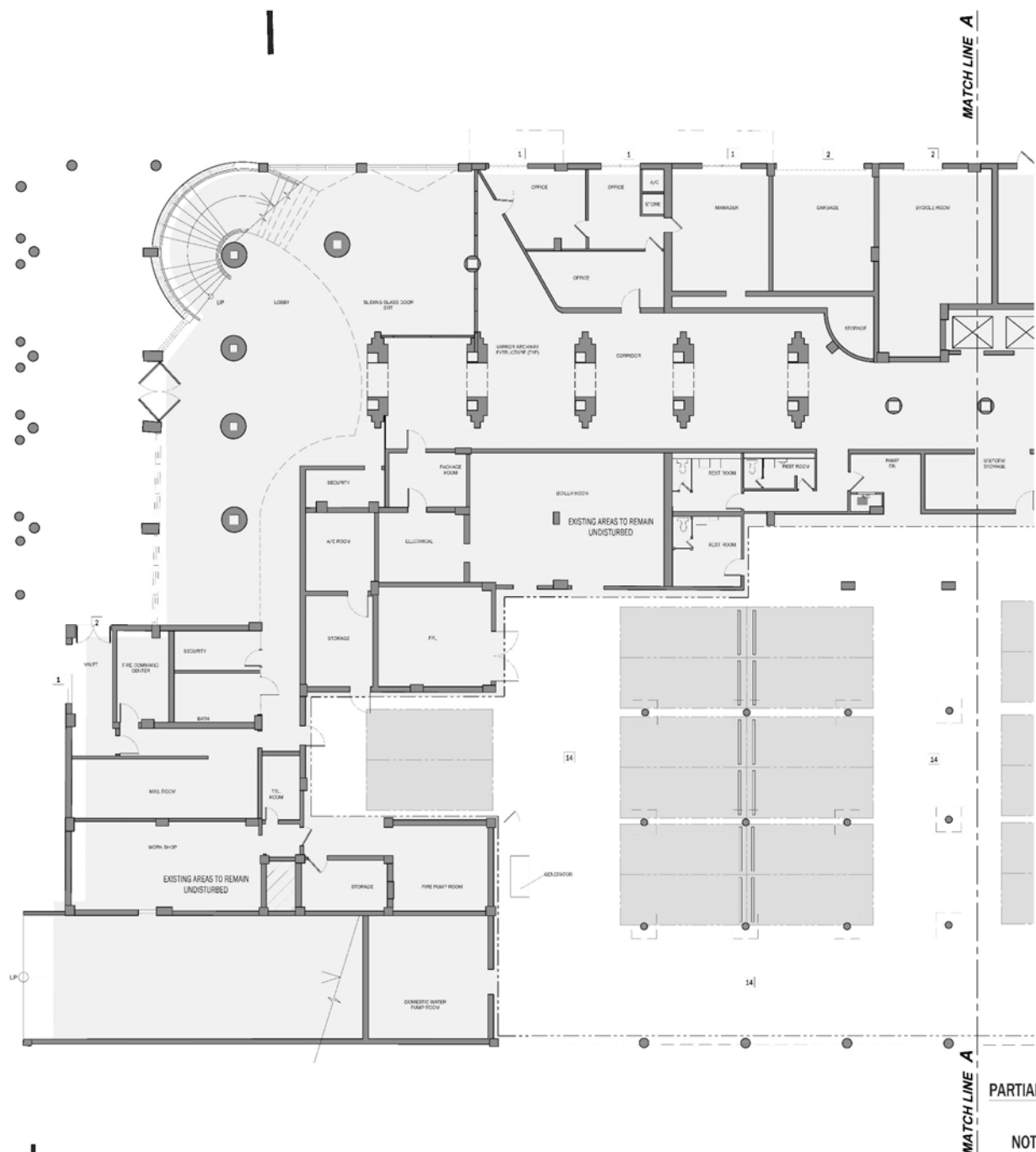
THE PLAZA OF BAL HARBOUR
10185 COLLINS AVENUE BAL HARBOUR, FL 33154

ARCH SUBMITTAL
06/26/2024



DEMOLITION FLOOR PLAN

A-2



LEGEND	
[Light Gray Box]	EXISTING AREAS TO REMAIN UNDISTURBED
[Dark Gray Box]	EXISTING WALL TO REMAIN
[Hatched Box]	REMOVE EXISTING BALCONY RAILING
[White Box]	EXISTING AREAS TO REMAIN UNDISTURBED
[Dashed Line]	REMOVE EXISTING DOORS, WINDOWS, RAILINGS
[Light Gray Box]	PARKING SPACE
[Dashed Line]	REMOVE ASPHALT AND PREPARE EXISTING PARKING GARAGE AREA FOR NEW DRIVEWAY. SEE STRUCTURAL PLAN.

DEMOLITION KEY NOTES:

- 1 EXISTING WINDOW TO BE REMOVED.
- 2 EXISTING DOORS TO BE REMOVED.
- 4 EXISTING PORTION OF EXTERIOR WALL TO BE REMOVED.
- 5
- 6 EXISTING WOOD STRUCTURE TO BE REMOVED.
- 7 EXISTING PLANTER TO BE REMOVED.
- 8 REMOVE EXISTING SLAB.
- 9 REMOVE DRIVEWAY.
- 10 EXISTING RAILING TO BE REMOVED.
- 13 DOORS TO BE RETAINED, REMEDIATED + PAINTED
- 14 REMOVE ASPHALT
- 15 REMOVE 6" OF ASPHALT

PARTIAL EXTERIOR DEMOLITION GROUND FLOOR PLAN (WEST SIDE)
SCALE: 1/8" = 1'-0"

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY

James J. Jolley
ARCHITECT
1770 W. UNIVERSITY, SUITE 100, TAMPA, FL 33613
PH: 813.274.4320
WWW.JAMESJOLLEY.COM
ARCH00015189

TO THE BEST OF MY SKILL AND KNOWLEDGE, I HAVE PREPARED THIS DOCUMENT IN ACCORDANCE WITH THE PROFESSIONAL SEAL AND ETHICS OF THE ARCHITECTURE BOARD OF FLORIDA. I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES.

N
W E S

THE PLAZA OF BAL HARBOUR
10185 COLLINS AVENUE BAL HARBOUR, FL 33154

ARCH SUBMITTAL
06/26/2024

STATE OF FLORIDA
JAMES J. JOLLEY
ARCHITECT
NO. 14906
STATE OF FLORIDA

DEMOLITION
FLOOR PLAN

A-2A



LEGEND	
	EXISTING AREAS TO REMAIN UNDISTURBED
	EXISTING WALL TO REMAIN
	REMOVE EXISTING BALCONY RAILING
	EXISTING AREAS TO REMAIN UNDISTURBED
	REMOVE EXISTING DOORS, WINDOWS, RAILINGS
	PARKING SPACE
	REMOVE ASPHALT AND PREPARING EXISTING PARKING GARAGE AREA FOR NEW CONCRETE. SEE STRUCTURAL PLAN.

- DEMOLITION KEY NOTES:**
- 1 EXISTING WINDOW TO BE REMOVED.
 - 2 EXISTING DOORS TO BE REMOVED.
 - 4 EXISTING PORTION OF EXTERIOR WALL TO BE REMOVED.
 - 5
 - 6 EXISTING WOOD STRUCTURE TO BE REMOVED.
 - 7 EXISTING PLANTER TO BE REMOVED.
 - 8 REMOVE EXISTING SLAB.
 - 9 REMOVE DRIVEWAY.
 - 10 EXISTING RAILING TO BE REMOVED.
 - 13 DOORS TO BE RETAINED, REMEDIATED + PAINTED
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 - 15 REMOVE 6" OF ASPHALT

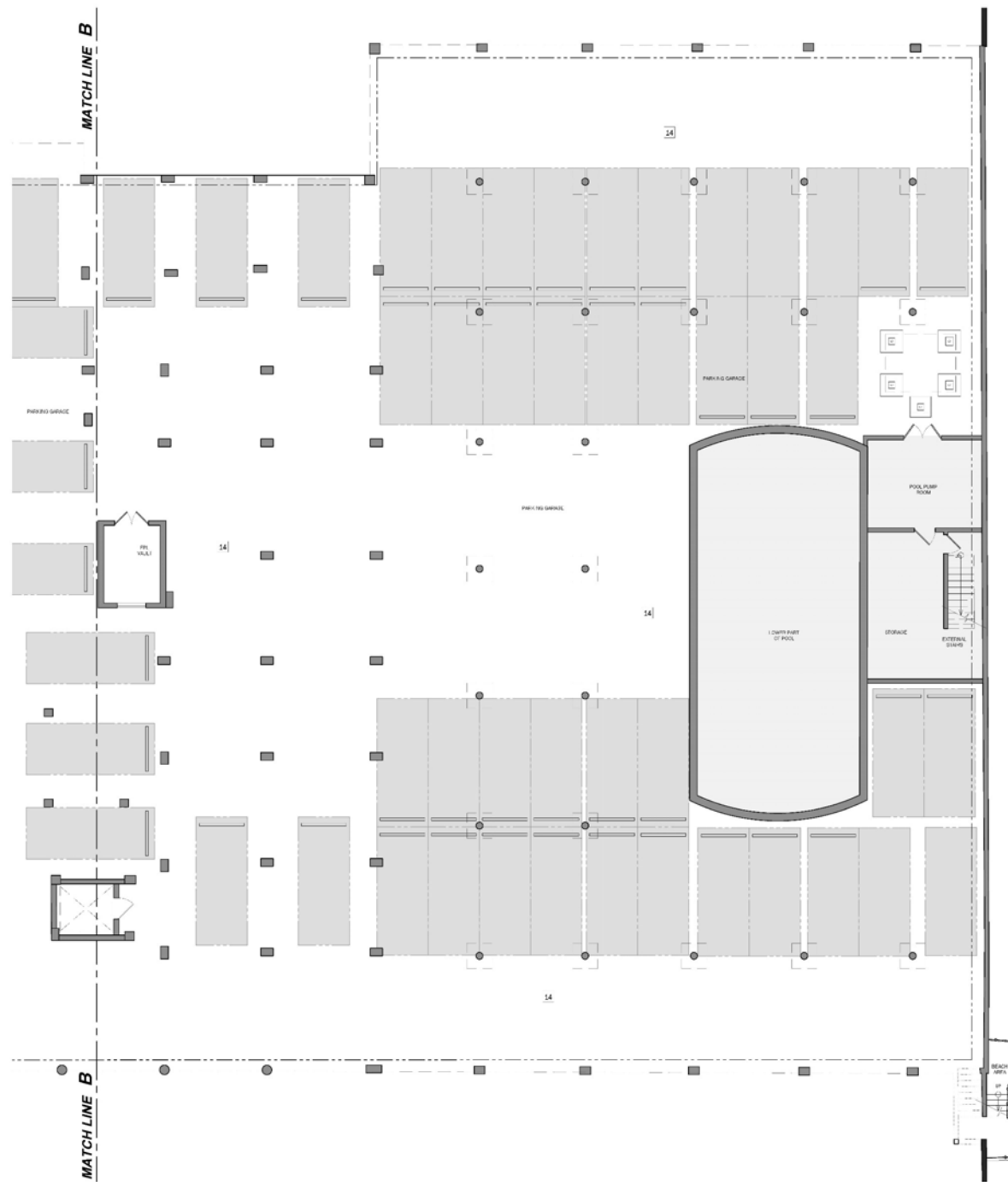
THE PLAZA OF BAL HARBOUR
 10185 COLLINS AVENUE BAL HARBOUR, FL 33154

APP SUBMITTAL
 06/26/2024

DEMOLITION FLOOR PLAN

A-2B

PARTIAL EXTERIOR DEMOLITION GROUND FLOOR PLAN (CENTER)
 SCALE: 1/8" = 1'-0"
 NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY



LEGEND	
[Light Gray Box]	EXISTING AREAS TO REMAIN UNDISTURBED
[Dark Gray Box]	EXISTING WALL TO REMAIN
[Hatched Box]	REMOVE EXISTING RAILING BALCONY
[Diagonal Lines Box]	REMOVE EXISTING INTERIOR PARTITIONS
[White Box]	EXISTING AREAS TO REMAIN UNDISTURBED
[Dashed Line]	REMOVE EXISTING DOORS, WINDOWS, RAILINGS.
[Light Gray Box]	PARKING SPACE
[Dashed Line]	REMOVE ASPHALT AND PREPARING EXISTING PARKING GARAGE AREA FOR NEW CEMENT. SEE STRUCTURAL PLAN.

DEMOLITION KEY NOTES:

- 1 EXISTING WINDOW TO BE REMOVED.
- 2 EXISTING DOORS TO BE REMOVED.
- 4 EXISTING PORTION OF EXTERIOR WALL TO BE REMOVED.
- 5
- 6 EXISTING WOOD STRUCTURE TO BE REMOVED.
- 7 EXISTING PLANTER TO BE REMOVED.
- 8 REMOVE EXISTING SLAB.
- 9 REMOVE DRIVEWAY.
- 10 EXISTING RAILING TO BE REMOVED.
- 13 DOORS TO BE RETAINED, REMEDIATED + PAINTED
- 14 REMOVE ASPHALT
- 15 REMOVE 6" OF ASPHALT

PARTIAL EXTERIOR DEMOLITION GROUND FLOOR PLAN (EAST SIDE)
SCALE: 1/8" = 1'-0"

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY



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THE PLAZA OF BAL HARBOUR
EXTERIOR RENOVATION
10185 COLLINS AVENUE BAL HARBOUR, FL 33154

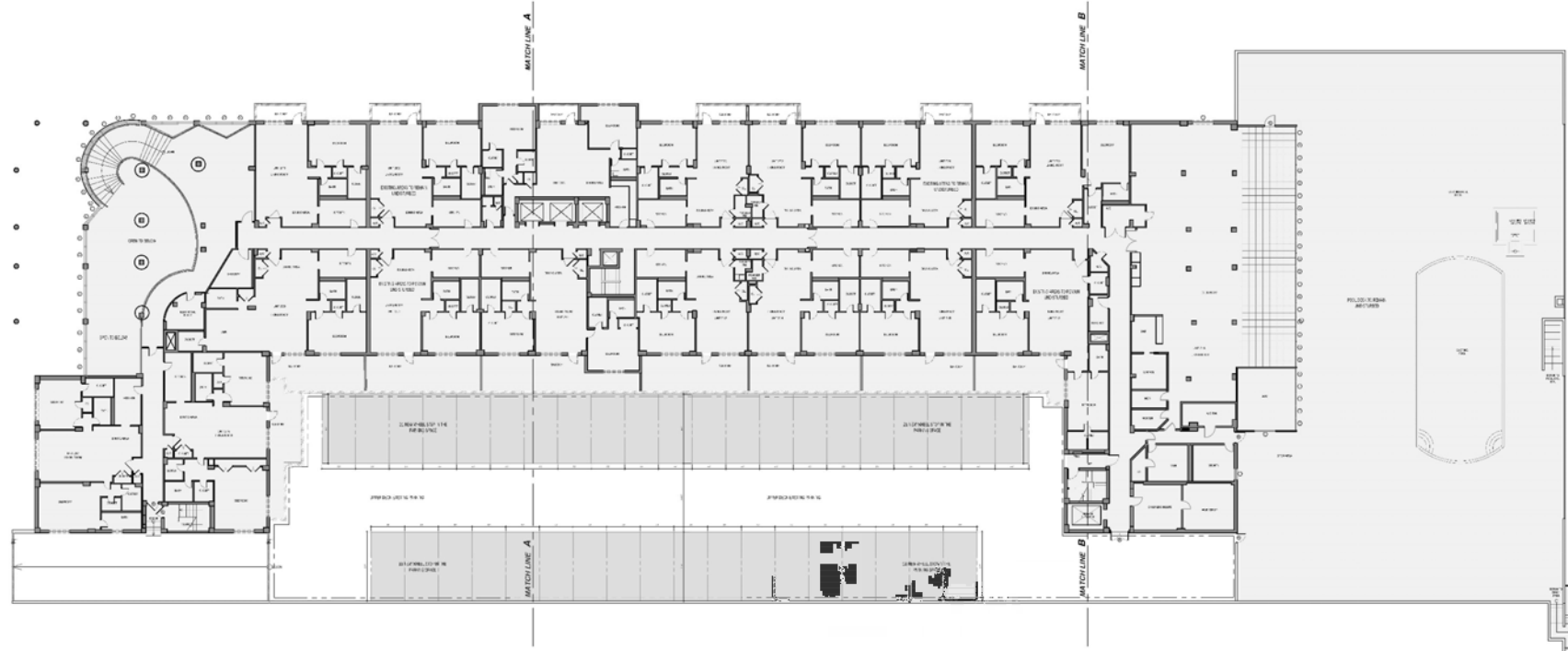
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06/26/2024



DEMOLITION FLOOR PLAN

A-2C

LEGEND	
	EXISTING AREAS TO REMAIN UNDISTURBED
	EXISTING WALL TO REMAIN
	REMOVE EXISTING RAILING BALCONY
	PREPARING PARKING AREA FOR NEW ASPHALT DRIVEWAY
	REMOVE EXISTING DOORS, WINDOWS, RAILINGS
	PARKING SPACE



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TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLAN AND SPECIFICATIONS THEREON COMPLY WITH ALL APPLICABLE REGULATORY REQUIREMENTS AND STANDARDS. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION SHOWN ON THIS DRAWING.



THE PLAZA OF BAL HARBOUR
 EXTERIOR RENOVATION
 10185 COLLINS AVENUE BAL HARBOUR, FL 33154

ARIS RESUBMITTAL
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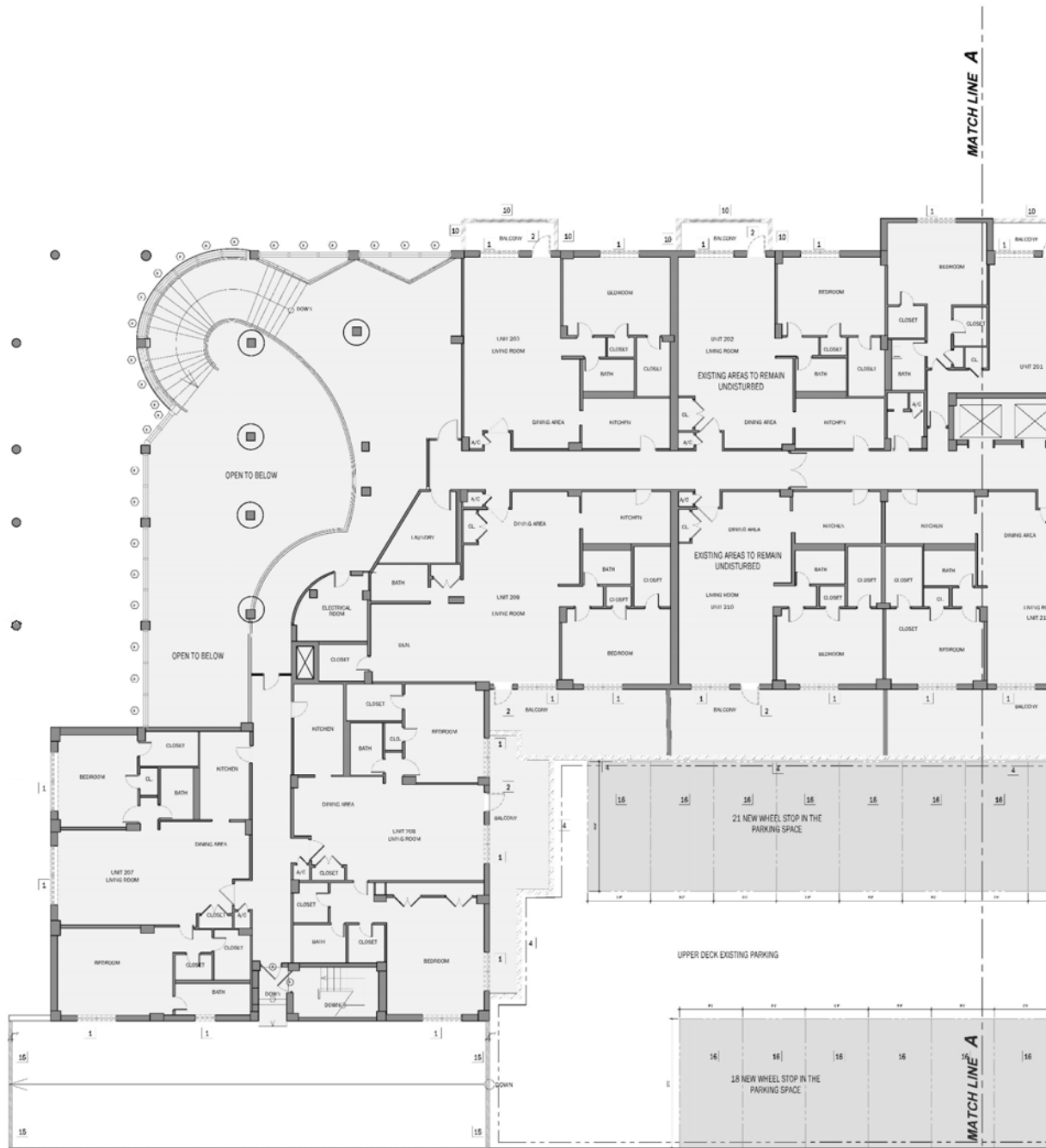


DEMOLITION FLOOR PLAN

A-3

FULL EXTERIOR DEMOLITION SECOND FLOOR PLAN
 SCALE 1/16" = 1'-0"

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY.



LEGEND	
	EXISTING AREAS TO REMAIN UNDISTURBED
	EXISTING WALL TO REMAIN
	REMOVE EXISTING RAILING BALCONY
	PREPARING PARKING AREA FOR NEW ASPHALT DRIVEWAY
	REMOVE EXISTING DOORS, WINDOWS, RAILINGS.
	PARKING SPACE

DEMOLITION KEY NOTES:

- 1 EXISTING WINDOW TO BE REMOVED.
- 2 EXISTING DOORS TO BE REMOVED.
- 4 EXISTING PORTION OF EXTERIOR WALL TO BE REMOVED.
- 6 EXISTING WOOD STRUCTURE TO BE REMOVED.
- 7 EXISTING PLANTER TO BE REMOVED.
- 8 REMOVE EXISTING SLAB.
- 9 REMOVE DRIVEWAY.
- 10 EXISTING RAILING TO BE REMOVED.
- 13 DOORS TO BE RETAINED, REMEDIATED + PAINTED
- 14 REMOVE ASPHALT
- 15 REMOVE 6" OF ASPHALT.



TO THE BEST OF MY SKILL AND KNOWLEDGE, I HAVE PREPARED THIS PLAN AND SPECIFICATIONS ACCORDING TO THE PROFESSIONAL STANDARDS AND PRACTICES AND I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY OF ANY KIND, INCLUDING BUT NOT LIMITED TO, THE ACCURACY OF THE INFORMATION AND THE COMPLETION OF THE WORK SHOWN HEREON.



THE PLAZA OF BAL HARBOUR
10185 COLLINS AVENUE BAL HARBOUR, FL 33154

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06/26/2024

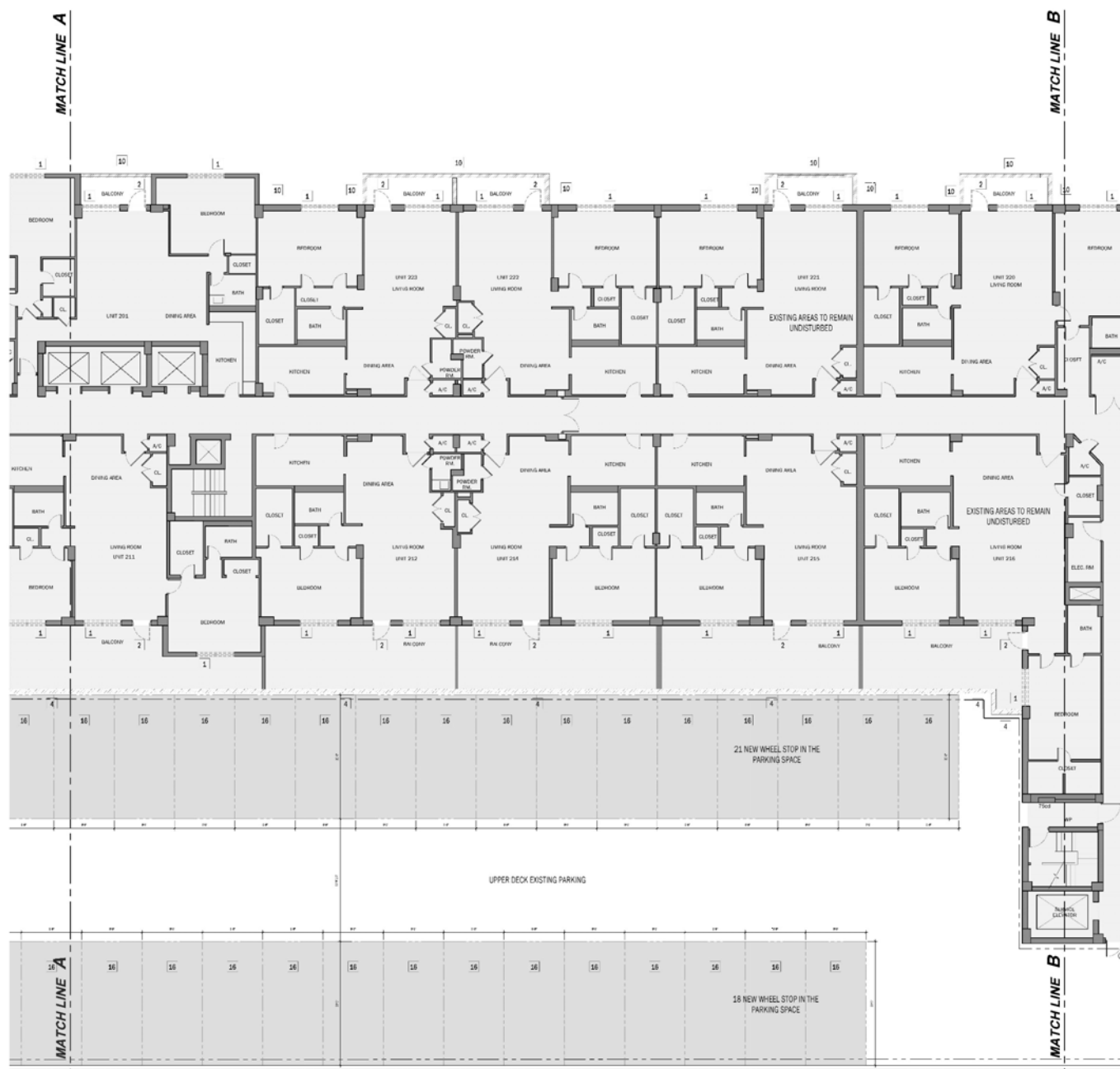


DEMOLITION FLOOR PLAN

A-3A

PARTIAL EXTERIOR DEMOLITION SECOND FLOOR PLAN (WEST SIDE)
SCALE: 1/8" = 1'-0"

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY.



LEGEND	
[Light Gray Box]	EXISTING AREAS TO REMAIN UNDISTURBED
[Dark Gray Box]	EXISTING WALL TO REMAIN
[Hatched Box]	REMOVE EXISTING RAILING BALCONY
[Dashed Box]	PREPARING PARKING AREA FOR NEW ASPHALT DRIVEWAY
[Dotted Box]	REMOVE EXISTING DOORS, WINDOWS, RAILINGS
[White Box]	PARKING SPACE

DEMOLITION KEY NOTES:

- 1 EXISTING WINDOW TO BE REMOVED.
- 2 EXISTING DOORS TO BE REMOVED.
- 4 EXISTING PORTION OF EXTERIOR WALL TO BE REMOVED.
- 6 EXISTING WOOD STRUCTURE TO BE REMOVED.
- 7 EXISTING PLANTER TO BE REMOVED.
- 8 REMOVE EXISTING SLAB.
- 9 REMOVE DRIVEWAY.
- 10 EXISTING RAILING TO BE REMOVED.
- 13 DOORS TO BE RETAINED, REMEDIATED + PAINTED
- 14 REMOVE ASPHALT
- 16 REMOVE 6" OF ASPHALT.



TO THE BEST OF MY SKNOWLEDGE AND BELIEF, I HAVE PREPARED THESE PLANS IN ACCORDANCE WITH THE PROFESSIONAL SEAL AND THE REQUIREMENTS OF THE FLORIDA STATUTES AND THE BOARD OF PROFESSIONAL ENGINEERS AND ARCHITECTS.



THE PLAZA OF BAL HARBOUR
 10185 COLLINS AVENUE BAL HARBOUR, FL 33154

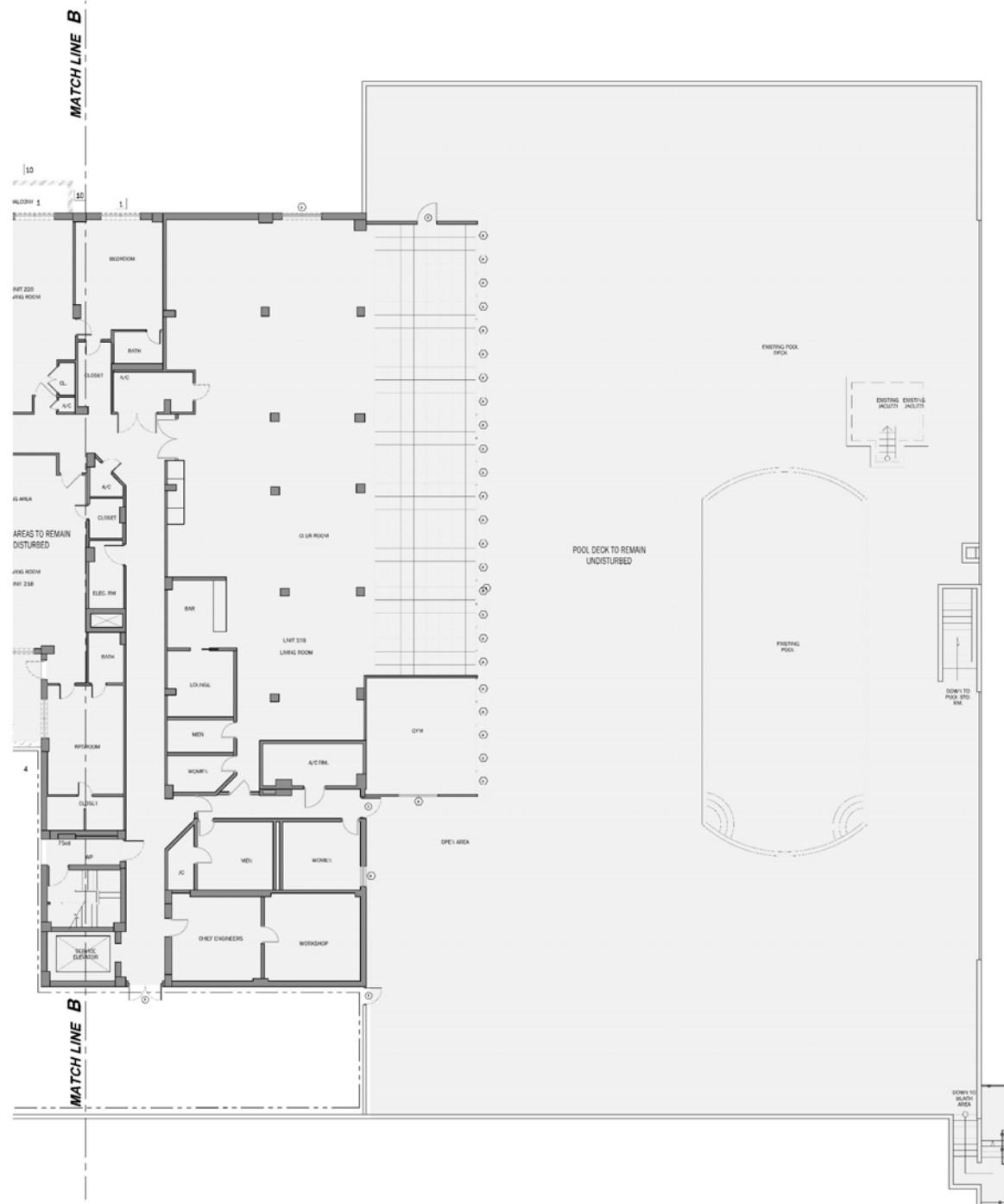
ARJ RESUBMITTAL
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DEMOLITION FLOOR PLAN

PARTIAL EXTERIOR DEMOLITION SECOND FLOOR PLAN (CENTER)
 SCALE: 1/8" = 1'-0"

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY.



LEGEND	
	EXISTING AREAS TO REMAIN UNDISTURBED
	EXISTING WALL TO REMAIN
	REMOVE EXISTING RAILING BALCONY
	PREPARING PARKING AREA FOR NEW ASPHALT DRIVEWAY
	REMOVE EXISTING DOORS, WINDOWS, RAILINGS.
	PARKING SPACE

DEMOLITION KEY NOTES:

- 1 EXISTING WINDOW TO BE REMOVED.
- 2 EXISTING DOORS TO BE REMOVED.
- 4 EXISTING PORTION OF EXTERIOR WALL TO BE REMOVED.
- 6 EXISTING WOOD STRUCTURE TO BE REMOVED.
- 7 EXISTING PLANTER TO BE REMOVED.
- 8 REMOVE EXISTING SLAB.
- 9 REMOVE DRIVEWAY.
- 10 EXISTING RAILING TO BE REMOVED.
- 13 DOORS TO BE RETAINED, REMEDIATED + PAINTED
- 14 REMOVE ASPHALT
- 15 REMOVE 6" OF ASPHALT.

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TO THE BEST OF HIS SKILL AND KNOWLEDGE, THE ARCHITECT HAS PREPARED THESE PLANS AND SPECIFICATIONS IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS OF PRACTICE AND ETHICS OF THE ARCHITECTS AND ENGINEERS BOARD OF FLORIDA. THE ARCHITECT HAS NOT CONDUCTED A VISUAL SURVEY OF THE EXISTING CONDITIONS OF THE PROJECT.



THE PLAZA OF BAL HARBOUR
 EXTERIOR RENOVATION
 10185 COLLINS AVENUE BAL HARBOUR, FL 33154

ABB RESUBMITTAL
 06/26/2024

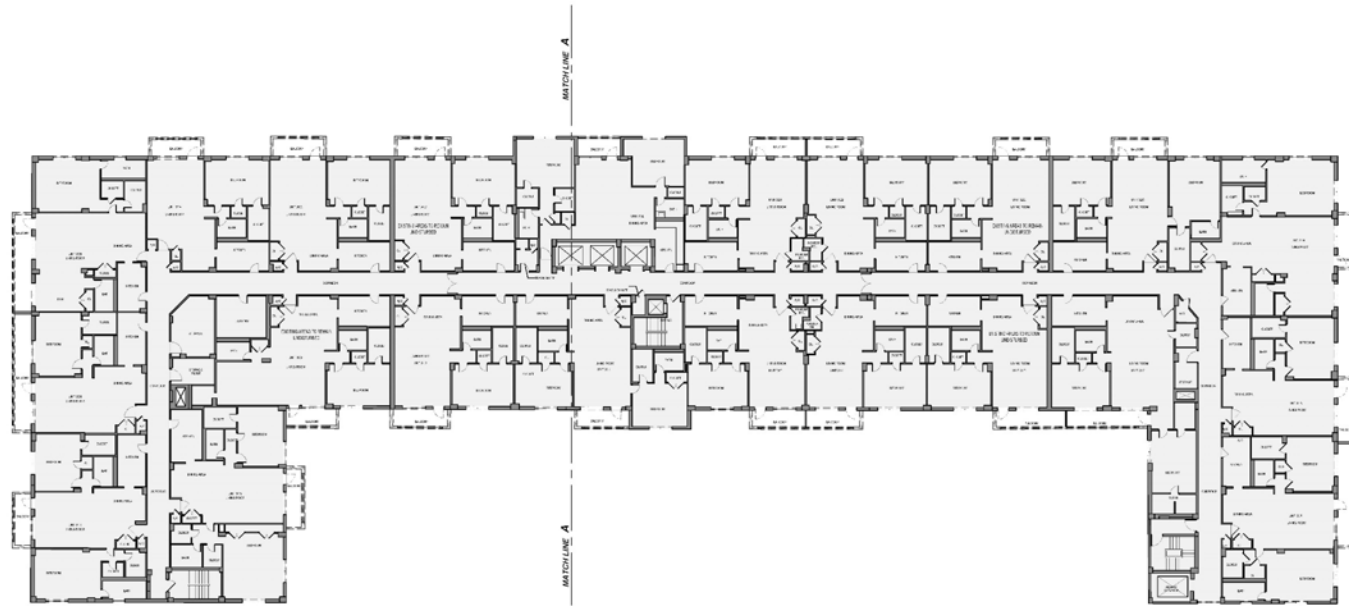


DEMOLITION FLOOR PLAN

A-3C

PARTIAL EXTERIOR DEMOLITION SECOND FLOOR PLAN (EAST SIDE)
SCALE: 1/8" = 1'-0"

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY.



LEGEND	
	EXISTING AREAS TO REMAIN UNDISTURBED
	EXISTING WALL TO REMAIN
	REMOVE EXISTING RAILING BALCONY
	EXISTING AREAS TO REMAIN UNDISTURBED
	REMOVE EXISTING DOORS, WINDOWS, RAILINGS
	PARKING SPACE



TO THE BEST OF MY KNOWLEDGE AND BELIEF, I AM A REGISTERED ARCHITECT IN THE STATE OF FLORIDA AND I AM NOT PROVIDING ARCHITECTURAL SERVICES TO ANY OTHER PROJECTS AT THE SAME TIME AS THIS PROJECT. I AM NOT PROVIDING ARCHITECTURAL SERVICES TO ANY OTHER PROJECTS AT THE SAME TIME AS THIS PROJECT.



THE PLAZA OF BAL HARBOUR
 EXTERIOR RENOVATION
 10185 COLLINS AVENUE BAL HARBOUR, FL 33154

APP RESUBMITTAL
 06/26/2024

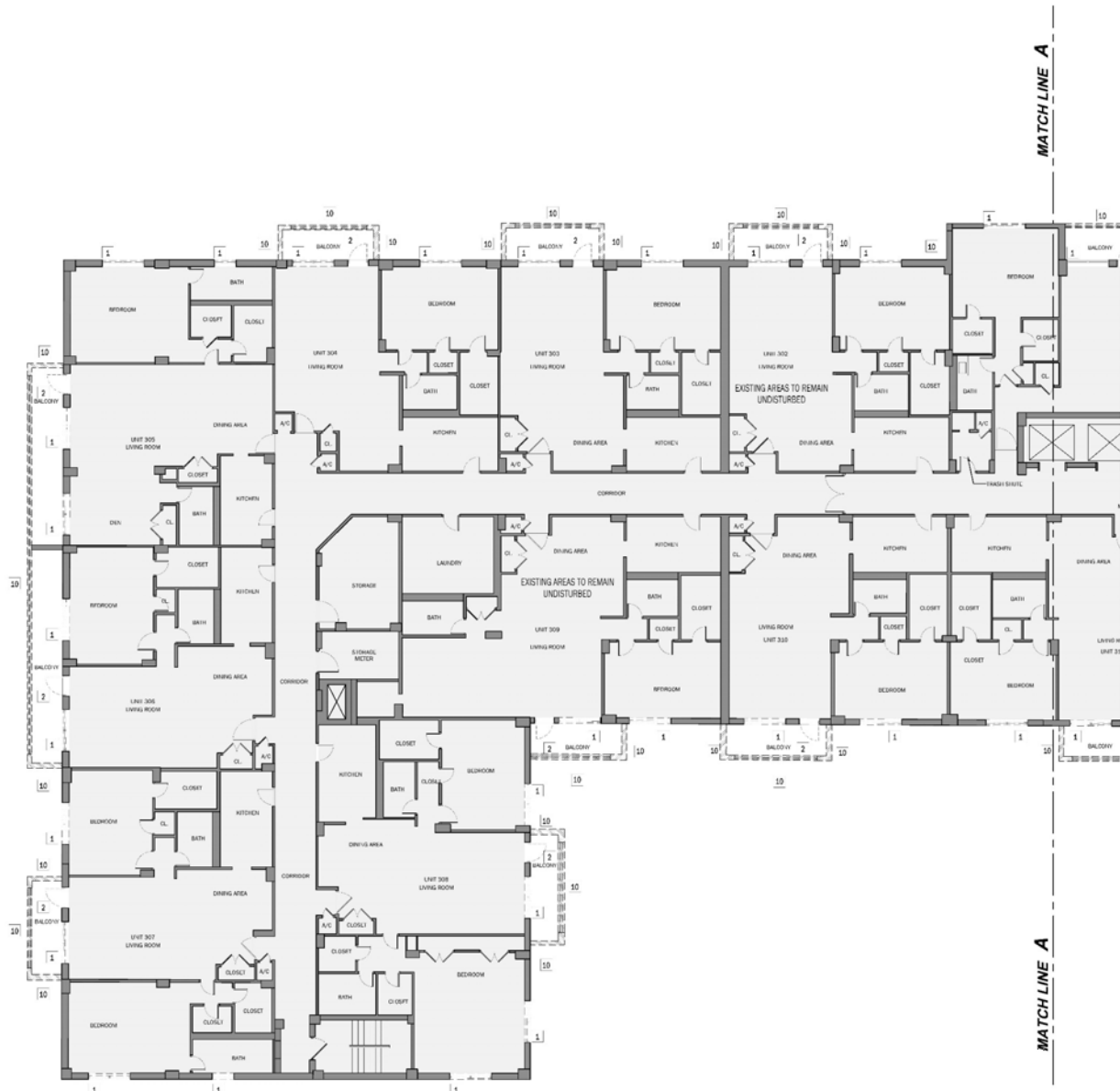


DEMOLITION
 FLOOR PLAN

A-4

FULL EXTERIOR DEMOLITION TYPICAL 3RD - PENTHOUSE FLOOR PLAN LEVELS
 SCALE: 1/8" = 1'-0"

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY.



LEGEND	
	EXISTING AREAS TO REMAIN UNDISTURBED
	EXISTING WALL TO REMAIN
	REMOVE EXISTING RAILING BALCONY
	PREPARING PARKING AREA FOR NEW ASPHALT DRIVEWAY
	REMOVE EXISTING DOORS, WINDOWS, RAILINGS.
	PARKING SPACE

DEMOLITION KEY NOTES:

- 1 EXISTING WINDOW TO BE REMOVED.
- 2 EXISTING DOORS TO BE REMOVED.
- 4 EXISTING PORTION OF EXTERIOR WALL TO BE REMOVED.
- 6 EXISTING WOOD STRUCTURE TO BE REMOVED.
- 7 EXISTING PLANTER TO BE REMOVED.
- 8 REMOVE EXISTING SLAB.
- 9 REMOVE DRIVEWAY.
- 10 EXISTING RAILING TO BE REMOVED.
- 13 DOORS TO BE RETAINED, REMEDIATED + PAINTED
- 14 REMOVE ASPHALT
- 15 REMOVE 6" OF ASPHALT.



TO THE BEST OF HIS SKILL AND KNOWLEDGE, THE ARCHITECT HAS PREPARED THIS PLAN IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS OF PRACTICE AND ETHICS OF THE ARCHITECTS AND ENGINEERS BOARD OF FLORIDA. THE ARCHITECT HAS NOT CONDUCTED A VISUAL SURVEY OF THE EXISTING CONDITIONS.



THE PLAZA OF BAL HARBOUR
 10185 COLLINS AVENUE BAL HARBOUR, FL 33154

APP RESUBMITTAL
 06/26/2024

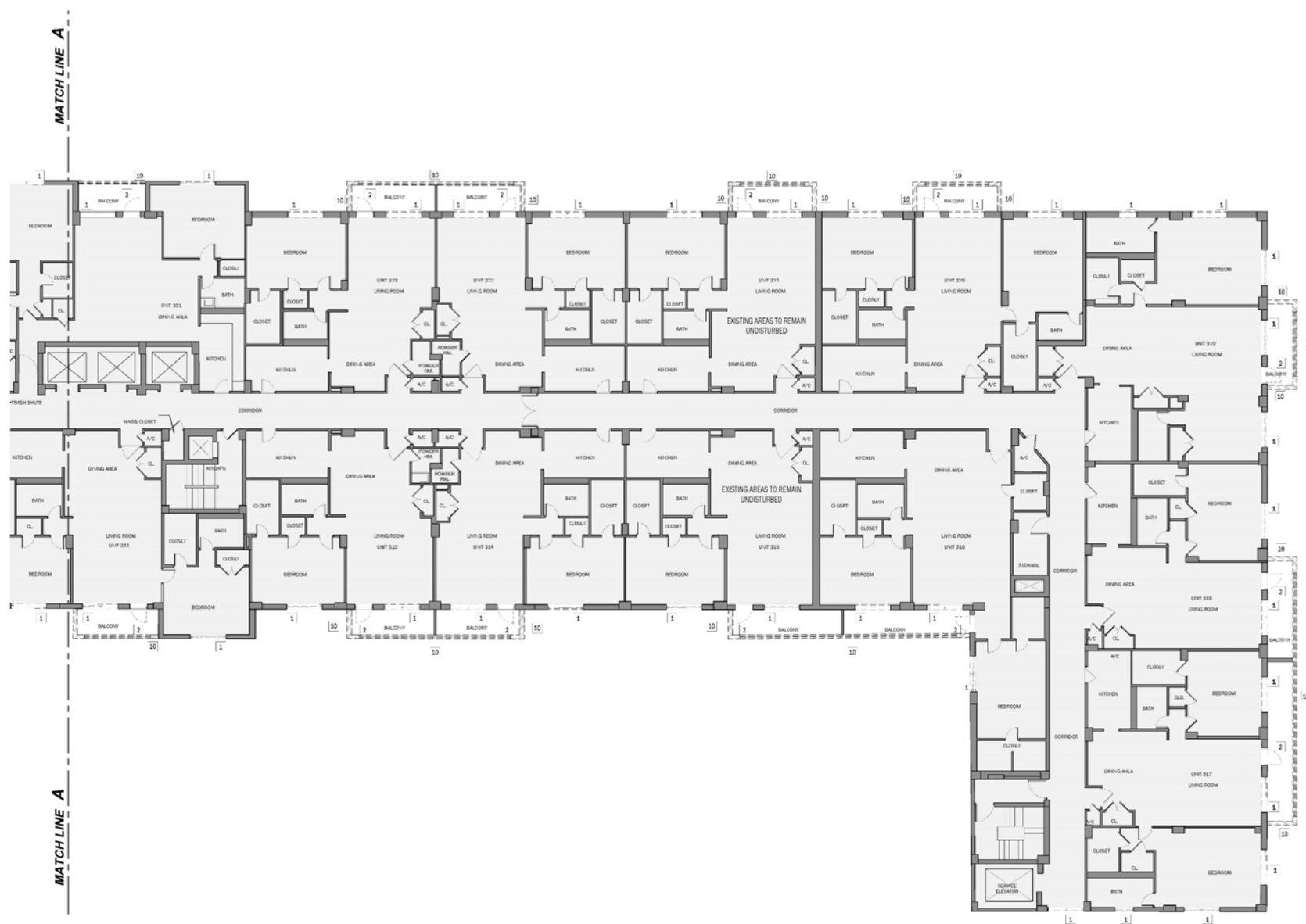


DEMOLITION FLOOR PLAN

A-4A

PARTIAL EXTERIOR DEMOLITION TYPICAL 3RD - PENTHOUSE FLOOR PLAN LEVELS (WEST SIDE)
 SCALE: 1/8" = 1'-0"

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY.



LEGEND	
	EXISTING AREAS TO REMAIN UNDISTURBED
	EXISTING WALL TO REMAIN
	REMOVE EXISTING RAILING BALCONY
	PREPARING PARKING AREA FOR NEW ASPHALT DRIVEWAY
	REMOVE EXISTING DOORS, WINDOWS, RAILINGS.
	PARKING SPACE

DEMOLITION KEY NOTES:

- 1 EXISTING WINDOW TO BE REMOVED.
- 2 EXISTING DOORS TO BE REMOVED.
- 4 EXISTING PORTION OF EXTERIOR WALL TO BE REMOVED.
- 6 EXISTING WOOD STRUCTURE TO BE REMOVED.
- 7 EXISTING PLANTER TO BE REMOVED.
- 8 REMOVE EXISTING SLAB.
- 9 REMOVE DRIVEWAY.
- 10 EXISTING RAILING TO BE REMOVED.
- 13 DOORS TO BE RETAINED, REMEDIATED + PAINTED
- 14 REMOVE ASPHALT
- 15 REMOVE 6" OF ASPHALT.

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TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLAN AND SPECIFICATIONS SHOWN ON THIS SHEET COMPLY WITH ALL APPLICABLE REGULATIONS AND ORDINANCES. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED ON THIS SHEET.



THE PLAZA OF BAL HARBOUR
 10185 COLLINS AVENUE BAL HARBOUR, FL 33154

APP SUBMITTAL
 06/26/2024



DEMOLITION FLOOR PLAN

PARTIAL EXTERIOR DEMOLITION TYPICAL 3RD - PENTHOUSE FLOOR PLAN LEVELS (EAST SIDE) SCALE 1/8" = 1'-0"

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY.



LEGEND

- EXISTING STRUCTURE TO BE DEMOLISHED
- EXISTING DOOR AND WINDOW TO BE DEMOLISHED
- DOORS TO BE REMEDIATED AND PAINTED
- EXISTING STRUCTURE TO REMAIN UNDISTURBED
- EXISTING STRUCTURE TO REMAIN UNDISTURBED

KEY NOTES:

- 1 REMOVE EXISTING RAILINGS ABOVE SLABS. ALL LEVELS FROM 2 TO 16.
- 2 REMOVE WINDOWS.
- 3 REMOVE DOORS & TRANSOM WINDOW PANEL ABOVE.
- 4 REMOVE BALCONY PARTITIONS BETWEEN UNITS.
- 5 DOORS TO BE REMEDIATED AND PAINTED
- 6 REMOVE EXISTING WALL
- 7 REMOVE GARAGE DOOR

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TO THE BEST OF HIS KNOWLEDGE AND BELIEF, THE ARCHITECT HAS PREPARED THESE PLANS AND SPECIFICATIONS IN ACCORDANCE WITH THE PROFESSIONAL SEAL AND STATUTE OF THE STATE OF FLORIDA. THE ARCHITECT DOES NOT WARRANT OR GUARANTEE THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS.

THE PLAZA OF BAL HARBOUR
 10185 COLLINS AVENUE BAL HARBOUR, FL 33154
 EXTERIOR RENOVATION

ARCH RESUBMITTAL
 06/26/2024

JAMES J. JOLLEY
 PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO. 12512
 EXPIRES 12/31/2026

DEMO ELEVATIONS

A-5

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY

EXTERIOR DEMOLITION FRONT WEST ELEVATION
 SCALE: 1/8" = 1'-0"

LEGEND

	EXISTING STRUCTURE TO BE DEMOLISHED
	EXISTING DOOR AND WINDOW TO BE DEMOLISHED
	DOORS TO BE REMEDIATED AND PAINTED
	EXISTING STRUCTURE TO REMAIN UNDISTURBED
	EXISTING STRUCTURE TO REMAIN UNDISTURBED

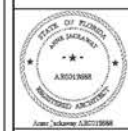
- KEY NOTES:**
- 1 REMOVE EXISTING RAILINGS ABOVE SLABS, ALL LEVELS FROM 2 TO 15.
 - 2 REMOVE WINDOWS.
 - 3 REMOVE DOORS & TRANSOM WINDOW PANEL ABOVE.
 - 4 REMOVE BALCONY PARTITIONS BETWEEN UNITS.
 - 6 DOORS TO BE REMEDIATED AND PAINTED
 - 7 REMOVE EXISTING WALL
 - 8 REMOVE GARAGE DOOR

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 ARCHITECT 5189

TO THE BEST OF MY KNOWLEDGE AND BELIEF, I HAVE PREPARED THESE PLANS AND SPECIFICATIONS IN ACCORDANCE WITH THE PROFESSIONAL SEAL AND STANDARDS OF THE ARCHITECTURE BOARD OF FLORIDA.

THE PLAZA OF BAL HARBOUR
 10185 COLLINS AVENUE BAL HARBOUR, FL 33154

ASIS RESUBMITTAL
 06/26/2024



GENO ELEVATIONS

A-6



NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY

FULL EXTERIOR DEMOLITION NORTH ELEVATION
 SCALE: 1/16" = 1'-0"



LEGEND

	EXISTING STRUCTURE TO BE DEMOLISHED
	EXISTING DOOR AND WINDOW TO BE DEMOLISHED
	DOORS TO BE REMEDIATED AND PAINTED
	EXISTING STRUCTURE TO REMAIN UNDISTURBED
	EXISTING STRUCTURE TO REMAIN UNDISTURBED

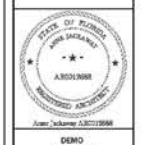
- KEY NOTES:**
- 1 REMOVE EXISTING RAILINGS ABOVE SLABS ALL LEVELS FROM 2 TO 15.
 - 2 REMOVE WINDOWS.
 - 3 REMOVE DOORS & TRANSOM WINDOW PANEL ABOVE.
 - 4 REMOVE BALCONY PARTITIONS BETWEEN UNITS.
 - 6 DOORS TO BE REMEDIATED AND PAINTED
 - 7 REMOVE EXISTING WALL
 - 8 REMOVE GARAGE DOOR

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 ARCH0001508

TO THE BEST OF HIS KNOWLEDGE AND BELIEF, THE DESIGNER HAS PREPARED THIS DOCUMENT IN ACCORDANCE WITH THE PROFESSIONAL SEAL OF THE ARCHITECTS OF THE STATE OF FLORIDA, CHAPTER 481, F.S. AND THE BOARD OF ARCHITECTURE, CHAPTER 481, F.S.

THE PLAZA OF BAL HARBOUR
 10185 COLLINS AVENUE BAL HARBOUR, FL 33154

ARJIS RESUBMITTAL
 06/26/2024



DEMOLITION ELEVATIONS

A-6A

PARTIAL EXTERIOR DEMOLITION NORTH ELEVATION (EAST SIDE)
 SCALE 1/8" = 1'-0"

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY



- KEY NOTES:**
- 1 REMOVE EXISTING RAILINGS ABOVE SLABS, ALL LEVELS FROM 2 TO 15.
 - 2 REMOVE WINDOWS.
 - 3 REMOVE DOORS & TRANSOM WINDOW PANEL ABOVE.
 - 4 REMOVE BALCONY PARTITIONS BETWEEN UNITS.
 - 5 DOORS TO BE REMEDIATED AND PAINTED
 - 7 REMOVE EXISTING WALL
 - 8 REMOVE GARAGE DOOR

LEGEND

	EXISTING STRUCTURE TO BE DEMOLISHED
	EXISTING DOOR AND WINDOW TO BE DEMOLISHED
	DOORS TO BE REMEDIATED AND PAINTED
	EXISTING STRUCTURE TO REMAIN UNDISTURBED
	EXISTING STRUCTURE TO REMAIN UNDISTURBED



THE PLAZA OF BAL HARBOUR
 EXTERIOR RENOVATION
 10185 COLLINS AVENUE BAL HARBOUR, FL 33154

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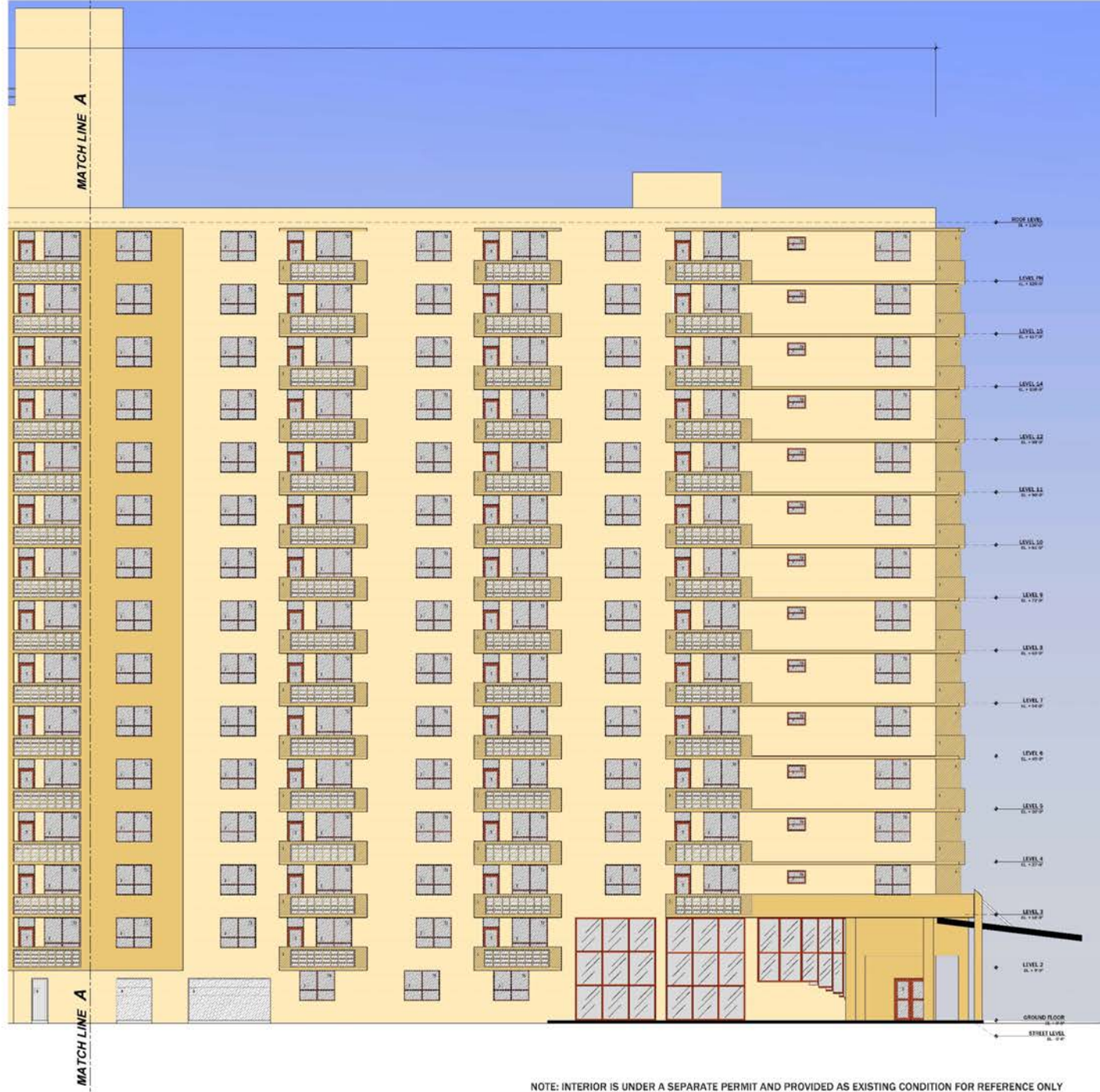


PARTIAL EXTERIOR DEMOLITION
 NORTH ELEVATION (CENTER)
 SCALE: 1/8" = 1'-0"

DEMO
 ELEVATIONS

A-6B

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY



- KEY NOTES:**
- 1 REMOVE EXISTING RAILINGS ABOVE SLABS ALL LEVELS FROM 2 TO 15.
 - 2 REMOVE WINDOWS.
 - 3 REMOVE DOORS & TRANSOM WINDOW PANEL ABOVE.
 - 4 REMOVE BALCONY PARTITIONS BETWEEN UNITS.
-
- 6 DOORS TO BE REMEDIATED AND PAINTED
 - 7 REMOVE EXISTING WALL
 - 8 REMOVE GARAGE DOOR

LEGEND

- EXISTING STRUCTURE TO BE DEMOLISHED
- EXISTING DOOR AND WINDOW TO BE DEMOLISHED
- DOORS TO BE REMEDIATED AND PAINTED
- EXISTING STRUCTURE TO REMAIN UNDISTURBED
- EXISTING STRUCTURE TO REMAIN UNDISTURBED

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IN THE BEST OF THE ARCHITECT'S JUDGMENT, HE HAS MADE REASONABLE ASSUMPTIONS AND HAS NOT CONDUCTED A VISUAL SURVEY OF THE EXISTING CONDITIONS OF THE PROJECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE SERVICES PROVIDED AND DOES NOT EXTEND TO THE RETENTION OF AND USE OF THESE PLANS.

THE PLAZA OF BAL HARBOUR
 EXTERIOR RENOVATION
 10186 COLLINS AVENUE BAL HARBOUR, FL 33154

ARJ RESUBMITTAL
 06/26/2024

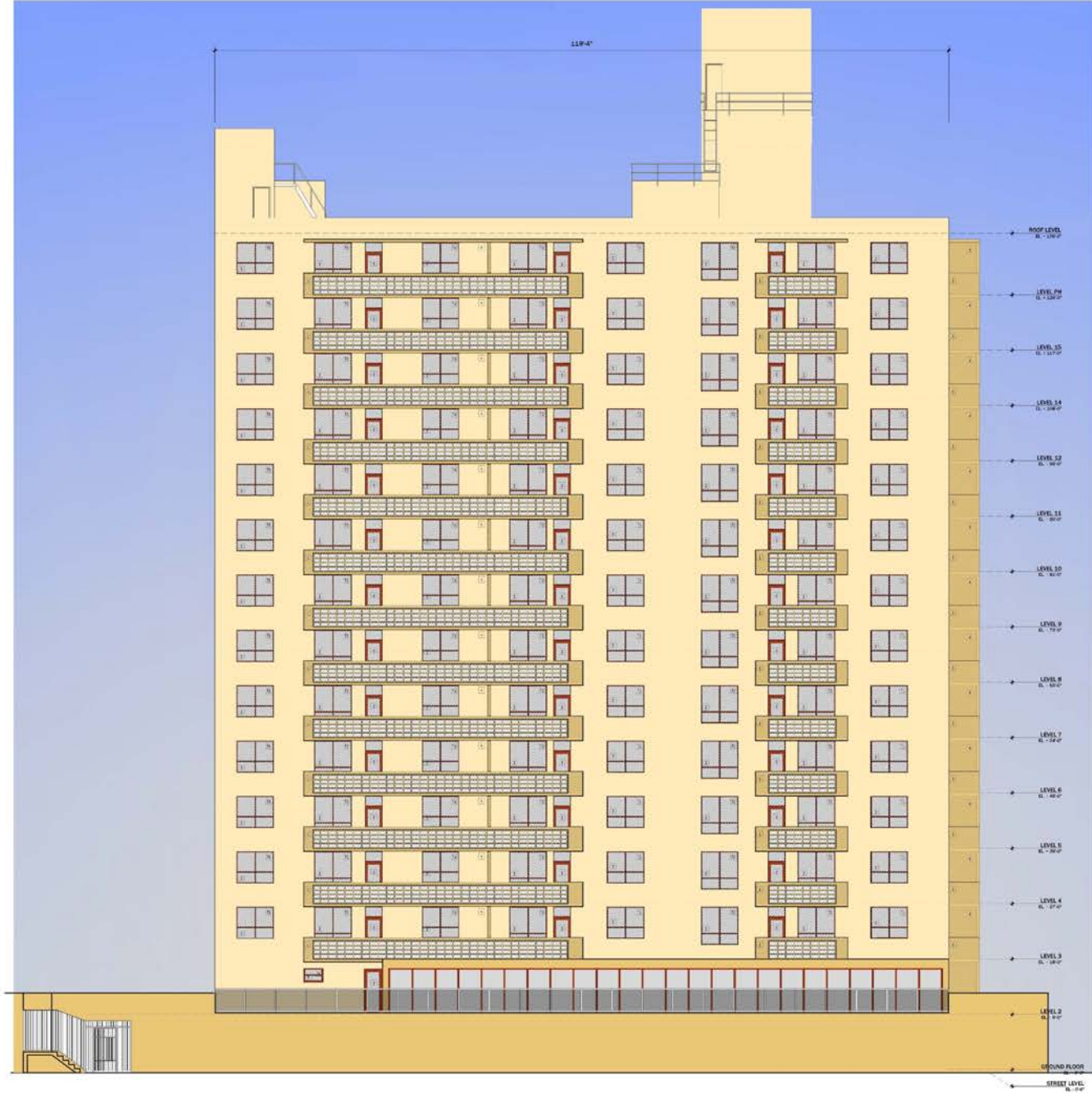


DEMO ELEVATIONS

PARTIAL EXTERIOR DEMOLITION NORTH ELEVATION (WEST SIDE)
 SCALE: 1/8" = 1'-0"

A-6C

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY



LEGEND	
	EXISTING STRUCTURE TO BE DEMOLISHED
	EXISTING DOOR AND WINDOW TO BE DEMOLISHED
	DOORS TO BE REMEDIATED AND PAINTED
	EXISTING STRUCTURE TO REMAIN UNDISTURBED
	EXISTING STRUCTURE TO REMAIN UNDISTURBED

- KEY NOTES:**
- 1 REMOVE EXISTING RAILINGS ABOVE SLABS. ALL LEVELS FROM 2 TO 15.
 - 2 REMOVE WINDOWS.
 - 3 REMOVE DOORS & TRANSOM WINDOW PANEL ABOVE.
 - 4 REMOVE BALCONY PARTITIONS BETWEEN UNITS.
 - 5 DOORS TO BE REMEDIATED AND PAINTED
 - 6 REMOVE EXISTING WALL
 - 7 REMOVE GARAGE DOOR

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TO THE BEST OF HIS KNOWLEDGE AND BELIEF, THE DESIGNER HAS PREPARED THESE PLANS IN ACCORDANCE WITH THE PROFESSIONAL SEAL AND LICENSE REQUIREMENTS OF THE STATE OF FLORIDA. THE DESIGNER HAS NOT CONDUCTED A VISUAL SURVEY OF THE PROJECT SITE TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED.

THE PLAZA OF BAL HARBOUR
 10185 COLLINS AVENUE BAL HARBOUR, FL 33154

ARCH SUBMITTAL
 06/26/2024



EXTERIOR DEMOLITION REAR EAST OCEANFRONT ELEVATION
 SCALE 1/8" = 1'-0"

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY

LEGEND

	EXISTING STRUCTURE TO BE DEMOLISHED
	EXISTING DOOR AND WINDOW TO BE DEMOLISHED
	DOORS TO BE REMEDIATED AND PAINTED
	EXISTING STRUCTURE TO REMAIN UNDISTURBED
	EXISTING STRUCTURE TO REMAIN UNDISTURBED

- KEY NOTES:**
1. REMOVE EXISTING RAILINGS ABOVE SLABS. ALL LEVELS FROM 2 TO 15.
 2. REMOVE WINDOWS.
 3. REMOVE DOORS & TRANSOM WINDOW PANEL ABOVE.
 4. REMOVE BALCONY PARTITIONS BETWEEN UNITS.
-
5. DOORS TO BE REMEDIATED AND PAINTED
 6. REMOVE EXISTING WALL
 7. REMOVE GARAGE DOOR

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TO THE BEST OF HIS KNOWLEDGE AND BELIEF, THE ARCHITECT HAS PREPARED THESE PLANS IN ACCORDANCE WITH THE PROFESSIONAL SEALING ACT AND THE ARCHITECTURE ACT, CHAPTERS 481 AND 483, F.S., AND THE ARCHITECTURE BOARD OF FLORIDA, CHAPTER 481, F.S.



THE PLAZA OF BAL HARBOUR
 10185 COLLINS AVENUE BAL HARBOUR, FL 33154

ARJIS RESUBMITTAL
 04/24/2024



GENERIC ELEVATIONS

FULL EXTERIOR DEMOLITION SOUTH ELEVATION
 SCALE: 1/16" = 1'-0"

A-8

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY



- KEY NOTES:**
- 1 REMOVE EXISTING RAILINGS ABOVE SLABS ALL LEVELS FROM 2 TO 15.
 - 2 REMOVE WINDOWS.
 - 3 REMOVE DOORS & TRANSOM WINDOW PANEL ABOVE.
 - 4 REMOVE BALCONY PARTITIONS BETWEEN UNITS.
 - 5 DOORS TO BE REMEDIATED AND PAINTED.
 - 6 REMOVE EXISTING WALL.
 - 7 REMOVE GARAGE DOOR.

LEGEND

	EXISTING STRUCTURE TO BE DEMOLISHED
	EXISTING DOOR AND WINDOW TO BE DEMOLISHED
	DOORS TO BE REMEDIATED AND PAINTED
	EXISTING STRUCTURE TO REMAIN UNDISTURBED
	EXISTING STRUCTURE TO REMAIN UNDISTURBED

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY

St. James Architecture
 ARCHITECTS
 1750 SW 10TH AVENUE, SUITE 1000
 MIAMI, FL 33135
 PH: 305.358.1000
 WWW.STJAMESARCHITECTS.COM
 AIA 000000000

TO THE BEST OF MY ARCHITECT'S KNOWLEDGE, BELIEF AND OPINION, THIS DRAWING AND THE WORK THEREON COMPLY WITH ALL APPLICABLE REGULATORY REQUIREMENTS AND STANDARDS OF THE STATE OF FLORIDA AND THE PROFESSION OF ARCHITECTURE. I AM NOT PROVIDING ANY WARRANTY OR GUARANTEE OF ACCURACY OR COMPLETION OF THIS PROJECT.

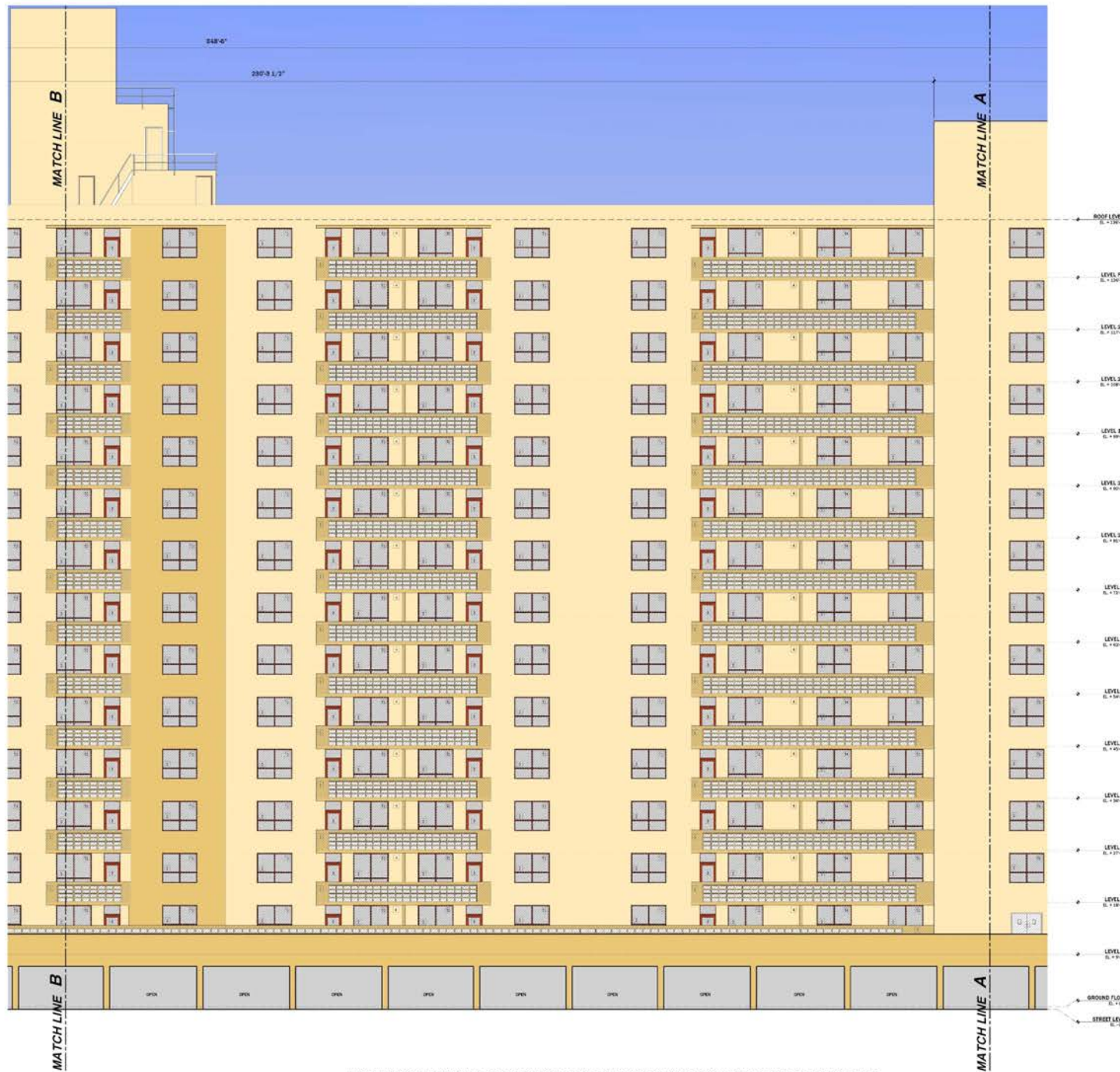
THE PLAZA OF BAL HARBOUR
 10185 COLLINGS AVENUE SW, MIAMI BEACH, FL 33154

ARB RESUBMITTAL
 06/26/2024



PARTIAL EXTERIOR DEMOLITION SOUTH ELEVATION
 (WEST SIDE)
 SCALE: 1/8" = 1'-0"

A-8A



- KEY NOTES:**
- 1 REMOVE EXISTING RAILINGS ABOVE SLABS. ALL LEVELS FROM 2 TO 15.
 - 2 REMOVE WINDOWS.
 - 3 REMOVE DOORS & TRANSOM WINDOW PANEL ABOVE. REMOVE BALCONY PARTITIONS BETWEEN UNITS.
 - 4 REMOVE EXISTING WALL REMOVE GARAGE DOOR
-
- 5 DOORS TO BE REMEDIATED AND PAINTED
 - 6 REMOVE EXISTING WALL
 - 7 REMOVE EXISTING WALL
 - 8 REMOVE GARAGE DOOR

LEGEND

- EXISTING STRUCTURE TO BE DEMOLISHED
- EXISTING DOOR AND WINDOW TO BE DEMOLISHED
- DOORS TO BE REMEDIATED AND PAINT
- EXISTING STRUCTURE TO REMAIN UNDISTURBED
- EXISTING STRUCTURE TO REMAIN UNDISTURBED

PARTIAL EXTERIOR DEMOLITION SOUTH ELEVATION (CENTER)
SCALE: 1/8" = 1'-0"

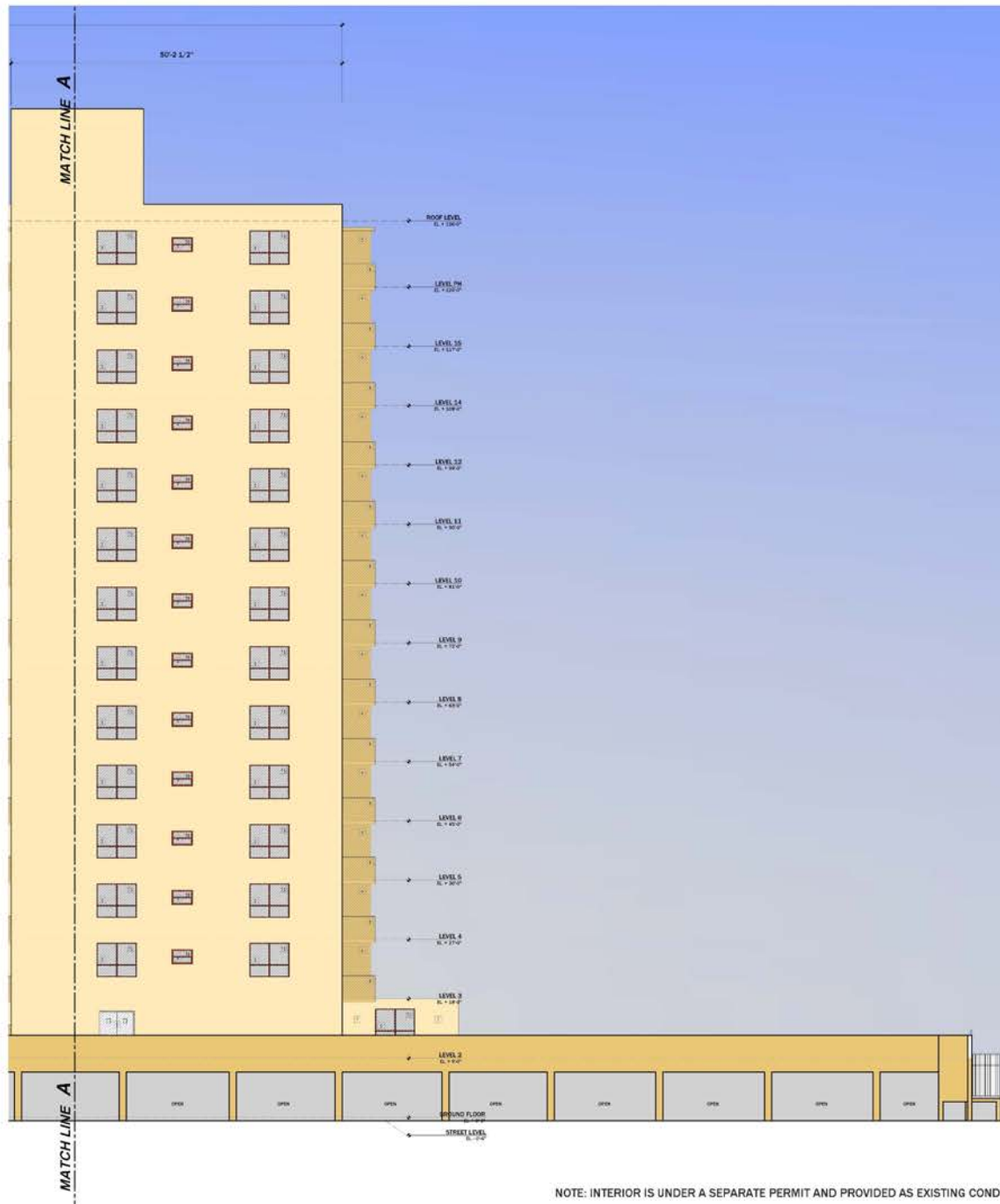
NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY

THE PLAZA OF BAL HARBOUR
 EXTERIOR RENOVATION
 10186 COLLINS AVENUE BAL HARBOUR, FL 33154

ARB RESUBMITAL
 06/26/2024

DEMO ELEVATIONS

A-8B



NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY

- KEY NOTES:**
1. REMOVE EXISTING RAILINGS ABOVE SLABS, ALL LEVELS FROM 2 TO 15.
 2. REMOVE WINDOWS.
 3. REMOVE DOORS & TRANSOM WINDOW PANEL ABOVE.
 4. REMOVE BALCONY PARTITIONS BETWEEN UNITS.
 5. DOORS TO BE REMEDIATED AND PAINTED
 6. REMOVE EXISTING WALL
 7. REMOVE GARAGE DOOR

LEGEND

	EXISTING STRUCTURE TO BE DEMOLISHED
	EXISTING DOOR AND WINDOW TO BE DEMOLISHED
	DOORS TO BE REMEDIATED AND PAINT
	EXISTING STRUCTURE TO REMAIN UNDISTURBED
	EXISTING STRUCTURE TO REMAIN UNDISTURBED

PARTIAL EXTERIOR DEMOLITION SOUTH ELEVATION (EAST SIDE)
SCALE: 1/8" = 1'-0"

THE PLAZA OF BAL HARBOUR
10185 COLLINS AVENUE BAL HARBOUR, FL 33154

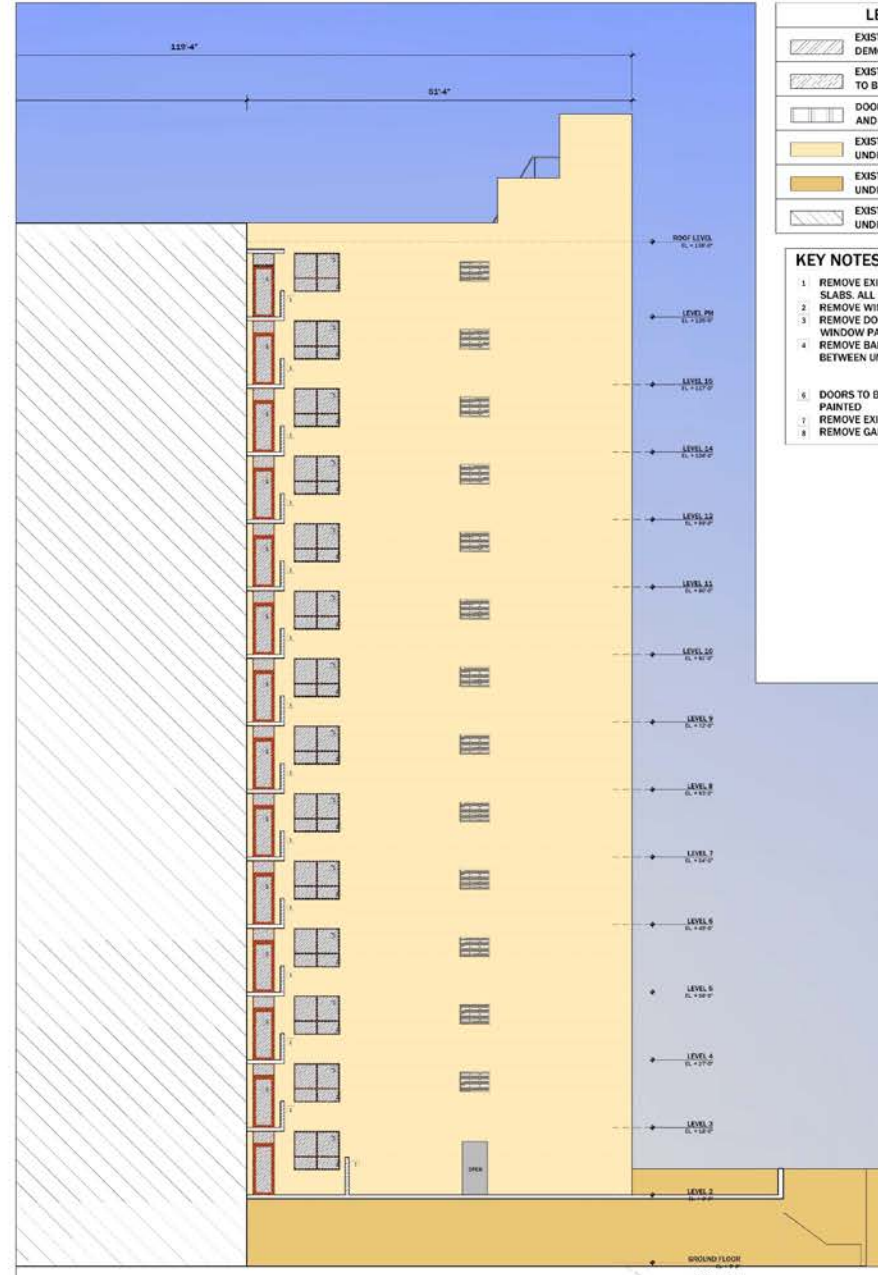
ARB RESUBMITTAL
06/26/2024

Project Number: A3217898
DEMOLITION ELEVATIONS

A-8C



1 DEMOLITION EAST ELEVATION WEST WING
SCALE: 1/8" = 1'-0"



2 DEMOLITION WEST ELEVATION EAST WING
SCALE: 1/8" = 1'-0"

EXTERIOR DEMOLITION EAST AND WEST WING ELEVATION
SCALE: 1/8" = 1'-0"

LEGEND

	EXISTING STRUCTURE TO BE DEMOLISHED
	EXISTING DOOR AND WINDOW TO BE DEMOLISHED
	DOORS TO BE REMEDIATED AND PAINTED
	EXISTING STRUCTURE TO REMAIN UNDISTURBED
	EXISTING STRUCTURE TO REMAIN UNDISTURBED
	EXISTING STRUCTURE TO REMAIN UNDISTURBED

- KEY NOTES:**
- 1 REMOVE EXISTING RAILINGS ABOVE SLABS. ALL LEVELS FROM 2 TO 15.
 - 2 REMOVE WINDOWS.
 - 3 REMOVE DOORS & TRANSOM WINDOW PANEL ABOVE.
 - 4 REMOVE BALCONY PARTITIONS BETWEEN UNITS.
 - 5 DOORS TO BE REMEDIATED AND PAINTED
 - 6 REMOVE EXISTING WALL
 - 7 REMOVE GARAGE DOOR

St. Anne Architecture
ARCHITECTS, AIA, AIAA, AIAA
1735 SW 15TH AVENUE, SUITE 1101
MIAMI, FL 33135
PH: 305.375.1515

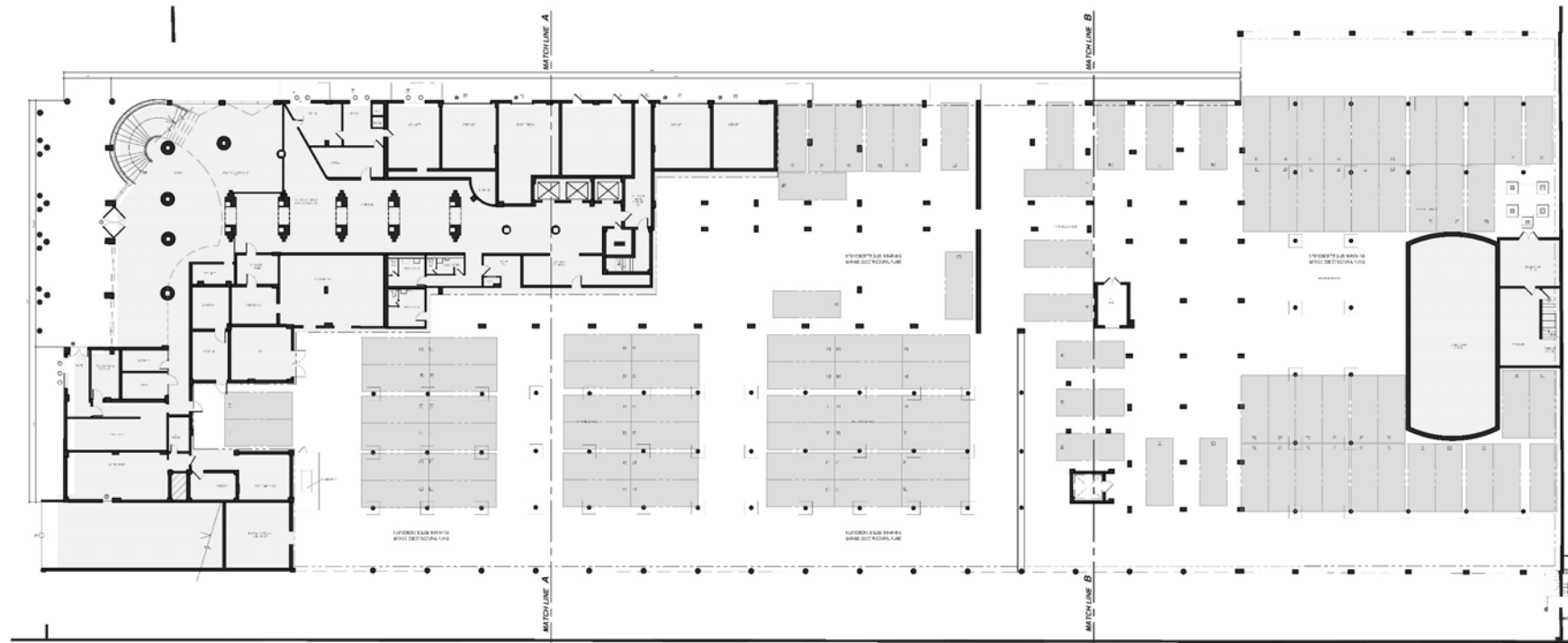
THE PLAZA OF BAL HARBOUR
10185 COLLINS AVENUE SW, HARBOUR, FL 33154

ARCH SUBMITTAL
06/26/2024

DATE: 06/26/2024
DRAWN: [Name]
CHECKED: [Name]

A-9

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY

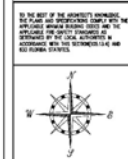


LEGEND	
[White Box]	NEW WALLS
[Black Box]	EXISTING WALLS & COLUMNS
[Light Gray Box]	EXISTING AREAS TO REMAIN UNDISTURBED
[Medium Gray Box]	PARKING SPACE
[Dark Gray Box]	NEW CEMENTED AREA IN THE PARKING GARAGE

- KEY NOTES:**
- A. NEW GLAZED-RAILING INFINITY POSTLESS GLASS RAILING SYSTEM.
NSA No. 23-0254-02
MANUFACTURER: POMA & SONS, INC.
 - T. NEW WINDOWS, SERIES 390 ALUMINUM SINGLE HUNG WINDOWS, S.F.L.
LHM NSA No. 20-0722-20.
MANUFACTURER: WINDOW, INC.
 - U. NEW DOORS, SERIES 400 ALUMINUM OUTSWINGING GLAZED DOOR.
NSA No. 21-0917-02.
MANUFACTURER: COI.
 - T. STOREFRONT NEW WINDOWS SERIES 653500.
FLORIDA NUMBER: No. 29574.
MANUFACTURER: COI.
 - T. STOREFRONT NEW SERIES 400 FRENCH DOOR OUTSWINGING GLAZED DOOR.
FLORIDA NUMBER No. 29573.
MANUFACTURER: COI.
 - T. DOORS TO BE RETURNED, BOMBIATED + PAINTED COLOR: QUANTILLY LAZE, #0C45
 - V. NEW ENTRANCE DOOR
 - W. NEW CONCRETE REINFORCED WALL, SEE STRUCTURAL FOR DETAILS.
 - X. NEW GARAGE DOORS WILL BE REPLACED BY ASSOCIATION
 - Y. CONSTRUCTION OF 6" WIDE CONCRETE CURB TO PREVENT PARKING FROM SLIPPING ON THE RAMP
 - Z. 10 NEW WHEEL STOPS IN THE FIRST FLOOR AND 39 NEW WHEEL STOPS IN THE SECOND FLOOR*
 - L. RETAIN EXISTING EXTERIOR DOOR-PANIT
- *WHEELS THE QUANTITY OF PARKING SPACES ARE SHOWN IN THE INFORMATION CLARIFY BY THE CITY.

James J. Janssen
ARCHITECT

17700 WINDYWAY, MAJANA VILLAS
PALM BEACH, FLORIDA 33410
TEL: 561-833-1111
FAX: 561-833-1112
WWW.JAMESJANSSEN.COM



THE PLAZA OF BAL HARBOUR
EXTERIOR RENOVATION
10185 COLLINS AVENUE BAL HARBOUR, FL 33154

APR SUBMITTAL
06/26/2024

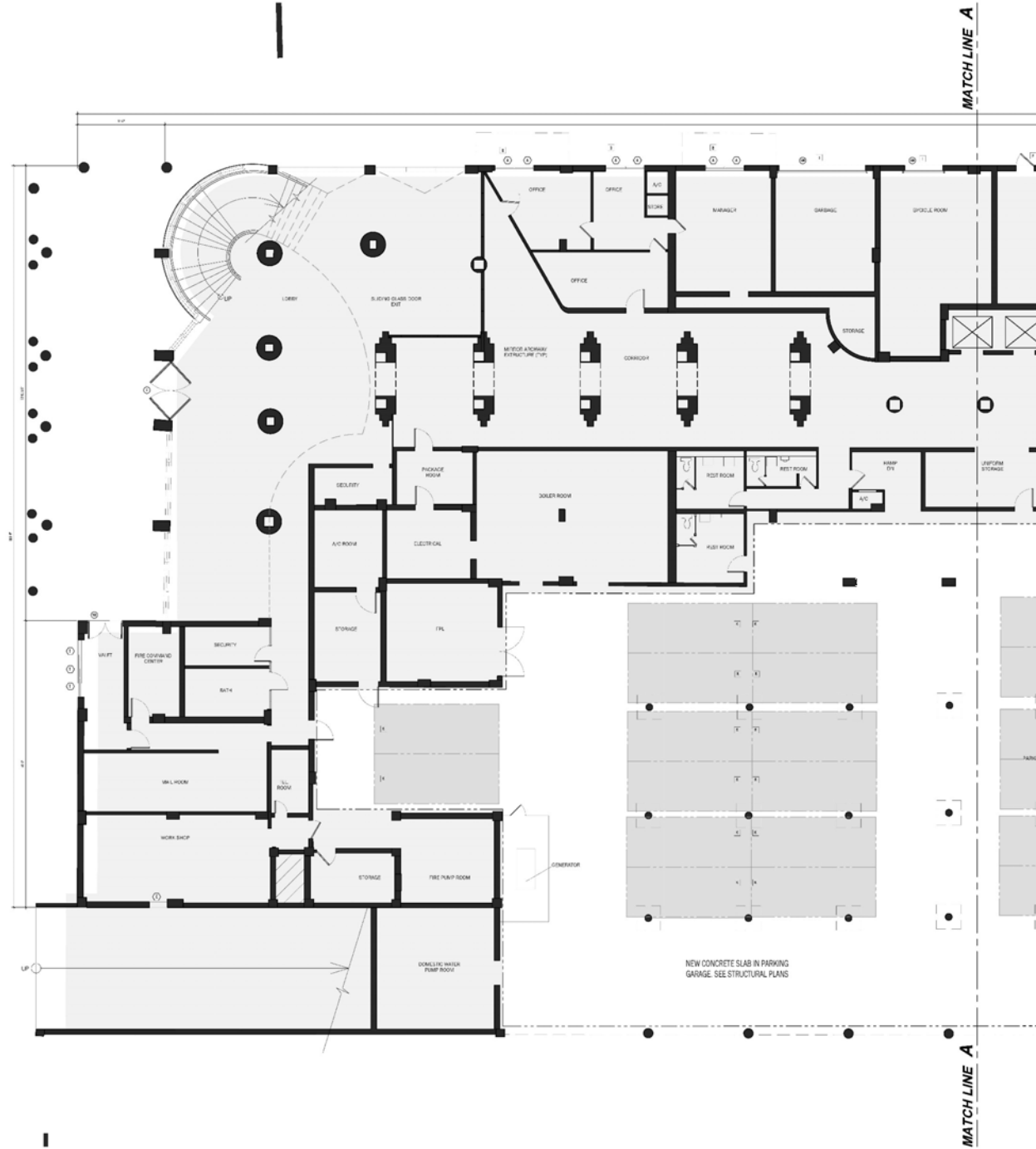
James Janssen, P.E.

DEMOLITION FLOOR PLAN

A-10

PROPOSED FULL EXTERIOR GROUND FLOOR PLAN
SCALE: 1/16" = 1'-0"

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY



LEGEND	
	NEW WALLS
	EXISTING WALLS & COLUMNS
	EXISTING AREAS TO REMAIN UNDISTURBED
	PARKING SPACE
	NEW CEMENTED AREA IN THE PARKING GARAGE

- KEY NOTES:**
- NEW GLAZED PAILING INFINITY POSTLESS GLASS PAILING SYSTEM.
NOA No. 23-0224-02
MANUFACTURER: PERMA & SONS, INC.
 - NEW WINDOWS, SERIES 360 ALUMINUM SINGLE HUNG WINDOWS 811.
LMI NOA No. 20-0722-20.
MANUFACTURER: WINDOW, INC.
 - NEW DOORS, SERIES 450 ALUMINUM OUTSWING GLAZED DOOR.
NOA No. 22-0917-03.
MANUFACTURER: OGI.
 - STOREFRONT NEW WINDOWS SERIES 653500.
FLORIDA NUMBER: No. 29574.
MANUFACTURER: OGI.
 - STOREFRONT NEW SERIES 450 FRENCH DOOR OUTSWING GLAZED DOOR.
FLORIDA NUMBER No. 29673.
MANUFACTURER: OGI.
 - DOORS TO BE RECTIFIED, REHABILITATED + PAINTED COLOR: CHANTILLY LACE, #CC-46
 - NEW ENTRANCE DOOR.
 - NEW CONCRETE REINFORCED WALL, SEE STRUCTURAL FOR DETAILS.
 - NEW GARAGE DOORS WILL BE REPLACED BY ASSOCIATION.
 - CONSTRUCTION OF 6" WIDE CONCRETE CURB TO PREVENT PAVERS FROM SLIPPING OFF THE RAMP.
 - 39 NEW WHEEL STOPS IN THE FIRST FLOOR AND 39 NEW WHEEL STOPS IN THE SECOND FLOOR*
 - RETAIN EXISTING EXTERIOR DOOR+PAINT
- NOTE: *THE QUANTITY OF PARKING SPACES ARE BASED ON THE INFORMATION SUPPLIED BY THE CLIENT.

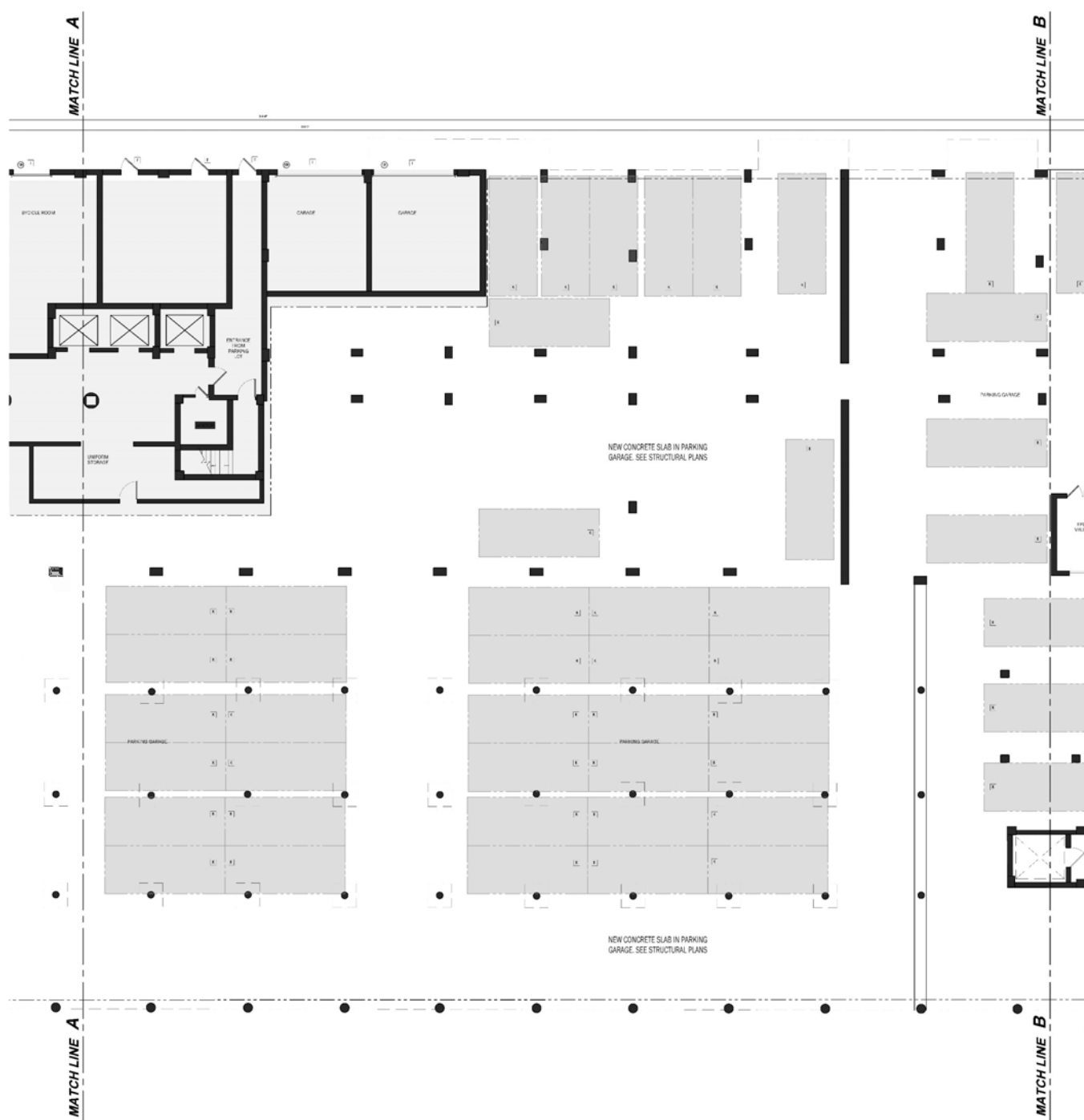
THE PLAZA OF BAL HARBOUR
10185 COLLINS AVENUE BAL HARBOUR, FL 33154

ARJ RESUBMITTAL
06/26/2024

DEMOLITION FLOOR PLAN

A-10A

PROPOSED EXTERIOR PARTIAL GROUND FLOOR PLAN
(WEST SIDE)
SCALE: 1/8" = 1'-0"
NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY



LEGEND

	NEW WALLS
	EXISTING WALLS & COLUMNS
	EXISTING AREAS TO REMAIN UNDISTURBED
	PARKING SPACE
	NEW CONCRETE AREA IN THE PARKING GARAGE

- KEY NOTES:**
- [A] NEW GLAZED RAILING INFINITY POSTLESS GLASS RAILING SYSTEM.
NCA No. 23-0228.02
MANUFACTURER: POMA & SONS, INC.
 - [B] NEW WINDOWS, SERIES 360 ALUMINUM SINGLE HUNG WINDOWS/B.L.
MANUFACTURER: WINDOOR, INC.
NCA No. 24-0722.00
 - [C] NEW DOORS, SERIES 450 ALUMINUM OUTSWING GLAZED DOOR
NCA No. 24-0927.03
MANUFACTURER: CGI
 - [D] STOREFRONT NEW WINDOWS SERIES 653500.
FLORIDA NUMBER: No. 29574.
MANUFACTURER: CGI
 - [E] STOREFRONT NEW SERIES 450 FRENCH DOOR OUTSWING GLAZED DOOR.
FLORIDA NUMBER No.29573.
MANUFACTURER: CGI
 - [F] DOORS TO BE RETAINED, RE-MECHANIZED + PAINTED COLOR: CHANTILLY LACE, #OC-65
 - [G] NEW ENTRANCE DOOR
 - [H] NEW CONCRETE REINFORCED WALL, SEE STRUCTURAL FOR DETAILS.
 - [I] NEW GARAGE DOORS WILL BE REPLACED BY ASSOCIATION
 - [J] CONSTRUCTION OF 6" WIDE CONCRETE CURBS TO PREVENT PARKING FROM SLIPPING OFF THE RAMP
 - [K] 39 NEW WHEEL STOPS IN THE FIRST FLOOR AND 39 NEW WHEEL STOPS IN THE SECOND FLOOR.*
 - [L] RETAIN EXISTING EXTERIOR DOOR/PART
- NOTE: THE QUANTITY OF PARKING SPACES ARE BASED ON THE INFORMATION DELIVERED BY THE CLIENT.

PROPOSED EXTERIOR PARTIAL GROUND FLOOR PLAN
(CENTER)
SCALE: 1/8" = 1'-0"

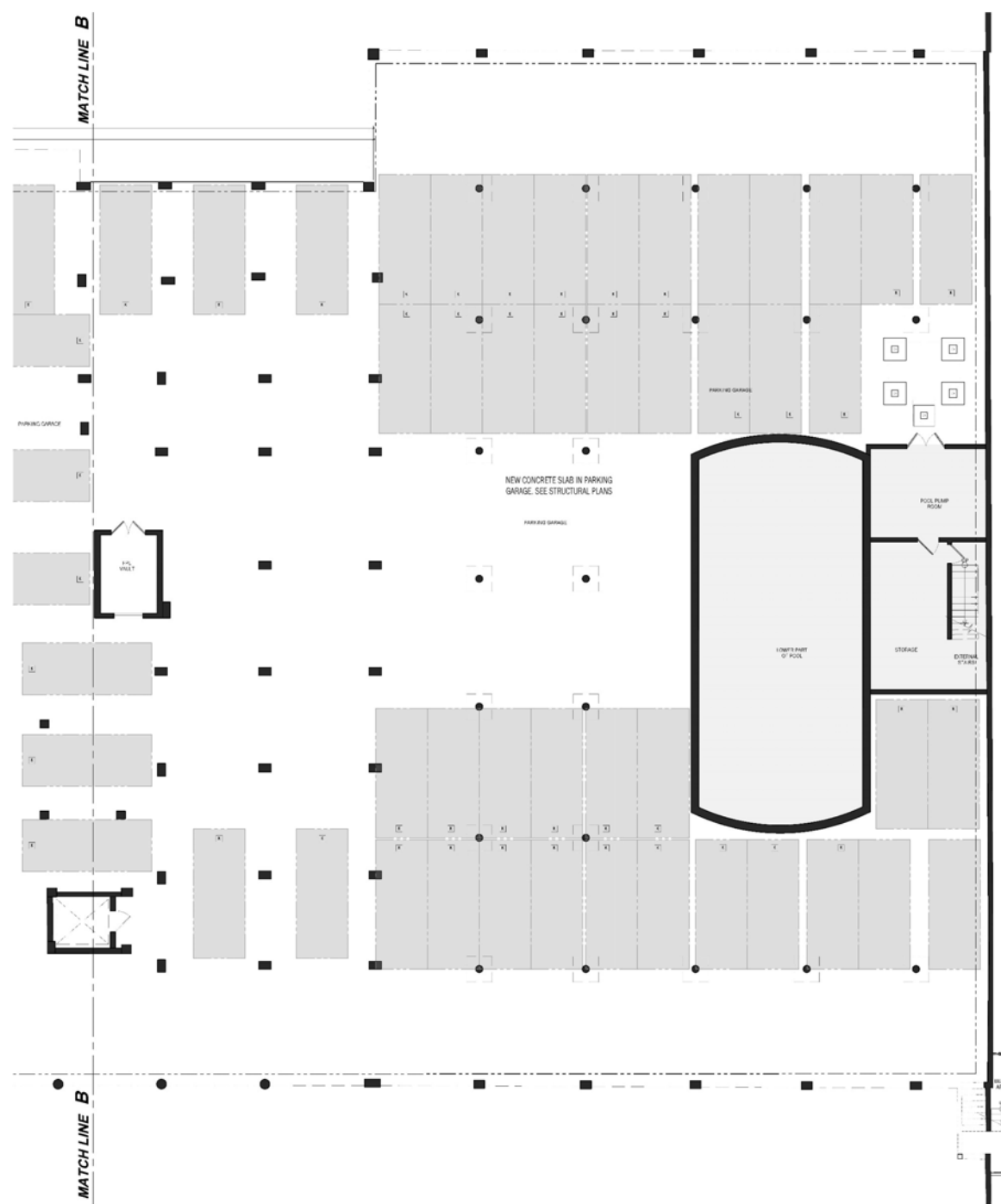
NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY

THE PLAZA OF BAL HARBOUR
10185 COLLINS AVENUE BAL HARBOUR, FL 33154

ARDS SUBMITTAL
06/26/2024

DEMOLITION FLOOR PLAN

A-10B



LEGEND	
	NEW WALLS
	EXISTING WALLS & COLUMNS
	EXISTING AREAS TO REMAIN UNDISTURBED
	PARKING SPACE
	NEW CEMENTED AREA IN THE PARKING GARAGE

- KEY NOTES:**
- 1. NEW GLAZED RAILING INFINITY POSTLESS GLASS RAILING SYSTEM.
NDA No. 23-0224-02.
MANUFACTURER: PIRBA & SONS, INC.
 - 2. NEW WINDOWS, SERIES 360 ALUMINUM SINGLE HUNG WINDOWS 6/4.
LWF NDA No. 20-0722-20.
MANUFACTURER: WINDOW, INC.
 - 3. NEW DOORS, SERIES 450 ALUMINUM OUTSWING GLAZED DOOR.
NDA No. 21-0917-03.
MANUFACTURER: COL.
 - 4. STOREFRONT NEW WINDOWS SERIES 553500.
FLORIDA NUMBER No. 25074.
MANUFACTURER: COL.
 - 5. STOREFRONT NEW SERIES 450 FRENCH DOOR OUTSWING GLAZED DOOR.
FLORIDA NUMBER No. 25673.
MANUFACTURER: COL.
 - 6. DOORS TO BE RETAINED, REMEDIATED + PAINTED COLOR: CHARTELLE LACE, WICKES
 - 7. NEW ENTRANCE DOOR.
 - 8. NEW CONCRETE REINFORCED WALL, SEE STRUCTURAL FOR DETAILS.
 - 9. NEW GARAGE DOORS WILL BE REPLACED BY ASSOCIATION
 - 10. CONSTRUCTION OF 6" WIDE CONCRETE CURB TO PREVENT PAVERS FROM SLIPPING OFF THE RAMP
 - 11. 99 NEW WHEEL STOPS IN THE FIRST FLOOR AND 39 NEW WHEEL STOPS IN THE SECOND FLOOR
 - 12. RETAIN EXISTING EXTERIOR DOOR-PAINT
- NOTE: THE QUALITY OF PAPER, INK, DIMENSIONS AND SCALE, THE INFORMATION, COLLOR, ETC. IS CLERK.

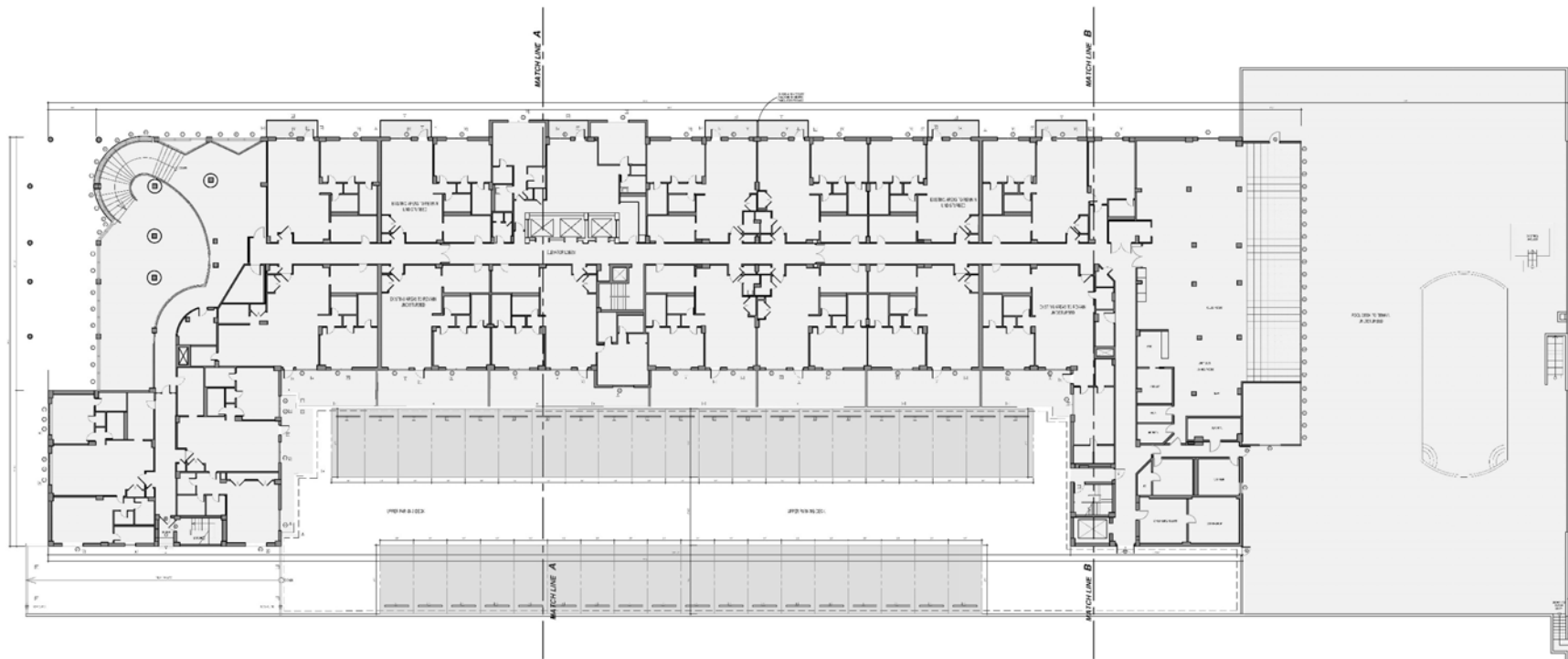
PROPOSED EXTERIOR PARTIAL GROUND FLOOR PLAN
(EAST SIDE)
SCALE: 1/8" = 1'-0"
NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY

THE PLAZA OF BAL HARBOUR
10185 COLLINS AVENUE BAL HARBOUR, FL 33154

ARJ SUBMITTAL
06/26/2024

DEMOLITION FLOOR PLAN

A-10C



LEGEND

[White box]	NEW WALLS
[Black box]	EXISTING WALLS & COLUMNS TO REMAIN
[Light gray box]	EXISTING AREAS TO REMAIN UNDISTURBED
[Medium gray box]	RENOVATED BALCONY
[Dark gray box]	PARKING SPACE
[Dashed line box]	NEW ASPHALTED AREA IN PARKING AREA

LEGEND

[Light gray box]	PROPOSED BALCONY
[White box]	PROPOSED RENOVATED FLOOR AREAS (ONLY BALCONIES)
[Dark gray box]	INTERIOR AREAS UNDER A SEPARATE PERMIT

- KEY NOTES:**
- A NEW GLAZED RAILING INFINITY POSTLESS GLASS RAILING SYSTEM
NOA No. 23-0216.02.
MANUFACTURER: POMA & SONS, INC.
 - B NEW WINDOWS, SERIES 300 ALUMINUM SINGLE HINGE WINDOW S.W.I.
LWF NOA No. 20-0722.03.
MANUFACTURER: WINDOW, INC.
 - C NEW DOORS, SERIES 450 ALUMINUM OUTSWINGING GLAZED DOOR.
NOA No. 21-0917.03.
MANUFACTURER: CO.
 - D STOCK/STOCK NEW WINDOWS SERIES 653500.
FLORIDA NUMBER, No. 25574.
MANUFACTURER: CO.
 - E STOCK/STOCK NEW SERIES 450 FRENCH DOOR OUTSWINGING GLAZED DOOR.
FLORIDA NUMBER # No. 25673.
MANUFACTURER: CO.
 - F DOORS TO BE RETAINED, REMEDIATED + PAINTED COLOR: CHANTILLY LAKE, #0C-65
 - G NEW ENTRANCE DOOR.
 - H NEW CONCRETE REINFORCED WALL. SEE STRUCTURAL FOR DETAILS.
 - I NEW GARAGE DOORS WILL BE REPLACED BY ASSOCIATION.
 - J CONSTRUCTION OF 6" NEW CONCRETE CORNS TO PREVENT PAPER FROM SLIPPING OFF THE RAMP.
 - K 99 NEW RAKE STOPS IN THE FIRST FLOOR AND 29 NEW WHEEL STOPS IN THE SECOND FLOOR.
 - L RETAIN EXISTING EXTERIOR DOOR + PAINT
- NOTE: THE QUANTITY OF MATERIALS LISTED ARE BASED ON THE INFORMATION PROVIDED BY THE OWNER.

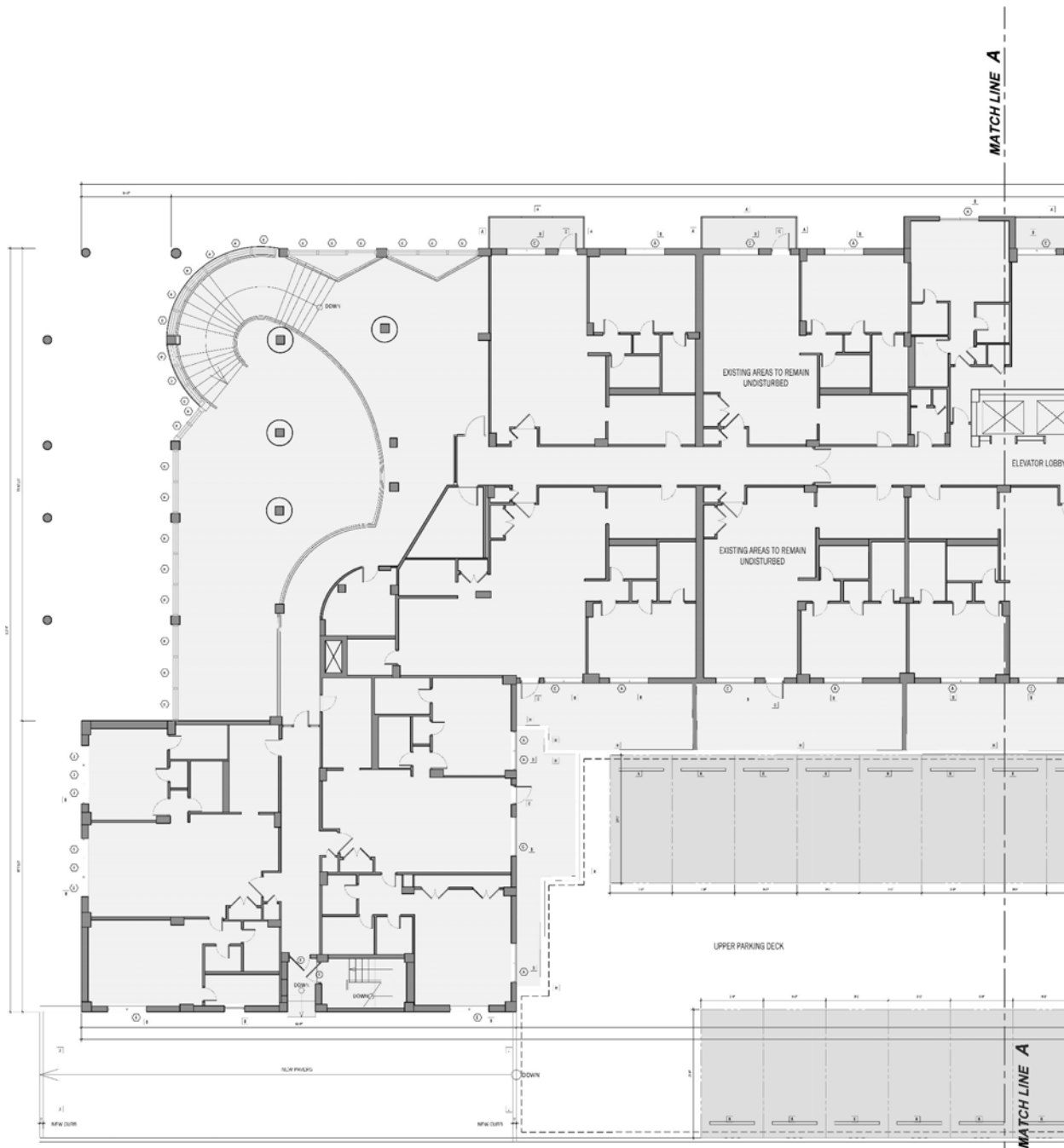
THE PLAZA OF BAL HARBOUR
10185 COLLINS AVENUE BAL HARBOUR, FL 33154

ANS RESUBMITTAL
06/26/2024

DEMOLITION FLOOR PLAN

A-11

PROPOSED FULL EXTERIOR SECOND FLOOR PLAN
 SCALE: 1/16" = 1'-0"
 NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY.



LEGEND	
[White Box]	NEW WALLS
[Black Box]	EXISTING WALLS & COLUMNS TO REMAIN
[Light Gray Box]	EXISTING AREAS TO REMAIN UNDISTURBED
[Medium Gray Box]	RENOVATED BALCONY
[Dark Gray Box]	PARKING SPACE
[Dashed Line]	NEW ASPHALTED AREA IN PARKING AREA

LEGEND	
[Light Gray Box]	PROPOSED BALCONY
[White Box]	PROPOSED RENOVATED FLOOR AREAS (ONLY BALCONIES)
[Dark Gray Box]	INTERIOR AREAS UNDER A SEPARATE PERMIT

- KEY NOTES:**
- A. NEW GLAZED RAILING INFINITY POSTLESS GLASS RAILING SYSTEM.
NOA No. 23-0216.02.
MANUFACTURER: POMA & SONE, INC.
 - B. NEW WINDOWS, SERIES 500 ALUMINUM SINGLE HUNG WINDOWS-M.L.
LIR NOA No. 20-0722.02.
MANUFACTURER: WINDOW, INC.
 - C. NEW DOORS, SERIES 450 ALUMINUM OUTSWING GLAZED DOOR.
NOA No. 21-0917.03.
MANUFACTURER: CDI.
 - D. STOREFRONT NEW WINDOWS SERIES-653000.
FLORIDA NUMBER: No. 25974.
MANUFACTURER: CDI.
 - E. STOREFRONT NEW SERIES 450 FRENCH DOOR OUTSWING GLAZED DOOR.
FLORIDA NUMBER No.25973.
MANUFACTURER: CDI.
 - F. DOORS TO BE RETAINED, REMEDIATED + PAINTED COLOR: CHANTILLY LAZE #00-65
 - G. NEW ENTRANCE DOOR.
 - H. NEW CONCRETE REINFORCED WALL, SEE STRUCTURAL FOR DETAILS.
 - I. NEW GARAGE DOORS WILL BE REPLACED BY ASSOCIATION.
 - J. CONSTRUCTION OF 8" WIDE CONCRETE CURB TO PREVENT PARKERS FROM SLIPPING OFF THE RAMP.
 - K. 39 NEW WHEEL STOPS IN THE FIRST FLOOR AND 29 NEW WHEEL STOPS IN THE SECOND FLOOR.
 - L. RETAIN EXISTING EXTERIOR DOOR + PAINT.
- NOTE: THE QUANTITIES OF FINISHES SPECIES ARE BASED ON THE INFORMATION DISPLAYED ON THIS SHEET.



TO THE BEST OF MY KNOWLEDGE AND BELIEF, I HAVE PREPARED THIS DOCUMENT IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND ETHICS OF THE ARCHITECTURAL PROFESSION AND THE REQUIREMENTS OF THE FLORIDA ARCHITECTURE ACT AND THE FLORIDA CONSTITUTION.



THE PLAZA OF BAL HARBOUR
10185 COLLINS AVENUE BAL HARBOUR, FL 33154

ARJ RESUBMITTAL
06/26/2024

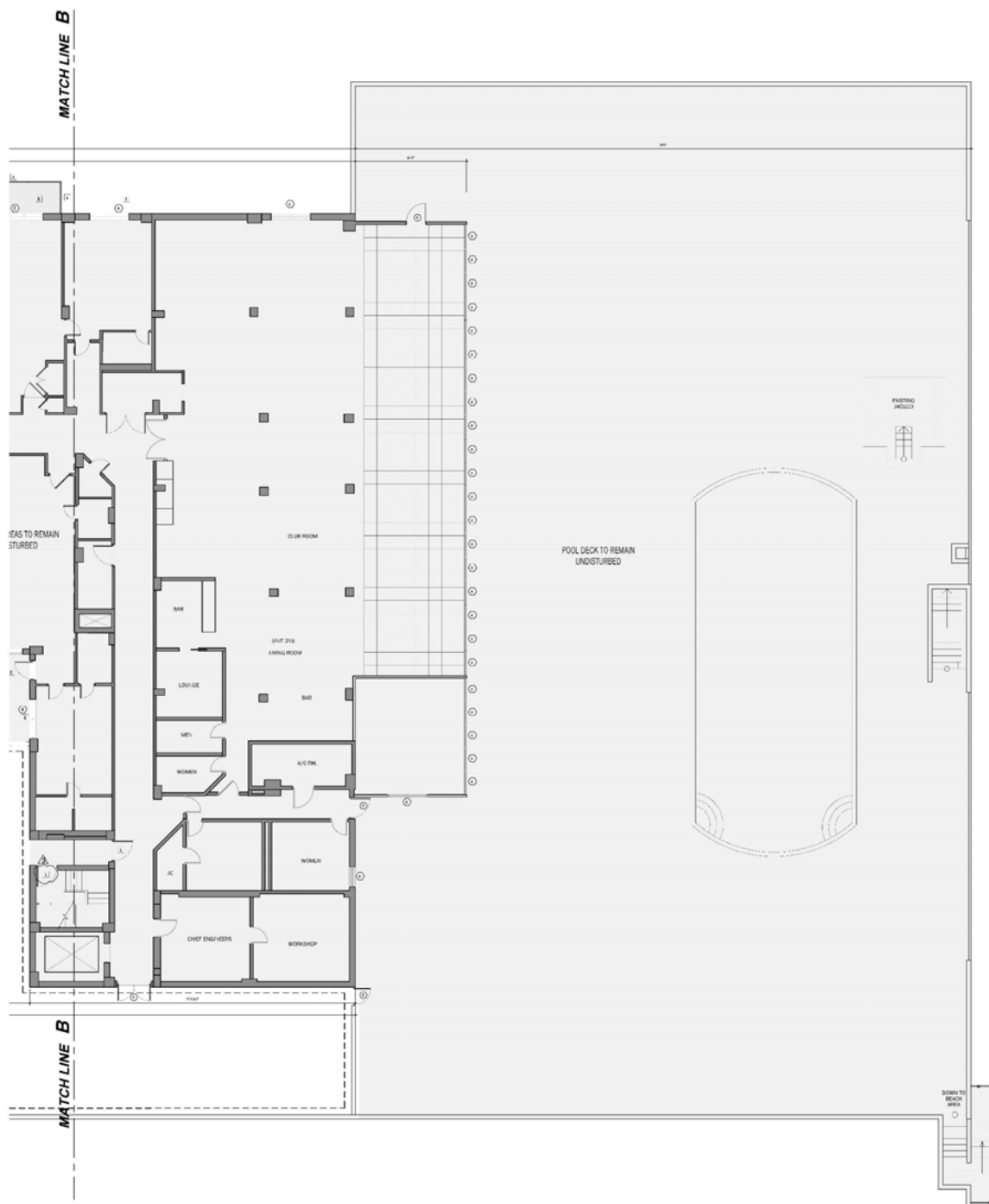


PROPOSED FLOOR PLAN

A-11A

PROPOSED PARTIAL EXTERIOR SECOND FLOOR PLAN (WEST SIDE)
SCALE: 1/8" = 1'-0"

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY.



LEGEND	
[White Box]	NEW WALLS
[Black Box]	EXISTING WALLS & COLUMNS TO REMAIN
[Light Gray Box]	EXISTING AREAS TO REMAIN UNDISTURBED
[Medium Gray Box]	RENOVATED BALCONY
[Dark Gray Box]	PARKING SPACE
[Dashed Line Box]	NEW ASPHALTED AREA IN PARKING AREA

LEGEND	
[Light Gray Box]	PROPOSED BALCONY
[White Box]	PROPOSED RENOVATED FLOOR AREAS (ONLY BALCONIES)
[Dark Gray Box]	INTERIOR AREAS UNDER A SEPARATE PERMIT

- KEY NOTES:**
- A NEW GLAZED RAILING INFINITY POSTLESS GLASS RAILING SYSTEM
NOR No. 23-0226-02
MANUFACTURER: POMA & SONS, INC.
 - B NEW WINDOWS, SERIES 300 ALUMINUM SINGLE-HINGE WINDOWS 8x6
LMI NOA No. 20-0722-23
MANUFACTURER: WINDOW, INC.
 - C NEW DOORS, SERIES 450 ALUMINUM OUTSWING GLAZED DOOR
NOR No. 21-0917-03
MANUFACTURER: COI
 - D STOREFRONT NEW WINDOWS SERIES-553500
FLORIDA NUMBER No. 25574
MANUFACTURER: COI
 - E STOREFRONT NEW SERIES 450 FRENCH DOOR OUTSWING GLAZED DOOR
FLORIDA NUMBER No. 26873
MANUFACTURER: COI
 - F DOORS TO BE RETAINED, REMEDIATED + PAINTED COLOR: CHARITABLE, FACE, 400-645
 - G NEW ENTRANCE DOOR
 - H NEW CONCRETE ROW/GRID WALL, SEE STRUCTURAL FOR DETAILS
 - I NEW GARAGE DOORS WILL BE REPLACED BY ASSOCIATION
 - J CONSTRUCTION OF 6" WIDE CONCRETE CURB TO PREVENT PARKERS FROM SLIPPING OFF THE RAMP
 - K 30 NEW WHEEL STOPS IN THE FIRST FLOOR AND 33 NEW WHEEL STOPS IN THE SECOND FLOOR*
 - L RETAIN EXISTING EXTERIOR DOOR + PAINT
- *SEE THE QUANTITY OF PARKING SPACES AND MARKED BY THE WORKMAN'S DELIVERY BY THE OWNER

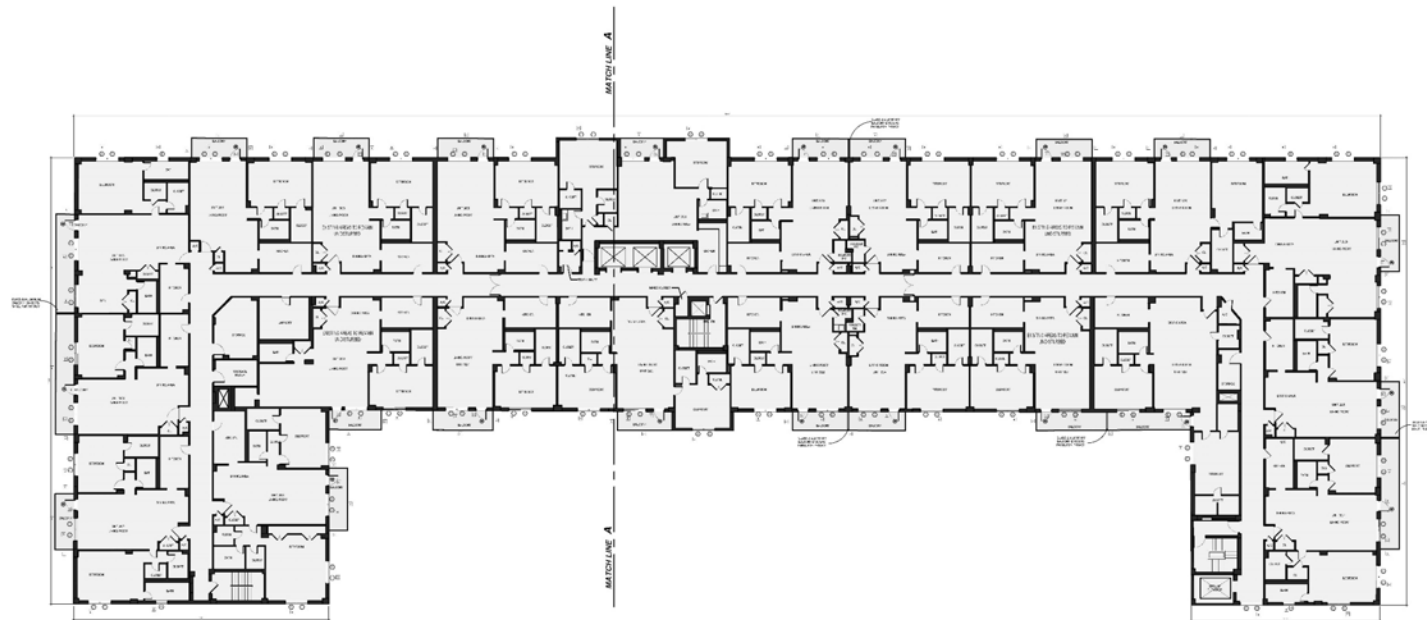
THE PLAZA OF BAL HARBOUR
10185 COLLINS AVENUE BAL HARBOUR, FL 33154

ARB SUBMITTAL
06/26/2024

PROPOSED FLOOR PLAN

A-11C

PROPOSED PARTIAL EXTERIOR SECOND FLOOR PLAN (EAST SIDE)
SCALE: 1/8" = 1'-0"
NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROPOSED AS EXISTING CONDITION FOR REFERENCE ONLY.



LEGEND	
	NEW WALLS
	EXISTING WALLS & COLUMNS TO REMAIN
	EXISTING AREAS TO REMAIN UNDISTURBED
	RENOVATED BALCONY

LEGEND	
	PROPOSED BALCONY
	PROPOSED RENOVATED FLOOR AREAS (ONLY BALCONIES)
	INTERIOR AREAS UNDER A SEPARATE PERMIT

- KEY NOTES:**
- A. NEW GLASSED RAILING INFINITY POSTLESS GLASS RAILING SYSTEM
NOA No. 23-0216.G2
MANUFACTURER: POIMA & SONS, INC.
 - B. NEW WINDOWS, SERIES 360 ALUMINUM SINGLE HUNG WINDOWS-S.H.I.
LMI NOA No. 20-0722.20
MANUFACTURER: WINDOOR, INC.
 - C. NEW DOORS, SERIES 450 ALUMINUM OUTSWING GLAZED DOOR
NOA No. 21-0917.G3
MANUFACTURER: CGI
 - D. STOREFRONT NEW WINDOWS SERIES-SS3500.
FLORIDA NUMBER: No. 25574
MANUFACTURER: CGI
 - E. STOREFRONT NEW SERIES 450 FRENCH DOOR OUTSWING GLAZED DOOR
FLORIDA NUMBER No. 25573
MANUFACTURER: CGI
 - F. DOORS TO BE RETAINED, REMEDIATED + PAINTED COLOR: CHANTILLY LACE #00-65
 - G. NEW ENTRANCE DOOR
 - H. NEW CONCRETE REINFORCED WALL, SEE STRUCTURAL FOR DETAILS.
 - I. NEW GARAGE DOORS WILL BE REPLACED BY ASSOCIATION
 - J. CONSTRUCTION OF 6" WIDE CONCRETE CURB TO PREVENT PAVERS FROM SLIPPING OFF THE RAMP
 - K. 99 NEW WHEEL STOPS IN THE FIRST FLOOR AND 39 NEW WHEEL STOPS IN THE SECOND FLOOR*
- NOTE: *THE QUANTITY OF PARKING SPACES ARE BASED IN THE INFORMATION DELIVERED BY THE CLIENT.



TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLAN AND SPECIFICATIONS SHOWN ON THIS SHEET COMPLY WITH ALL CITY, COUNTY AND STATE REQUIREMENTS AND ALL APPLICABLE REGULATIONS AND ORDINANCES. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION SHOWN ON THIS SHEET.



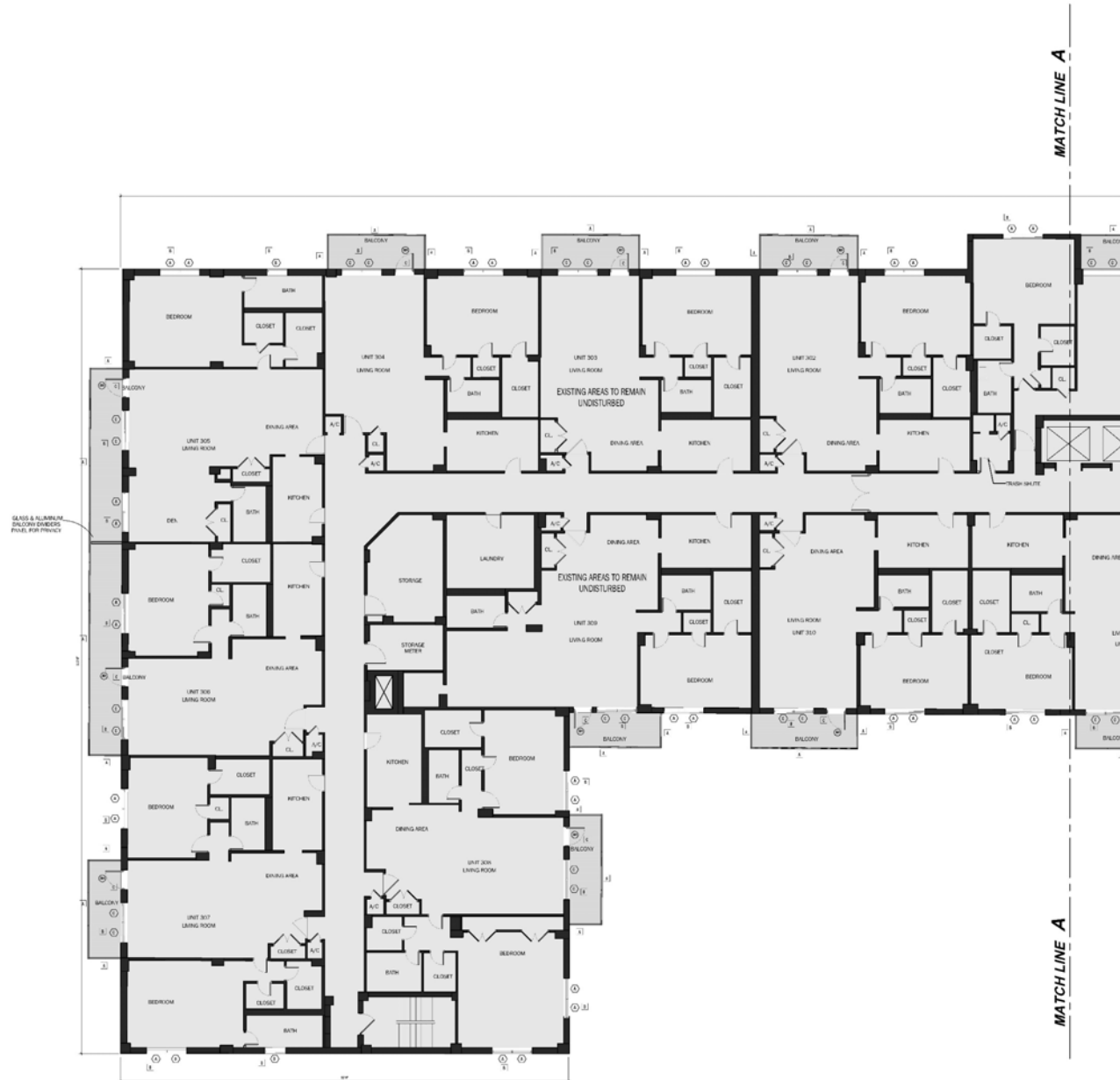
THE PLAZA OF BAL HARBOUR
10185 COLLINS AVENUE BAL HARBOUR, FL 33154

ARCH SUBMITTAL
06/26/2024

PROPOSED FLOOR PLAN

PROPOSED FULL EXTERIOR TYPICAL 3RD - PENTHOUSE FLOOR PLAN LEVELS
SCALE: 1/16" = 1'-0"

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY.



LEGEND	
	NEW WALLS
	EXISTING WALLS & COLUMNS TO REMAIN
	EXISTING AREAS TO REMAIN UNDISTURBED
	RENOVATED BALCONY

LEGEND	
	PROPOSED BALCONY
	PROPOSED RENOVATED FLOOR AREAS (ONLY BALCONIES)
	INTERIOR AREAS UNDER A SEPARATE PERMIT

- KEY NOTES:**
- [A] NEW GLASSED RAILING INFINITY POSTLESS GLASS RAILING SYSTEM. NDA No. 23-0216.02. MANUFACTURER: POMI & SONS, INC.
 - [B] NEW WINDOWS, SERIES 360 ALUMINUM SINGLE HUNG WINDOWS-M.I. LMI NDA No. 20-0722.20. MANUFACTURER: WINDOOR, INC.
 - [C] NEW DOORS, SERIES 450 ALUMINUM OUTSWING GLAZED DOOR. NDA No. 21-0917.03. MANUFACTURER: OGI.
 - [D] STOREFRONT NEW WINDOWS SERIES-663500. FLORIDA NUMBER: No. 25674. MANUFACTURER: OGI.
 - [E] STOREFRONT NEW SERIES 450 FRENCH DOOR OUTSWING GLAZED DOOR. FLORIDA NUMBER No. 25573. MANUFACTURER: OGI.
 - [F] DOORS TO BE RETAINED, REMEDIATED + PAINTED COLOR: CHANTILLY LACE, #CC-66
 - [G] NEW ENTRANCE DOOR.
 - [H] NEW CONCRETE REINFORCED WALL. SEE STRUCTURAL FOR DETAILS.
 - [I] NEW GARAGE DOORS WILL BE REPLACED BY ASSOCIATION.
 - [J] CONSTRUCTION OF 6" WIDE CONCRETE CURB TO PREVENT PAVERS FROM SLIPPING OFF THE RAMP.
 - [K] 99 NEW WHEEL STOPS IN THE FIRST FLOOR AND 39 NEW WHEEL STOPS IN THE SECOND FLOOR.
- NOTE: THE QUANTITY OF PARKING SPACES ARE BASED IN THE INFORMATION DELIVERED BY THE CLIENT.



THE PLAZA OF BAL HARBOUR
 EXTERIOR RENOVATION
 10185 COLLINS AVENUE BAL HARBOUR, FL 33154

DATE	DESCRIPTION
06/26/2024	AMB RESUBMITTAL

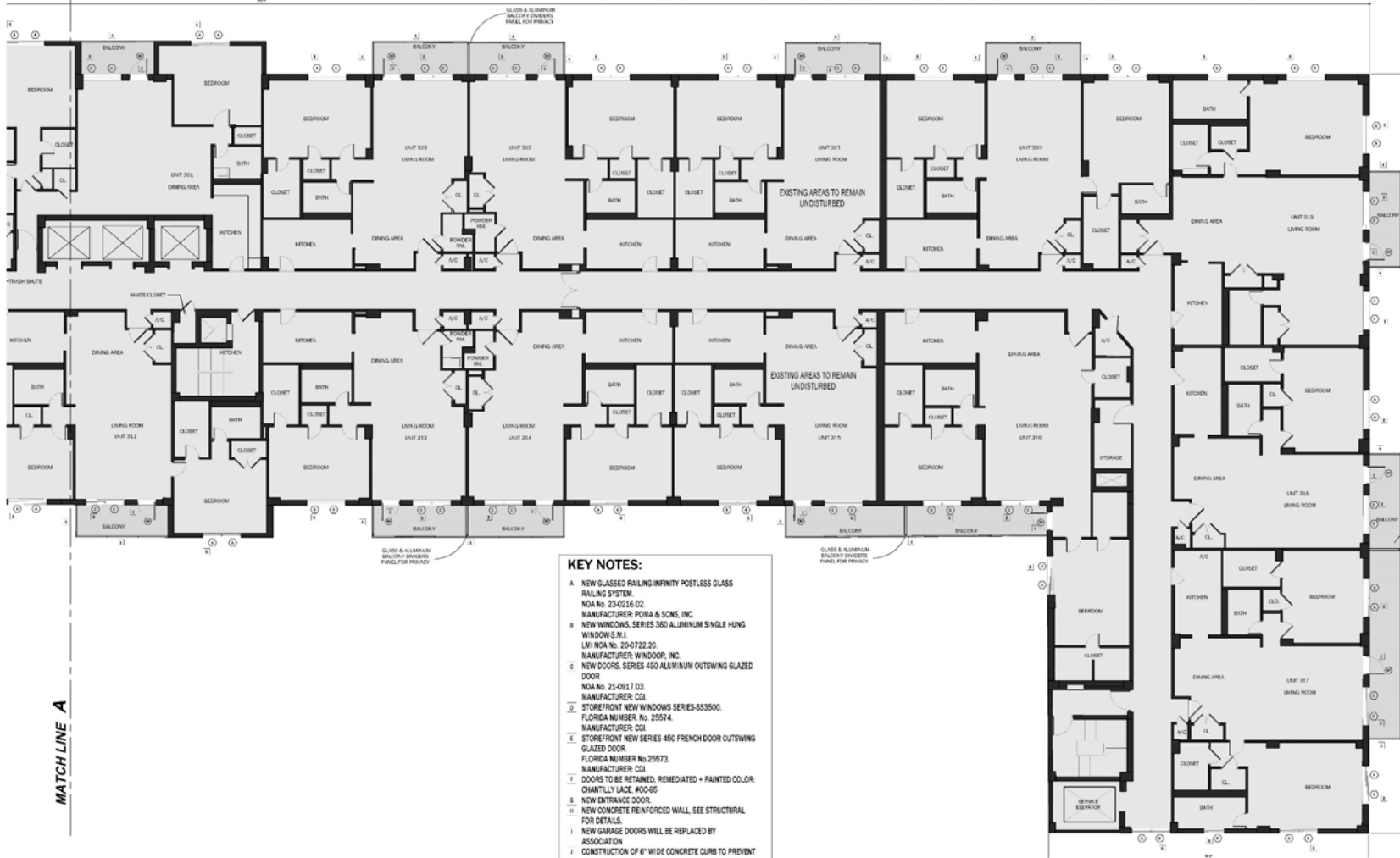


PROPOSED FLOOR PLAN

PROPOSED PARTIAL EXTERIOR TYPICAL 3RD - PENTHOUSE FLOOR PLAN LEVELS (WEST SIDE)
 SCALE: 1/8" = 1'-0"
 NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY.

MATCH LINE A

MATCH LINE A



LEGEND	
	NEW WALLS
	EXISTING WALLS & COLUMNS TO REMAIN
	EXISTING AREAS TO REMAIN UNDISTURBED
	RENOVATED BALCONY

LEGEND	
	PROPOSED BALCONY
	PROPOSED RENOVATED FLOOR AREAS (ONLY BALCONIES)
	INTERIOR AREAS UNDER A SEPARATE PERMIT

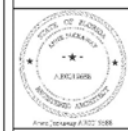
James Podany
ARCHITECT
1700 SW 15TH AVENUE, SUITE 200
MIAMI, FL 33135
PH: 305-271-4320
WWW.JAMESPODANY.COM
LIC# 12000

TO THE BEST OF MY SKILL AND KNOWLEDGE, I HAVE PREPARED THESE PLANS IN ACCORDANCE WITH THE FLORIDA BUILDING CODE AND ALL APPLICABLE REGULATORY AGENCIES. I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES. I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES. I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES.



THE PLAZA OF BAL HARBOUR
EXTERIOR RENOVATION
10185 COLLINS AVENUE BAL HARBOUR, FL 33154

AMB RESUBMITTAL
06/26/2024

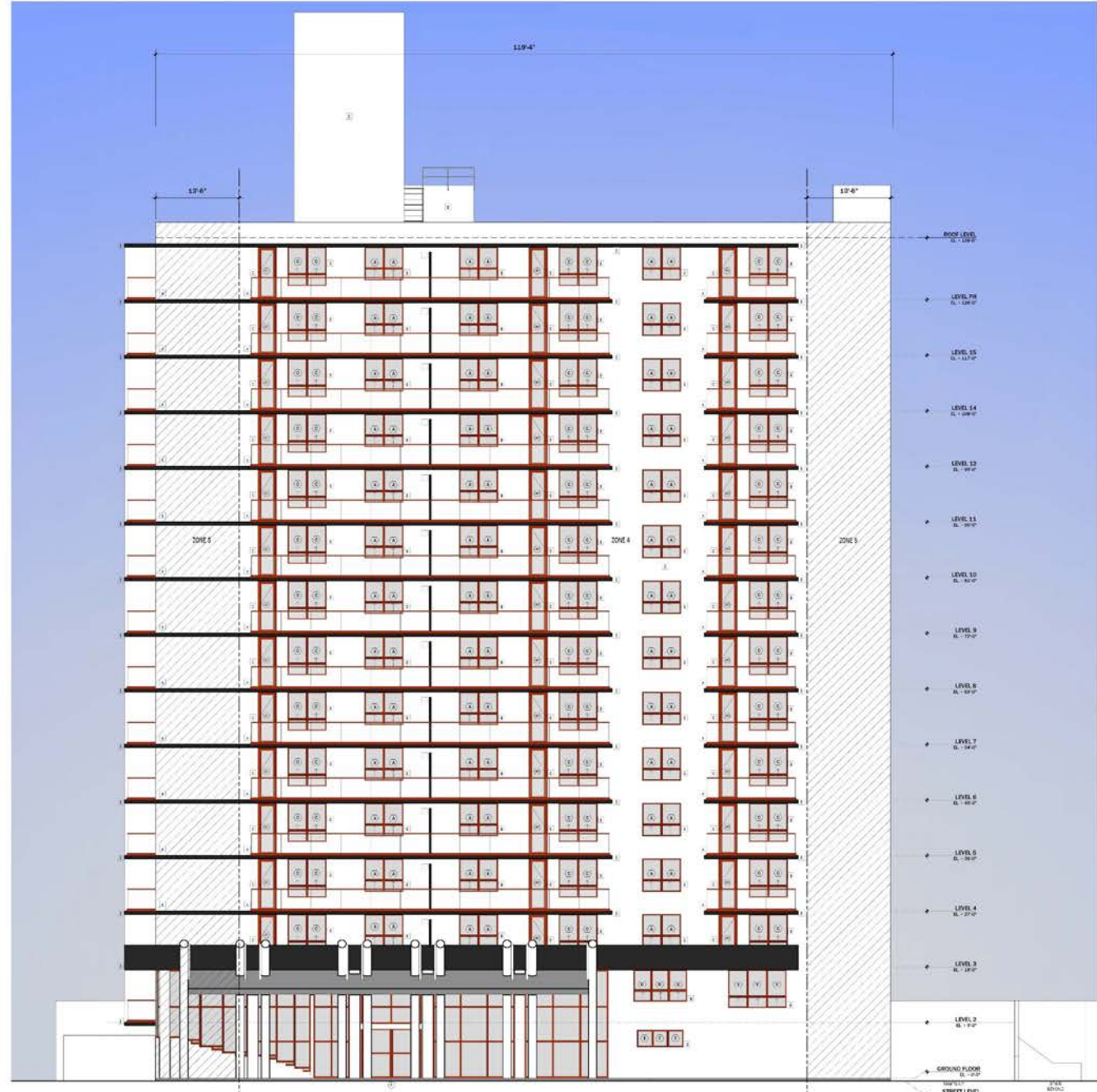


PROPOSED FLOOR PLAN

- KEY NOTES:**
- A NEW GLASSED RAILING INFINITY POSTLESS GLASS RAILING SYSTEM. NOA No. 23-0216.02. MANUFACTURER: POMA & SONS, INC.
 - B NEW WINDOWS, SERIES 360 ALUMINUM SINGLE HING WINDOWS S.M.I. LWI NOA No. 20-0722.20. MANUFACTURER: WINDOW, INC.
 - C NEW DOORS, SERIES 450 ALUMINUM OUTSWING GLAZED DOOR. NOA No. 21-0917.03. MANUFACTURER: CGI.
 - D STOREFRONT NEW WINDOWS SERIES-S33500. FLORIDA NUMBER No. 29574. MANUFACTURER: CGI.
 - E STOREFRONT NEW SERIES 450 FRENCH DOOR OUTSWING GLAZED DOOR. FLORIDA NUMBER No. 29573. MANUFACTURER: CGI.
 - F DOORS TO BE RETAINED, REMEDIATED + PAINTED COLOR: CHANTILLY LACE 400-65.
 - G NEW ENTRANCE DOOR.
 - H NEW CONCRETE REINFORCED WALL. SEE STRUCTURAL FOR DETAILS.
 - I NEW GARAGE DOORS WILL BE REPLACED BY ASSOCIATION.
 - J CONSTRUCTION OF 6" WIDE CONCRETE CURB TO PREVENT PAVERS FROM SLIPPING OFF THE RAMP.
 - K 99 NEW WHEEL STOPS IN THE FIRST FLOOR AND 99 NEW WHEEL STOPS IN THE SECOND FLOOR.
- NOTE: THE QUANTITY OF PARKING SPACES ARE BASED IN THE INFORMATION DELIVERED BY THE CLIENT.

PROPOSED EXTERIOR PARTIAL TYPICAL 3RD - PENTHOUSE FLOOR PLAN LEVELS (EAST SIDE)
SCALE: 1/8" = 1'-0"

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY.



LEGEND

- GLASS RAILING
- DOORS AND WINDOWS
- EXISTING TO REMAIN

LEGEND
FEMA ZONING FOR WINDOWS AND DOORS

- ZONE 5
- ZONE 4

- KEY NOTES:**
1. NEW GLAZED RAILING INFINITY POSTLESS GLASS RAILING SYSTEM. NOA No. 23-0216 02. MANUFACTURER: POMA & SONS, INC.
 2. NEW WINDOWS, SERIES 380 ALUMINUM SINGLE HUNG WINDOW-L.M.I. NOA No. 20-0722 20. MANUFACTURER: WINDOOR, INC.
 3. NEW DOORS, SERIES 450 ALUMINUM OUTSWING GLAZED DOOR. NOS No. 21-0817 03. MANUFACTURER: COI.
 4. PAINT WALL, CHANTILLY LACE, #00-65, BENJAMIN MOORE PAINT COMPANY.
 5. PAINT BALCONIES AND EYE BROWS ON ALL SIDES, GRAY HUSKIE, #1473 BENJAMIN MOORE PAINT COMPANY.
 6. STOREFRONT NEW WINDOWS SERIES-553500. FLORIDA NUMBER No 25574. MANUFACTURER: COI.
 7. STOREFRONT NEW SERIES 450 FRENCH DOOR. OUTSWING GLAZED DOOR. FLORIDA NUMBER No 25573. MANUFACTURER: COI.
 8. DOORS TO BE RETAINED, REMEDIATED + PAINTED COLOR CHANTILLY LACE, #00-65.
 9. ALUMINUM AND GLASS BALCONY PARTITION. NEW GARAGE DOORS WILL BE REPLACED BY ASSOCIATION.

James J. Jodanis
ARCHITECT
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BAL HARBOUR, FL 33154
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FAX: 305.297.8229
www.jjodanis.com
AIA 2023015495

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH ALL APPLICABLE REGULATORY REQUIREMENTS AND STANDARDS. THE ARCHITECT DOES NOT GUARANTEE OR WARRANT THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

THE PLAZA OF BAL HARBOUR
EXTERIOR RENOVATION
10185 COLLINS AVENUE BAL HARBOUR, FL 33154

ASB RESUBMITTAL
06/24/2024

STATE OF FLORIDA
PROFESSIONAL SEAL
ARCHITECT
A3302680
James J. Jodanis
Architectural License No. 12558

PROPOSED
ELEVATIONS

A-13

PROPOSED EXTERIOR FRONT WEST ELEVATION
SCALE: 1/8" = 1'-0"

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY

LEGEND	
FEMA ZONING FOR WINDOWS AND DOORS	
	ZONE 5
	ZONE 4

LEGEND	
	GLASS RAILING
	DOORS AND WINDOWS
	PARTITION PANEL
	EXISTING TO REMAIN

- KEY NOTES:**
1. NEW GLAZED RAILING INFINITY POSTLESS GLASS RAILING SYSTEM. NOA No. 23-0216.02. MANUFACTURER: POMA & SONS, INC.
 2. NEW WINDOWS, SERIES 300 ALUMINUM SINGLE HUNG WINDOW, M.L.I. NOA No. 20-0122.30. MANUFACTURER: WINDOOR, INC.
 3. NEW DOORS, SERIES 450 ALUMINUM OUTSWING GLAZED DOOR. NOS No. 21-091.1.03. MANUFACTURER: CGI.
 4. PAINT WALL, CHANTILLY LACE, #0C-05. BENJAMIN MOORE PAINT COMPANY.
 5. PAINT BALCONIES AND EYE BROWS ON ALL SIDES, GRAY HUSKIE, #1473 BENJAMIN MOORE PAINT COMPANY.
 6. STOREFRONT NEW WINDOWS SERIES 553500. FLORIDA NUMBER No 25074. MANUFACTURER: CGI.
 7. STOREFRONT NEW SERIES 450 FRENCH DOOR OUTSWING GLAZED DOOR. FLORIDA NUMBER No 25073. MANUFACTURER: CGI.
 8. DOORS TO BE RETAINED, REMEDIATED + PAINTED COLOR CHANTILLY LACE, #0C-05 ALUMINUM AND GLASS BALCONY PARTITION. NEW GARAGE DOORS WILL BE REPLACED BY ASSOCIATION.

James Spadaro
 ARCHITECT
 10181 COLLINS AVENUE BAL HARBOUR, FL 33154
 PH: 305-297-0229
 www.james-spadaro.com

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLAN AND SPECIFICATIONS SHOWN ARE IN ACCORDANCE WITH THE CITY OF BAL HARBOUR SPECIFICATIONS. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF THE DATA PROVIDED BY THE CLIENT. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THE DRAWINGS AND TO THE EXTENT OF ANY CONTRACT DOCUMENTS.



THE PLAZA OF BAL HARBOUR
 EXTERIOR RENOVATION
 10181 COLLINS AVENUE BAL HARBOUR, FL 33154

APR SUBMITTAL
 06/26/2024

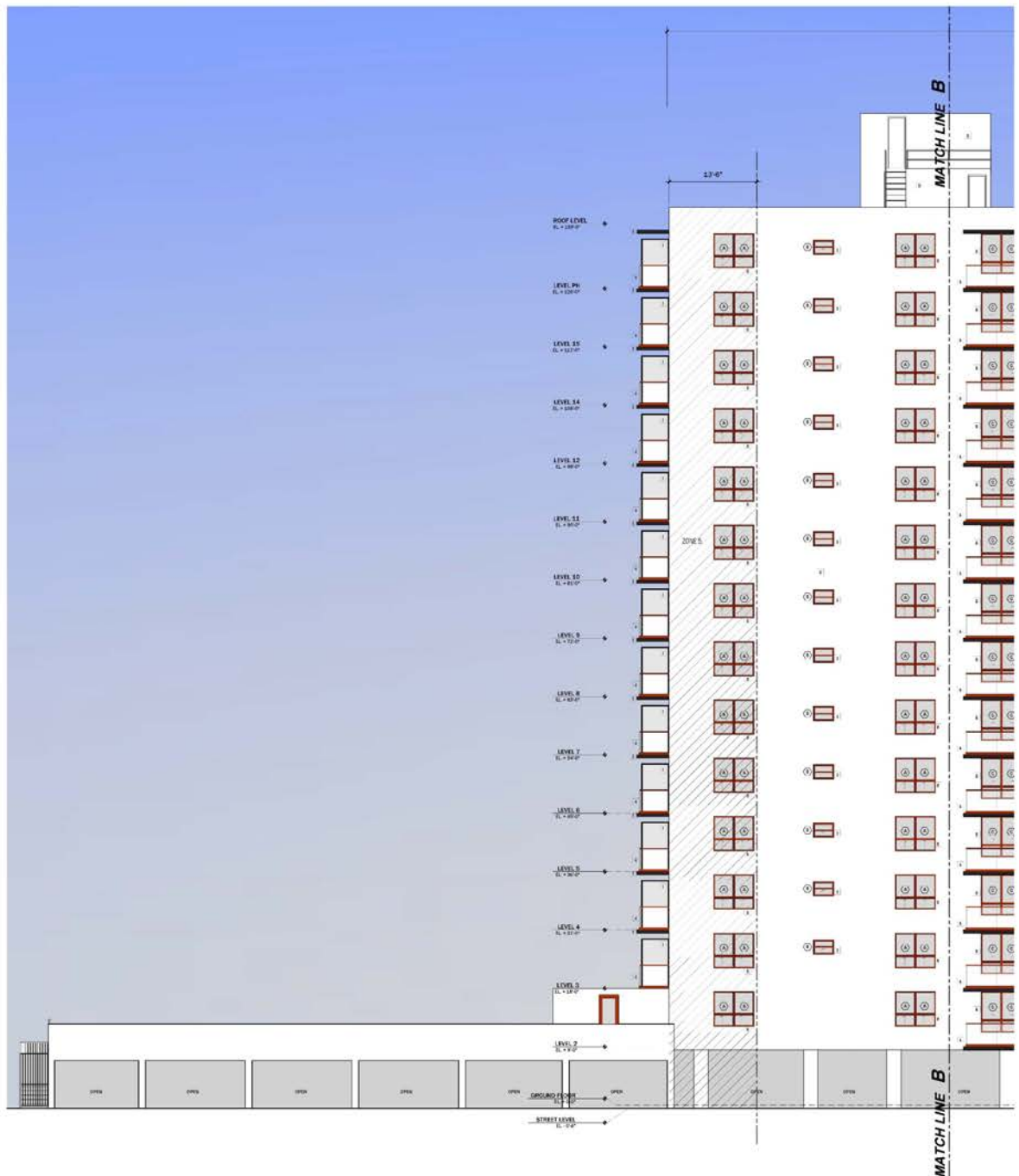


PROPOSED ELEVATIONS

A-14

PROPOSED FULL EXTERIOR NORTH ELEVATION
 SCALE: 1/16" = 1'-0"

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY



LEGEND

- GLASS RAILING
- DOORS AND WINDOWS
- PARTITION PANEL
- EXISTING TO REMAIN

LEGEND
FEMA ZONING FOR WINDOWS AND DOORS

- ZONE 5
- ZONE 4

- KEY NOTES:**
1. NEW GLAZED RAILING INFINITY POSTLESS GLASS RAILING SYSTEM. NOA No. 23-0236.02. MANUFACTURER: POMA & SONS, INC.
 2. NEW WINDOWS, SERIES 360 ALUMINUM SINGLE HUNG WINDOW-L&L. NOA No. 20-0722.20. MANUFACTURER: WINDOW, INC.
 3. NEW DOORS, SERIES 450 ALUMINUM OUTSWING GLAZED DOOR. NOA No. 23-0931.03. MANUFACTURER: CGI.
 4. PAINT WALL, CHANTILLY LACE #00-65, BENJAMIN MOORE PAINT COMPANY.
 5. PAINT BALCONIES AND EYE BROWS ON ALL SIDES, GRAY HORSIE #2473 BENJAMIN MOORE PAINT COMPANY.
 6. STOREFRONT NEW WINDOWS SERIES-SS3900 FLORIDA NUMBER No. 29574. MANUFACTURER: CGI.
 7. STOREFRONT NEW SERIES 450 FRENCH DOOR OUTSWING GLAZED DOOR. FLORIDA NUMBER No. 29573. MANUFACTURER: CGI.
 8. DOORS TO BE RETAINED, REMEDIATED + PAINTED COLOR CHANTILLY LACE #00-65.
 9. ALUMINUM AND GLASS BALCONY PARTITION.
 10. NEW GARAGE DOORS WILL BE REPLACED BY ASSOCIATION.

James J. J. J.
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10188 COLLINS AVENUE, SUITE 100
BAL HARBOUR, FLORIDA 33154
PH: 305-297-0229
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TO THE BEST OF HIS KNOWLEDGE AND BELIEF, THE DESIGNER HAS PREPARED THIS PLAN AND SPECIFICATIONS IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND ETHICS OF THE ARCHITECTS' BOARD OF FLORIDA. THE DESIGNER DOES NOT WARRANT OR GUARANTEE THE ACCURACY OR COMPLETENESS OF THE INFORMATION ON WHICH THIS DESIGN IS BASED.

THE PLAZA OF BAL HARBOUR
10188 COLLINS AVENUE BAL HARBOUR, FL 33154

APR SUBMITTAL
06/26/2024



PROPOSED ELEVATIONS

PROPOSED PARTIAL EXTERIOR NORTH ELEVATION (EAST SIDE)
SCALE: 1/8" = 1'-0"

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY



LEGEND	
	GLASS RAILING
	DOORS AND WINDOWS
	EXISTING TO REMAIN

LEGEND	
FEMA ZONING FOR WINDOWS AND DOORS	
	ZONE 5
	ZONE 4

- KEY NOTES:**
1. NEW GLAZED RAILING INFINITY POSTLESS GLASS RAILING SYSTEM. NDA No. 23-0218.02. MANUFACTURER: POMA & SONS, INC.
 2. NEW WINDOWS, SERIES 360 ALUMINUM SINGLE HUNG WINDOW L.M.I. NDA No. 20-0722.20. MANUFACTURER: WINDOW, INC.
 3. NEW DOORS, SERIES 450 ALUMINUM OUTSWING GLAZED DOOR. NDS No. 21-0917.03. MANUFACTURER: CGI.
 4. PAINT WALL, CHANTILLY LACE, #00-65. BENJAMIN MOORE PAINT COMPANY.
 5. PAINT BALCONIES AND EYE BROWS ON ALL SEASIDE HUNTER #14-173 BENJAMIN MOORE PAINT COMPANY.
 6. STOREFRONT NEW WINDOWS SERIES-SS-3500 FLORIDA NUMBER No. 25574. MANUFACTURER: CGI.
 7. STOREFRONT NEW SERIES 450 FRENCH DOOR OUTSWING GLAZED DOOR. FLORIDA NUMBER No. 25573. MANUFACTURER: CGI.
 8. DOORS TO BE RETAINED, REMEDIATED + PAINTED COLOR: CHANTILLY LACE, #00-65.
 9. ALUMINUM AND GLASS BALCONY PARTITION.
 10. NEW GARAGE DOORS WILL BE REPLACED BY ASSOCIATION.



TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, BELIEF AND OPINION SHE HAS COMPLIED WITH ALL APPLICABLE REGULATORY REQUIREMENTS OF THE STATE OF FLORIDA, INCLUDING BUT NOT LIMITED TO THE FLORIDA BUILDING CODE.

THE PLAZA OF BAL HARBOUR
10185 COLLINS AVENUE BAL HARBOUR, FL 33154

APD RESUBMITTAL
06/26/2024



PROPOSED ELEVATIONS
A-14B

PROPOSED PARTIAL EXTERIOR NORTH ELEVATION (CENTER)
SCALE: 1/8" = 1'-0"

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY



LEGEND

[Symbol]	GLASS RAILING
[Symbol]	DOORS AND WINDOWS
[Symbol]	PARTITION PANEL
[Symbol]	EXISTING TO REMAIN

LEGEND
FEMA ZONING FOR WINDOWS AND DOORS

[Symbol]	ZONE 5
[Symbol]	ZONE 4

- KEY NOTES:**
- 1) NEW GLAZED RAILING INFINITY POSTLESS GLASS RAILING SYSTEM, NOA No. 23-0216-02, MANUFACTURER: HOMA & SONS, INC.
 - 2) NEW WINDOWS, SERIES 300 ALUMINUM SINGLE HING WINDOW, L.M.I. NOA No. 20-122-00, MANUFACTURER: WINDOW, INC.
 - 3) NEW DOORS, SERIES 400 ALUMINUM OUTSWING GLAZED DOOR NOS No. 21-0917-03, MANUFACTURER: CGI.
 - 4) PAINT WALL, CHANTILLY LACE, #00-65, BULFINCH MOORE PAINT COMPANY.
 - 5) PAINT BALCONIES AND EYE BROWS ON ALL SIDES, GRAY HORSE, #1473 BENJAMIN MOORE PAINT COMPANY.
 - 6) STOREFRONT NEW WINDOWS SERIES SS3500 FLORIDA NUMBER No 25574, MANUFACTURER: CGI.
 - 7) STOREFRONT NEW SERIES 450 FRENCH DOOR OUTSWING GLAZED DOOR FLORIDA NUMBER No 25573, MANUFACTURER: CGI.
 - 8) DOORS TO BE RETIRED, REMEDIATED + PAINTED COLOR: CHANTILLY LACE, #00-65
 - 9) ALUMINUM AND GLASS BALCONY PARTITION NEW GARAGE DOORS WILL BE REPLACED BY ASSOCIATION.

James Lockaway & Co.
ARCHITECTS, P.A.
1735 SW 10TH AVENUE, SUITE 100
MIAMI, FLORIDA 33135
TEL: (305) 373-3333
WWW.JAMESLOCKAWAY.COM

IN THE BEST OF THE ARCHITECT'S OPINION, THE PLAN AND SPECIFICATIONS SHOWN HEREIN COMPLY WITH ALL APPLICABLE REGULATORY REQUIREMENTS AND STANDARDS AND WILL BE CONSIDERED AS A GUARANTEE OF THE ARCHITECT'S WORK AND SERVICE TO THE CLIENT.

THE PLAZA OF BAL HARBOUR
EXTERIOR RENOVATION
10186 COLLINS AVENUE BAL HARBOUR, FL 33154

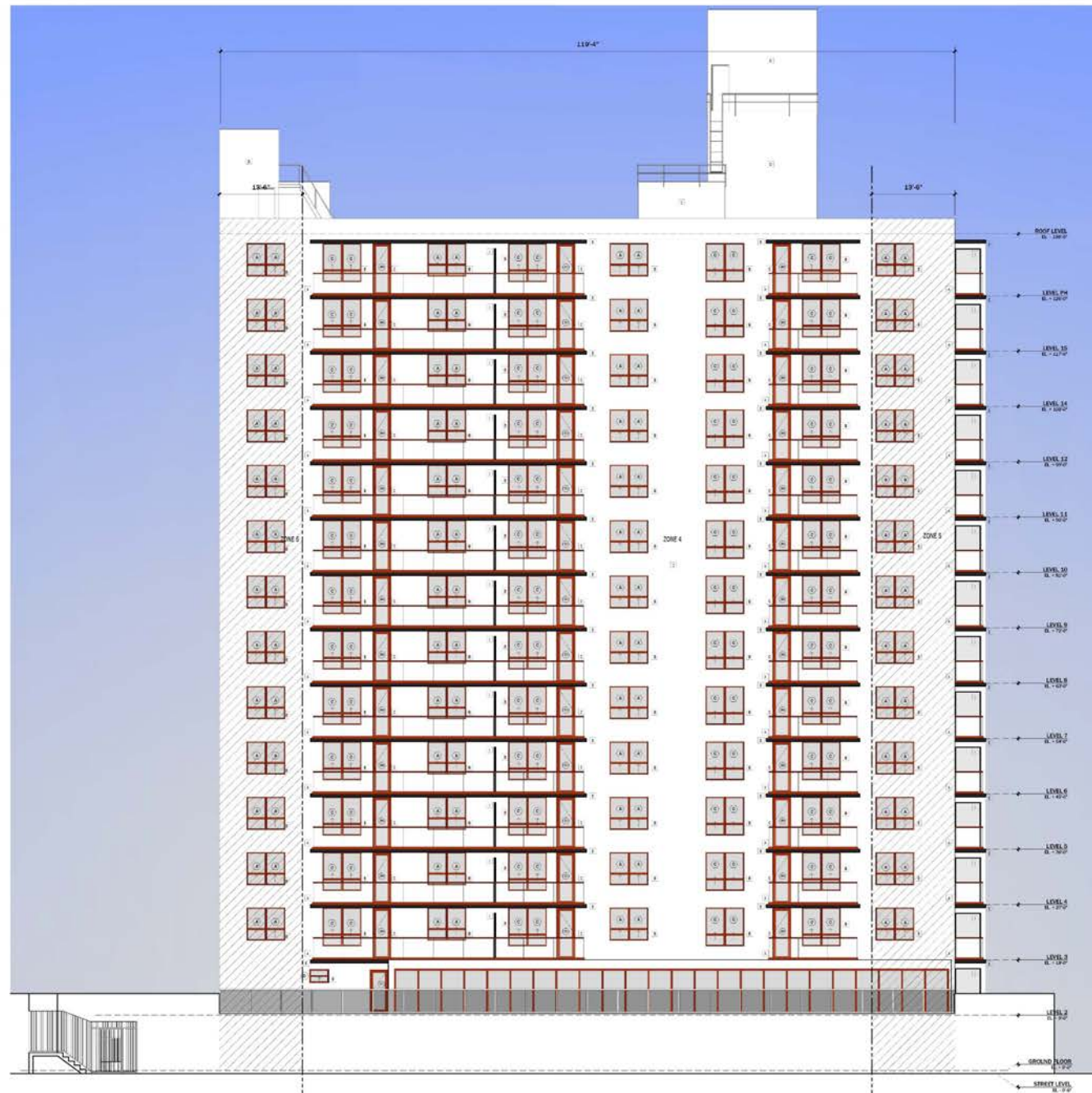
APR SUBMITTAL
06/26/2024



PROPOSED ELEVATIONS

PROPOSED PARTIAL EXTERIOR NORTH ELEVATION (WEST SIDE)
SCALE: 1/8" = 1'-0"

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY



LEGEND

- GLASS RAILING
- DOORS AND WINDOWS
- PARTITION PANEL
- EXISTING TO REMAIN

LEGEND
FEMA ZONING FOR WINDOWS AND DOORS

- ZONE 5
- ZONE 4

- KEY NOTES:**
1. NEW GLAZED-RAILING INFINITY POSTLESS GLASS RAILING SYSTEM. MFG. NO. 23-02181.02. MANUFACTURER: POMA & SONS, INC.
 2. NEW WINDOWS, SERIES 360 ALUMINUM SINGLE HUNG WINDOW L.M.I. MFG. NO. 204722.20. MANUFACTURER: WINDOR, INC.
 3. NEW DOORS, SERIES 450 ALUMINUM OUTSWING GLAZED DOOR. NOS. NO. 21-0917.03. MANUFACTURER: OS.
 4. PAINT WALL, CHANTILLY LACE, #CC-65, BENJAMIN MOORE PAINT COMPANY.
 5. PAINT BALCONIES AND EYE BROWS ON ALL SIDES, GRAY HUSKIE, #S475 BENJAMIN MOORE PAINT COMPANY.
 6. STOREFRONT NEW WINDOWS SERIES 553900 FLORIDA NUMBER No 25574. MANUFACTURER: OS.
 7. STOREFRONT NEW SERIES 450 FRENCH DOOR OUTSWING GLAZED DOOR. FLORIDA NUMBER No 25573. MANUFACTURER: OS.
 8. DOORS TO BE RETAINED, REFINISHED + PAINTED COLOR: CHANTILLY LACE, #CC-65
 9. ALUMINUM AND GLASS BALCONY PARTITION
 10. NEW GARAGE DOORS WILL BE REPLACED BY ASSOCIATION.

St Anne Architecture
ARCHITECTS P.A.
1700 S.W. 10TH AVENUE, SUITE 1000
MIAMI, FL 33135
PH: 305.345.0200
www.stannearchitecture.com
ARCHITECTS 012101

TO BE SET BY THE ARCHITECT WORKING IN CONJUNCTION WITH THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MIAMI AND THE COUNTY OF DADE.

THE PLAZA OF BAL HARBOUR
10185 COLLINS AVENUE, BAL HARBOUR, FL 33154

ARCH RESUBMITTAL
06/26/2024

PROPOSED ELEVATIONS

A-15

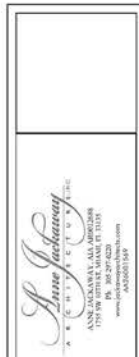
PROPOSED EXTERIOR REAR EAST OCEANFRONT ELEVATION
SCALE: 1/8" = 1'-0"

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY

LEGEND	
FEMA ZONING FOR WINDOWS AND DOORS	
	ZONE 5
	ZONE 4

LEGEND	
	GLASS RAILING
	DOORS AND WINDOWS
	PARTITION PANEL
	EXISTING TO REMAIN

- KEY NOTES:**
- 1. NEW GLAZED RAILING INFINITY POSTLESS GLASS RAILING SYSTEM. NOA No. 23 0216.02. MANUFACTURER: POMA & SONS, INC.
 - 2. NEW WINDOWS, SERIES 300 ALUMINUM SINGLE HUNG WINDOW/L.M.I. NOA No. 20 0722.20. MANUFACTURER: WINDOWOR, INC.
 - 3. NEW DOORS, SERIES 450 ALUMINUM OUTSWING GLAZED DOOR. NOS No. 24 0937.03. MANUFACTURER: CCL.
 - 4. PAINT WALL, CHANTILLY LACE, #OC-65. BENJAMIN MOORE'S PAINT COMPANY.
 - 5. PAINT BALCONIES AND EYE BROWS ON ALL SIDES, GRAY HUSKIE, #1473 BENJAMIN MOORE PAINT COMPANY.
 - 6. STOREFRONT NEW WINDOWS SERIES-553000 FLORIDA NUMBER No 25574. MANUFACTURER: CCL.
 - 7. STOREFRONT NEW SERIES 450 FRENCH DOOR OUTSWING GLAZED DOOR. FLORIDA NUMBER No 25573. MANUFACTURER: CCL.
 - 8. DOORS TO BE RETAINED, REMEDIATED + PAINTED COLOR: CHANTILLY LACE, #OC-65.
 - 9. ALUMINUM AND GLASS BALCONY PARTITION.
 - 10. NEW GARAGE DOORS WILL BE REPLACED BY ASSOCIATION.



TO THE BEST OF MY SKILL AND KNOWLEDGE I HAVE PREPARED THIS PLAN AND SPECIFICATIONS TO COMPLY WITH ALL APPLICABLE REGULATORY REQUIREMENTS AND I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE ACCURACY OF THE INFORMATION AND DATA PROVIDED HEREON.



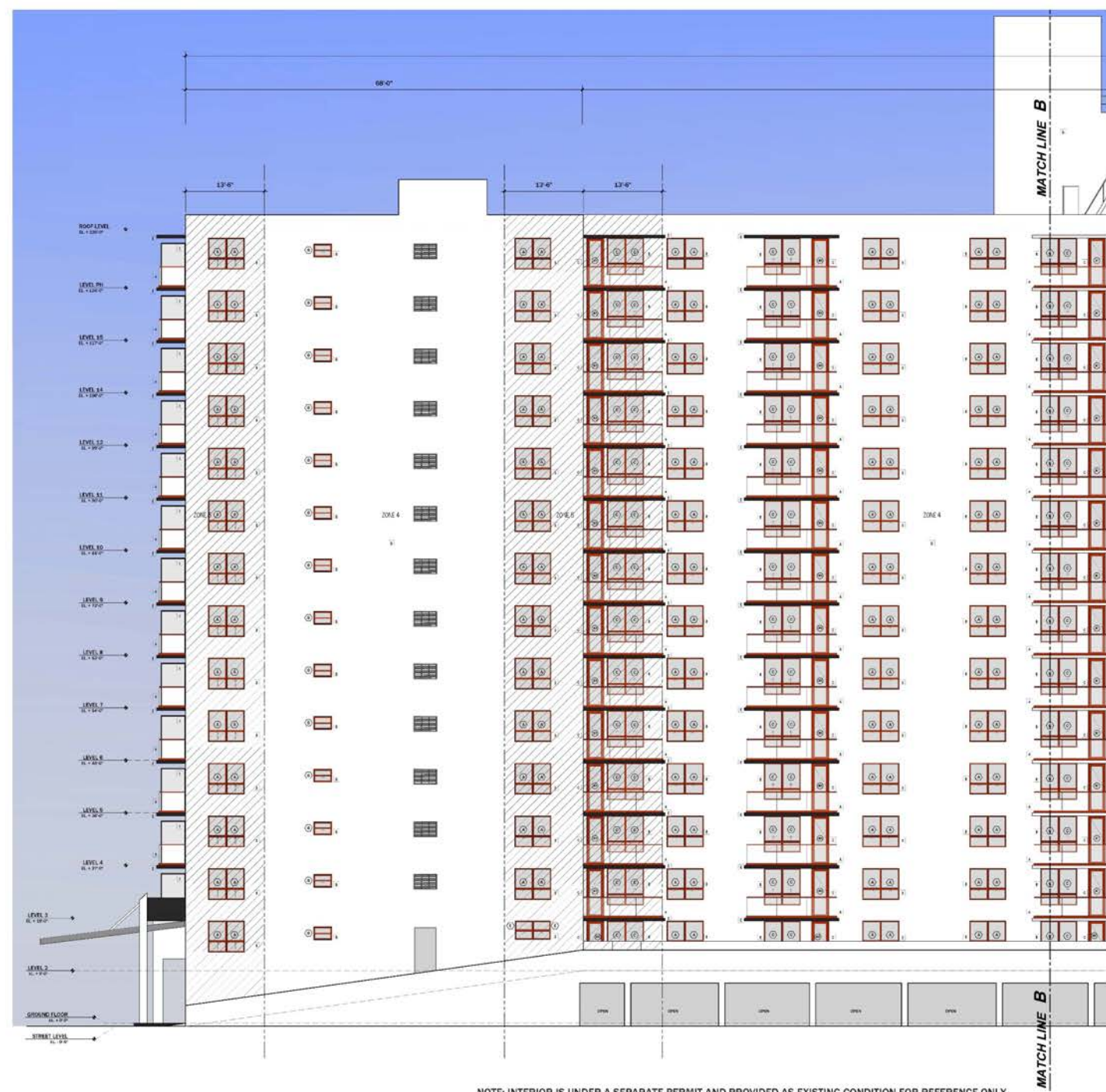
THE PLAZA OF BAL HARBOUR

10185 COLLINS AVENUE BAL HARBOUR, FL 33154

APR SUBMITTAL
06/26/2024



PROPOSED ELEVATIONS



LEGEND

- GLASS RAILING
- DOORS AND WINDOWS
- EXISTING TO REMAIN

LEGEND
FEMA ZONING FOR WINDOWS AND DOORS

- ZONE 5
- ZONE 4

- KEY NOTES:**
- NEW GLAZED RAILING INFINITY POSTLESS GLASS RAILING SYSTEM
NOA No. 23-0216-02
MANUFACTURER: POMA & SONS, INC.
 - NEW WINDOWS, SERIES 360 ALUMINUM SINGLE HUNG WINDOW, L.M.L.
NOA No. 20-0722-20
MANUFACTURER: WINDOW, INC.
 - NEW DOORS, SERIES 400 ALUMINUM OUTSWINGING GLAZED DOOR
NOA No. 21-0917-03
MANUFACTURER: COI
 - PAINT WALL: CHANTILLY LACE, #OC-65, BENJAMIN MOORE PAINT COMPANY.
 - PAINT BALCONIES AND EYE BROWS ON ALL SIDES: GRAY HUSKIE, #1473 BENJAMIN MOORE PAINT COMPANY.
 - STORE FRONT NEW WINDOWS SERIES-S53500
FLORIDA NUMBER No-25574
MANUFACTURER: COI
 - STORE FRONT NEW SERIES 450 FRENCH DOOR OUTSWINGING GLAZED DOOR
FLORIDA NUMBER No-25573
MANUFACTURER: COI
 - DOORS TO BE RETAINED, REMEDIATED + PAINTED COLOR: CHANTILLY LACE, #OC-65
 - ALUMINUM AND GLASS BALCONY PARTITION
 - NEW GARAGE DOORS WILL BE REPLACED BY ASSOCIATION.

St. Anne Architecture
ARCHITECTS, PLLC
1735 SW 10TH AVENUE, SUITE 1010
MIAMI, FL 33135
PH: 305.375.1111
WWW.STANNEARCHITECTS.COM

IN THE BEST OF THE ARCHITECT'S JUDGMENT, THE PLANS AND SPECIFICATIONS SHOWN ARE THE ARCHITECT'S BEST AND MOST ACCURATE REPRESENTATION OF THE WORK TO BE PERFORMED BY THE CONTRACTOR AT THE EXISTING CONDITIONS.

THE PLAZA OF BAL HARBOUR
10188 COLLINS AVENUE BAL HARBOUR, FL 33154

ARD SUBMITTAL
06/26/2024



PROPOSED PARTIAL EXTERIOR SOUTH ELEVATION (WEST SIDE)
SCALE: 1/8" = 1'-0"

PROPOSED ELEVATIONS

A-16A



LEGEND	
[Symbol]	GLASS RAILING
[Symbol]	DOORS AND WINDOWS
[Symbol]	PARTITION PANEL
[Symbol]	EXISTING TO REMAIN

LEGEND FEMA ZONING FOR WINDOWS AND DOORS	
[Symbol]	ZONE 5
[Symbol]	ZONE 4

- KEY NOTES:**
- NEW GLAZED RAILING INFINITY POSTLESS GLASS RAILING SYSTEM
NSA No. 23-0218.02.
MANUFACTURER: ROMA & SONS, INC.
 - NEW WINDOWS, SERIES 300 ALUMINUM SINGLE HUNG WINDOW L.M.I.
NSA No. 20-0722.20.
MANUFACTURER: WINDOW, INC.
 - NEW DOORS, SERIES 450 ALUMINUM OUTSWING GLAZED DOOR
NSA No. 21-0917.03.
MANUFACTURER: CGI.
 - PAINT WALL: CHANTILLY LACE, #0C65, BENJAMIN MOORE PAINT COMPANY.
 - PAINT BALCONIES AND EYE BROWS ON ALL SIDES: GRAY HUSKIE, #1473 BENJAMIN MOORE PAINT COMPANY.
 - STOREFRONT NEW WINDOWS SERIES 55-3500 FLORIDA NUMBER No 20574.
MANUFACTURER: CGI.
 - STOREFRONT NEW SERIES 450 FRENCH DOOR OUTSWING GLAZED DOOR.
FLORIDA NUMBER No 20573.
MANUFACTURER: CGI.
 - DOORS TO BE RETAINED, REMEDIATED + PAINTED COLOR: CHANTILLY LACE, #0C65
 - ALUMINUM AND GLASS BALCONY PARTITION
 - NEW GARAGE DOORS WILL BE REPLACED BY ASSOCIATION.

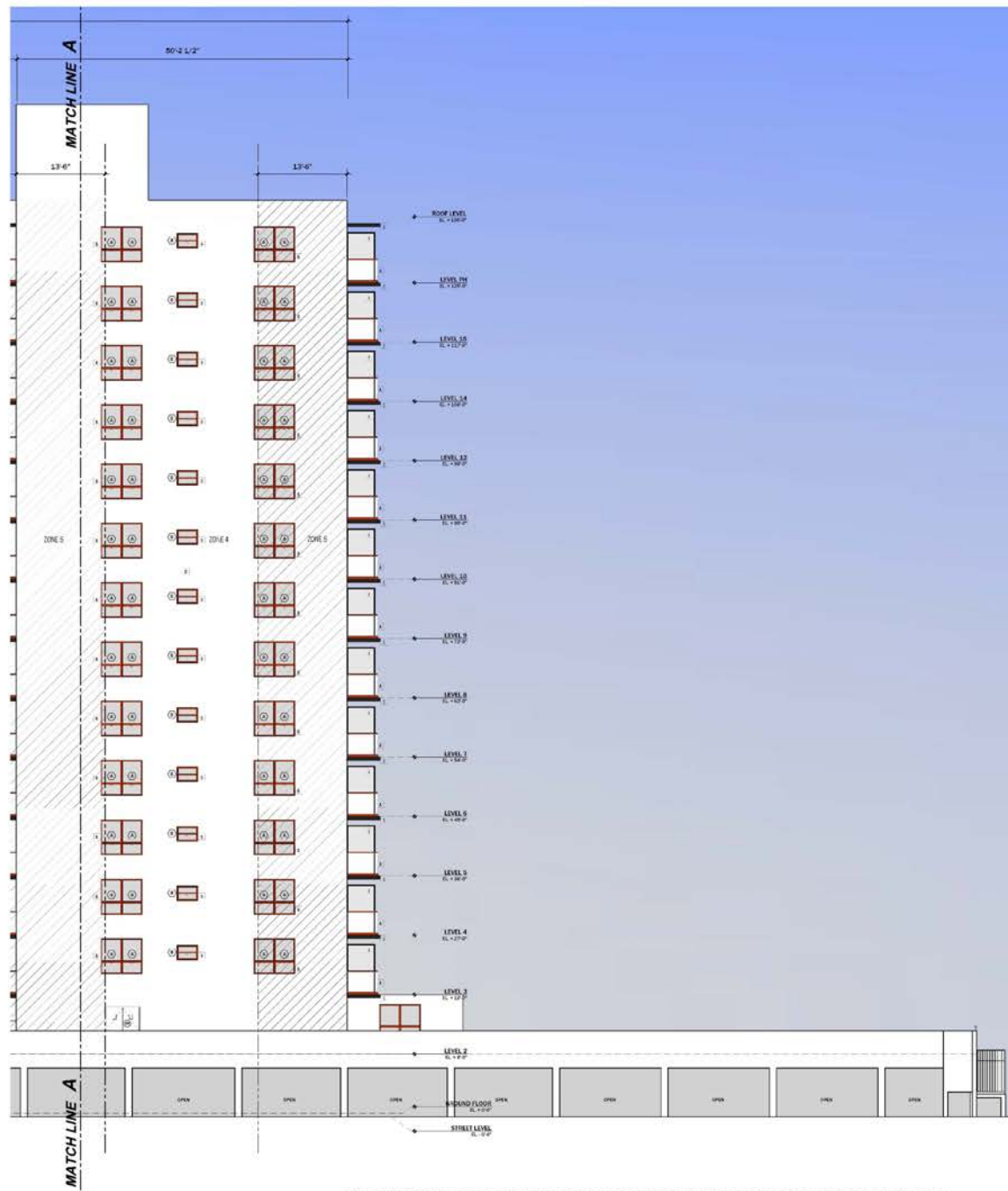
THE PLAZA OF BAL HARBOUR
EXTERIOR RENOVATION
10186 COLLINS AVENUE BAL HARBOUR, FL 33154

ARCH RESUBMITTAL
06/26/2024

PROPOSED ELEVATIONS

A-16B

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY



LEGEND

	GLASS RAILING
	DOORS AND WINDOWS
	PARTITION PANEL
	EXISTING TO REMAIN

LEGEND
FEMA ZONING FOR WINDOWS AND DOORS

	ZONE 5
	ZONE 4

- KEY NOTES:**
- 1. NEW GLAZED RAILING INFINITY POSTLESS GLASS RAILING SYSTEM; NOA No. 23-0216.02; MANUFACTURER: PDMA & SONS, INC.
 - 1. NEW WINDOWS, SERIES 360 ALUMINUM SINGLE HUNG WINDOW L.M.I. NOA No. 20-0722.20; MANUFACTURER: WINDOR, INC.
 - 1. NEW DOORS, SERIES 450 ALUMINUM OUTSWING GLAZED DOOR NOS No. 24-0917.03; MANUFACTURER: CDI.
 - 1. PAINT WALL: CHANTILLY LACE, #OC-66; BENJAMIN MOORE PAINT COMPANY.
 - 1. PAINT BALCONIES AND EYE BROWS ON ALL SIDES: GRAY HUSKIE, #1473 BENJAMIN MOORE PAINT COMPANY.
 - 1. STOREFRONT NEW WINDOWS SERIES 653500 FLORIDA NUMBER No 26574; MANUFACTURER: CDI.
 - 1. STOREFRONT NEW SERIES 450 FRENCH DOOR OUTSWING GLAZED DOOR FLORIDA NUMBER No 26573; MANUFACTURER: CDI.
 - 1. DOORS TO BE RETAINED, REMEDIATED + PAINTED COLOR: CHANTILLY LACE, #OC-66
 - 1. ALUMINUM AND GLASS BALCONY PARTITION
 - 1. NEW GARAGE DOORS WILL BE REPLACED BY ASSOCIATION.

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY

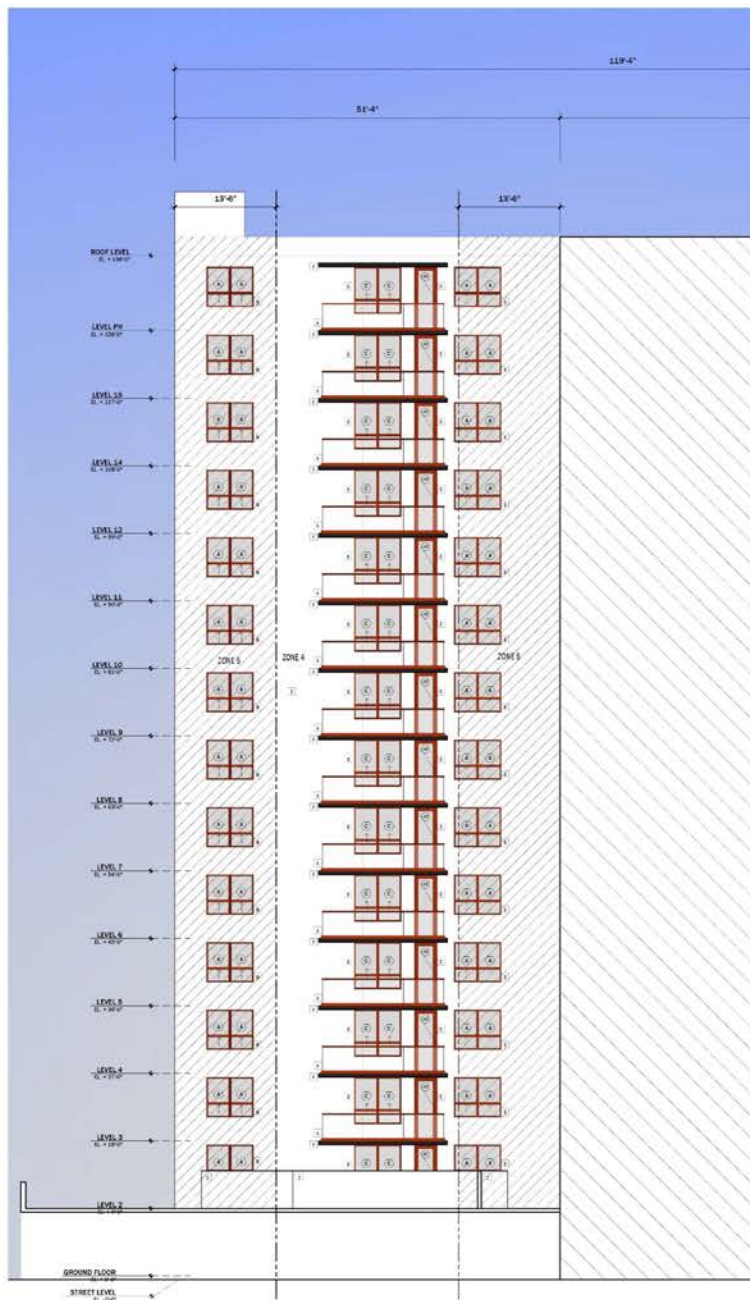
THE PLAZA OF BAL HARBOUR
10186 COLLINS AVENUE BAL HARBOUR, FL 33154

ARCHITECTURAL
06/26/2024

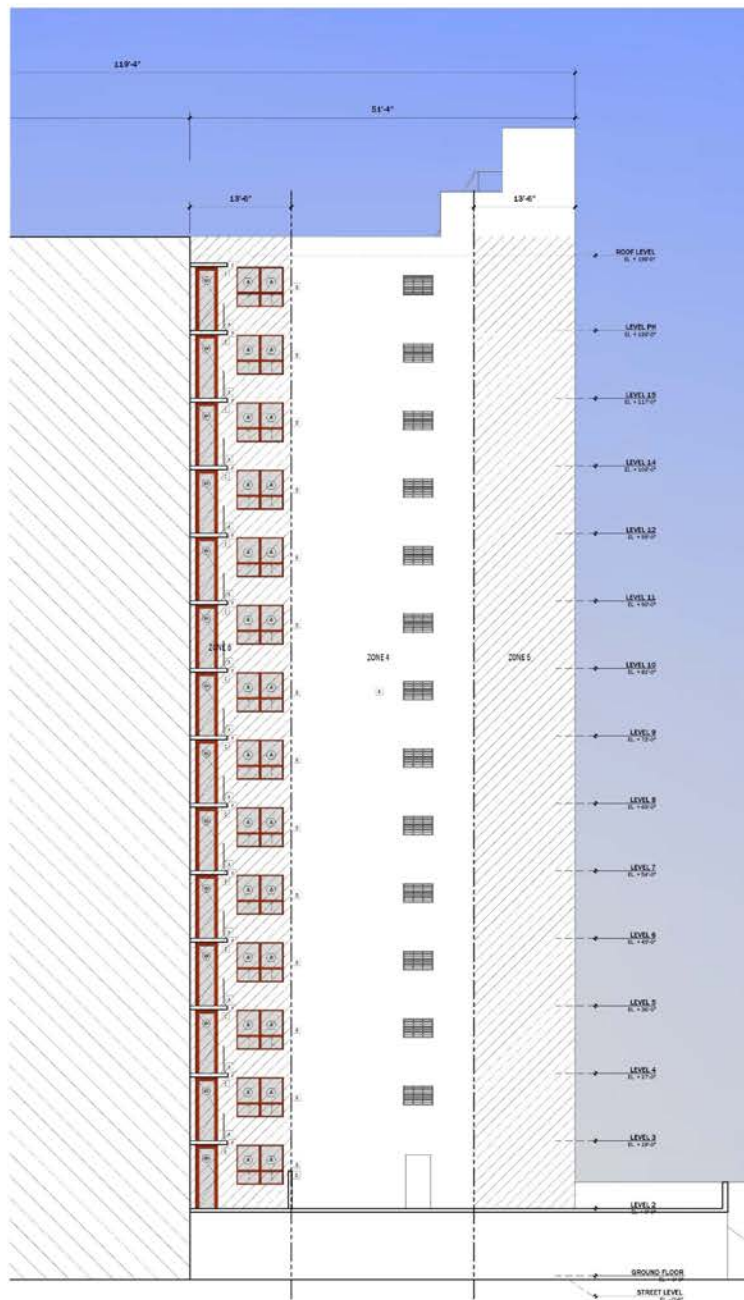
PROPOSED ELEVATIONS

A-16C

PROPOSED PARTIAL EXTERIOR SOUTH ELEVATION (EAST SIDE)
SCALE: 1/8" = 1'-0"



1 EAST ELEVATION WEST WING
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION EAST WING
SCALE: 1/8" = 1'-0"

NOTE: INTERIOR IS UNDER A SEPARATE PERMIT AND PROVIDED AS EXISTING CONDITION FOR REFERENCE ONLY

PROPOSED EXTERIOR EAST AND WEST WING ELEVATION
SCALE: 1/8" = 1'-0"

LEGEND

- GLASS RAILING
- DOORS AND WINDOWS
- EXISTING TO REMAIN

LEGEND
FEMA ZONING FOR WINDOWS AND DOORS

- ZONE 5
- ZONE 4

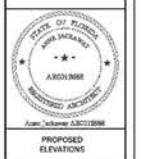
- KEY NOTES:**
- 1 NEW GLAZED RAILING INFINITY POSTLESS GLASS RAILING SYSTEM; NOA No. 23-0218-02; MANUFACTURER: POMA & SONS, INC.
 - 2 NEW WINDOWS, SERIES 380 ALUMINUM SINGLE HUNG WINDOW-L.M.I. NOA No. 20-0722-20; MANUFACTURER: WINDOWOR, INC.
 - 3 NEW DOORS, SERIES 450 ALUMINUM OUTSWING GLAZED DOOR; NOS No. 21-0917-03; MANUFACTURER: CGI
 - 4 PAINT WALL: CHANTILLY LACE, #0C-65, BENJAMIN MOORE PAINT COMPANY
 - 5 PAINT BALCONIES AND FIRE BRICKS ON ALL SIDES: GRAY HUSKIE, #1473 BENJAMIN MOORE PAINT COMPANY
 - 6 STOREFRONT NEW WINDOWS SERIES-553500 FLORIDA NUMBER No. 25074; MANUFACTURER: CGI
 - 7 STOREFRONT NEW SERIES 450 FRENCH DOOR OUTSWING GLAZED DOOR; FLORIDA NUMBER No. 25073; MANUFACTURER: CGI
 - 8 DOORS TO BE RETAINED, REMEDIATED + PAINTED COLOR: CHANTILLY LACE, #0C-65
 - 9 ALUMINUM AND GLASS BALCONY PARTITION
 - 10 NEW GARAGE DOORS WILL BE REPLACED BY ASSOCIATION

James J. Mackay
ARCHITECT
10185 COLLINS AVENUE, SUITE 100
BAL HARBOUR, FL 33154
PH: 305.224.4028
WWW.JAMESJACKAY.COM
A22202154P

TO BE SET BY THE ARCHITECT'S ENGINEER OR ANOTHER REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT. THE ARCHITECT'S ENGINEER OR ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.

THE PLAZA OF BAL HARBOUR
10185 COLLINS AVENUE BAL HARBOUR, FL 33154

ARCH RESUBMITTAL
06/26/2024



LOCATION	WINDOWS IN ZONE 4														WINDOWS IN ZONE 5				ZONE 4 & 5 GRAND TOTAL				
	TYPE OF WINDOW IN ZONE 4														TYPE OF WINDOW IN ZONE 5								
	A	B	C	D											T	U	V	TOTAL		A	C	E	TOTAL
Level 1	6	2													3			11				0	11
Level 2	38	1	32	2												3	79	10	4	2	16	95	
Level 3	44	4	42	2													92	22	4		26	118	
Level 4	44	4	42	2													92	22	4		26	118	
Level 5	44	4	42	2													92	22	4		26	118	
Level 6	44	4	42	2													92	22	4		26	118	
Level 7	44	4	42	2													92	22	4		26	118	
Level 8	44	4	42	2													92	22	4		26	118	
Level 9	44	4	42	2													92	22	4		26	118	
Level 10	44	4	42	2													92	22	4		26	118	
Level 11	44	4	42	2													92	22	4		26	118	
Level 12	44	4	42	2													92	22	4		26	118	
Level 14	44	4	42	2													92	22	4		26	118	
Level 15	44	4	42	2													92	22	4		26	118	
Level PH	44	4	42	2													92	22	4		26	118	
TOTAL	616	55	578	28											3	3	3	1286	296	56	2	354	1640

"A" WINDOW UNITS IN ZONE 5:
 (SOUTH SIDE) 207 TO PENTHOUSE
 (SOUTH AND EAST SIDE) 208 TO PENTHOUSE
 (SOUTH AND EAST SIDE) 317 TO PENTHOUSE
 (NORTH AND EAST SIDE) 319 TO PENTHOUSE

"C" WINDOW UNITS IN ZONE 5:
 (SOUTH SIDE) 209 TO PENTHOUSE
 (SOUTH SIDE) 216 TO PENTHOUSE

"E" WINDOW UNIT IN ZONE 5:
 (SOUTH SIDE) ONLY IN UNIT 208



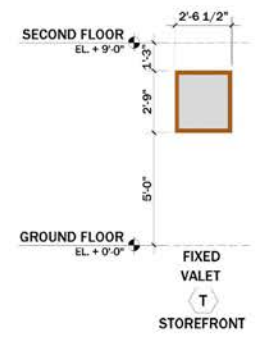
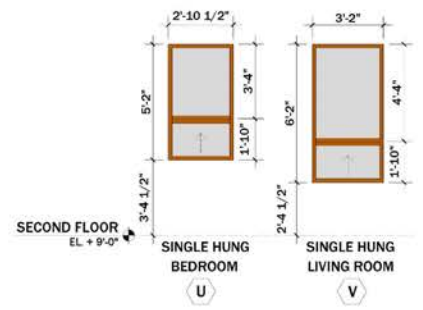
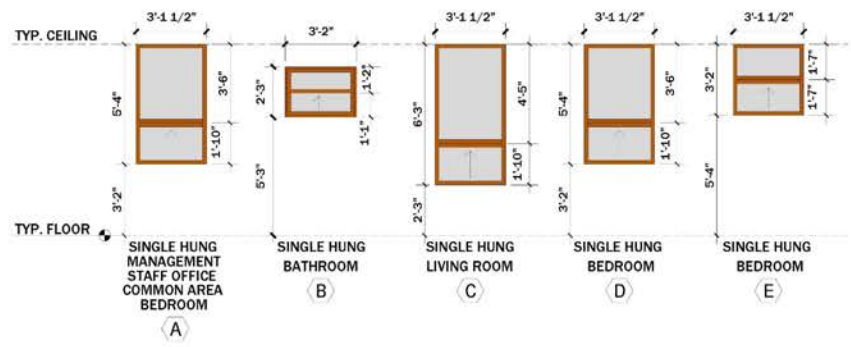
TO THE BEST OF HIS KNOWLEDGE AND BELIEF, THE DESIGNER HAS PREPARED THIS DOCUMENT IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND ETHICS OF THE ARCHITECTS REGISTERED IN THE STATE OF FLORIDA.

THE PLAZA OF BAL HARBOUR
 EXTERIOR RENOVATION
 10185 COLLINS AVENUE BAL HARBOUR, FL 33154

ARIS RESUBMITTAL
 06/26/2024



WINDOWS IN ZONE 4 AND 5



WINDOW SCHEDULE									
MARK	SIZE (WIDTHxHEIGHT)	LOCATION	TYPE	MATERIAL		FINISH	NUMBER OF WINDOWS	REMARKS	EXP. DATE
				WINDOW	FRAME				
GROUND FLOOR LEVEL									
A	3'-1 1/2" x 5'-4"	MANAGEMENT STAFF OFFICE COMMON AREA BEDROOM	OPERABLE CASEMENT	LARGE MISSILE IMPACT GLAZING	ALUMINUM	KYNAR DARK BRONZE EXTERIOR WHITE INT	6	NOA 20-0722.20	05/05/2025
T	2'-6 1/2" x 2'-2"	VALET	FIXED	LARGE MISSILE IMPACT GLAZING	ALUMINUM	KYNAR DARK BRONZE EXTERIOR WHITE INT	3	FPA # 25574	
SECOND FLOOR LEVEL									
A	3'-1 1/2" x 5'-4"	BEDROOM	OPERABLE CASEMENT	LARGE MISSILE IMPACT GLAZING	ALUMINUM	KYNAR DARK BRONZE EXTERIOR WHITE INT	36	NOA 20-0722.20	05/05/2025
B	3'-2" x 2'-3"	BATHROOM	OPERABLE CASEMENT	LARGE MISSILE IMPACT GLAZING	ALUMINUM	KYNAR DARK BRONZE EXTERIOR WHITE INT	1	NOA 20-0722.20	05/05/2025
C	3'-1 1/2" x 6'-3"	LIVING ROOM	OPERABLE CASEMENT	LARGE MISSILE IMPACT GLAZING	ALUMINUM	KYNAR DARK BRONZE EXTERIOR WHITE INT	30	NOA 20-0722.20	05/05/2025
D	3'-1 1/2" x 5'-4"	BEDROOM	OPERABLE CASEMENT	LARGE MISSILE IMPACT GLAZING	ALUMINUM	KYNAR DARK BRONZE EXTERIOR WHITE INT	2	NOA 20-0722.20	05/05/2025
E	3'-1 1/2" x 3'-2"	BEDROOM	OPERABLE CASEMENT	LARGE MISSILE IMPACT GLAZING	ALUMINUM	KYNAR DARK BRONZE EXTERIOR WHITE INT	2	NOA 20-0722.20	05/05/2025
U	2'-10 1/2" x 5'-2"	BEDROOM	OPERABLE CASEMENT	LARGE MISSILE IMPACT GLAZING	ALUMINUM	KYNAR DARK BRONZE EXTERIOR WHITE INT	3	NOA 20-0722.20	05/05/2025
V	3'-2" x 6'-2"	LIVING ROOM	OPERABLE CASEMENT	LARGE MISSILE IMPACT GLAZING	ALUMINUM	KYNAR DARK BRONZE EXTERIOR WHITE INT	3	NOA 20-0722.20	05/05/2025
TYPICAL 3 & 4 FLOOR LEVEL									
A	3'-1 1/2" x 5'-4"	BEDROOM	OPERABLE CASEMENT	LARGE MISSILE IMPACT GLAZING	ALUMINUM	KYNAR DARK BRONZE EXTERIOR WHITE INT	98	NOA 20-0722.20	05/05/2025
B	3'-2" x 2'-3"	BATHROOM	OPERABLE CASEMENT	LARGE MISSILE IMPACT GLAZING	ALUMINUM	KYNAR DARK BRONZE EXTERIOR WHITE INT	8	NOA 20-0722.20	05/05/2025
C	3'-1 1/2" x 6'-3"	LIVING ROOM	OPERABLE CASEMENT	LARGE MISSILE IMPACT GLAZING	ALUMINUM	KYNAR DARK BRONZE EXTERIOR WHITE INT	84	NOA 20-0722.20	05/05/2025
D	3'-1 1/2" x 5'-4"	BEDROOM	OPERABLE CASEMENT	LARGE MISSILE IMPACT GLAZING	ALUMINUM	KYNAR DARK BRONZE EXTERIOR WHITE INT	4	NOA 20-0722.20	05/05/2025
TYPICAL 5 TO PENTHOUSE FLOOR LEVEL									
A	3'-1 1/2" x 5'-4"	BEDROOM	OPERABLE CASEMENT	SMALL MISSILE IMPACT GLAZING	ALUMINUM	KYNAR DARK BRONZE EXTERIOR WHITE INT	484	NOA 20-0722.20	05/05/2025
B	3'-2" x 2'-3"	BATHROOM	OPERABLE CASEMENT	SMALL MISSILE IMPACT GLAZING	ALUMINUM	KYNAR DARK BRONZE EXTERIOR WHITE INT	44	NOA 20-0722.20	05/05/2025
C	3'-1 1/2" x 6'-3"	LIVING ROOM	OPERABLE CASEMENT	SMALL MISSILE IMPACT GLAZING	ALUMINUM	KYNAR DARK BRONZE EXTERIOR WHITE INT	402	NOA 20-0722.20	05/05/2025
D	3'-1 1/2" x 5'-4"	BEDROOM	OPERABLE CASEMENT	SMALL MISSILE IMPACT GLAZING	ALUMINUM	KYNAR DARK BRONZE EXTERIOR WHITE INT	22	NOA 20-0722.20	05/05/2025

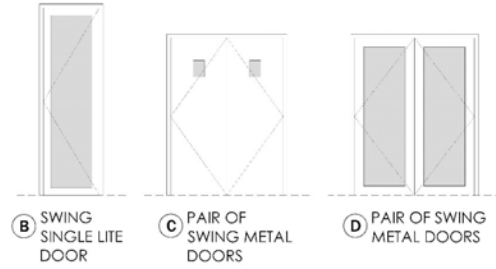
PROPOSED WINDOW SCHEDULES
SCALE: 3/8" = 1'-0"

THE PLAZA OF BAL HARBOUR
10185 COLLINS AVENUE BAL HARBOUR, FL 33154

ASB RESUBMITTAL
06/24/2024

DOOR SCHEDULE

A-19



L VERTICAL SLIDING GARAGE METAL DOOR

UNITS WITH ZONE 5 DOORS
 208, 209, 216.
 305, 307, 308, 309, 316, 317, 319.
 FOURTH LEVEL TO PENTHOUSE LEVEL
 (NO LEVEL 13) HAS THE SAME UNIT
 NUMBERS AS LEVEL 3.

UNITS WITH ZONE 4 DOORS
 201, 202, 203, 204, 210, 211, 212,
 214, 215, 220, 221, 222, 223.
 301, 302, 303, 304, 306, 310, 311,
 312, 314, 315, 318, 320, 321, 322,
 323.
 FOURTH LEVEL TO PENTHOUSE LEVEL
 (NO LEVEL 13) HAS THE SAME UNIT
 NUMBERS AS LEVEL 3.

DOOR SCHEDULE											
DOOR NO	DOOR OPENS		DOOR TYPE	DOOR MAT.	SIZE			FRAME		REMARKS	EXP. DATE
	FROM	TO			WITH	HT	THK	HEAD	JAMB		
GROUND FLOOR LEVEL											
102	EXTERIOR	VALET	D	AL/GL	Pair of 2'-6"	7'-0"	1-5/8"	AL		NOA No: 21-0917.03	11/09/2028
128	EXTERIOR	GARAGE	L	AL	14'-0"	7'-0"	1-5/8"	AL		ASSOCIATION TO REPLACE	
129	EXTERIOR	GARAGE	L	AL	6'-0"	7'-0"	1-5/8"	AL		ASSOCIATION TO REPLACE	
130	EXTERIOR	GARAGE	L	AL	14'-0"	7'-0"	1-5/8"	AL		ASSOCIATION TO REPLACE	
131	EXTERIOR	GARAGE	L	AL	14'-0"	7'-0"	1-5/8"	AL		ASSOCIATION TO REPLACE	

DOOR SCHEDULE											
DOOR NO	DOOR OPENS		DOOR TYPE	DOOR MAT.	SIZE			FRAME		REMARKS	EXP. DATE
	FROM	TO			WITH	HT	THK	HEAD	JAMB		
SECOND FLOOR LEVEL											
202	LIVING ROOM	EXTERIOR	C	AL/GL	2'-8"	7'-0"	1-5/8"	AL		FF# 25573	
222	HALL	EXTERIOR POOL TERRACE	B	AL	3'-0"	7'-0"	1-3/8"	AL		FF# 25573.1	
229	HALL	EXTERIOR GARAGE	C	AL	Pair of 2'-6"	7'-0"	1-3/8"	AL			
TYPICAL 3 TO PH FLOOR LEVEL											
301	LIVING ROOM	EXTERIOR	B	AL/GL	2'-10"	8'-0"	1-5/8"	AL		NOA No: 21-0917.03	11/09/2028



TO THE BEST OF MY KNOWLEDGE AND BELIEF, I HAVE PREPARED THIS DOCUMENT IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND ETHICS OF THE ARCHITECTURAL BOARD OF THE STATE OF FLORIDA.

THE PLAZA OF BAL HARBOUR
 10185 COLLINS AVENUE BAL HARBOUR, FL 33154

ARCH RESUBMITTAL
 06/26/2024



DOOR SCHEDULE



1 EXISTING RAILING
N.T.S.



2 PROPOSED RAILING
N.T.S.

TOTAL OF LARGER BALCONY TO BE PROVIDED WITH NEW RAILING ON EACH FACADE

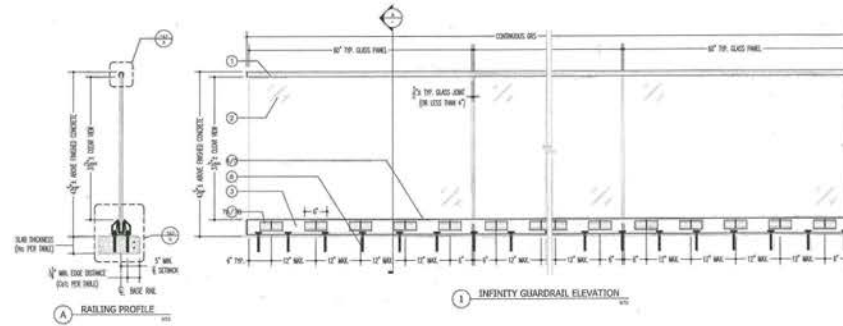
LOCATION	ELEVATIONS					
	NORTH	EAST	SOUTH	WEST	WEST EAST WING	EAST WEST WING
Level 1						
Level 2	1		2			
Level 3	1	1	2	1		
Level 4	1	1	2	1		
Level 5	1	1	2	1		
Level 6	1	1	2	1		
Level 7	1	1	2	1		
Level 8	1	1	2	1		
Level 9	1	1	2	1		
Level 10	1	1	2	1		
Level 11	1	1	2	1		
Level 12	1	1	2	1		
Level 14	1	1	2	1		
Level 15	1	1	2	1		
Level PH	1	1	2	1	0	0
TOTAL	14	13	28	13	0	0

3 TOTAL OF LARGER BALCONY TO BE PROVIDED WITH NEW RAILING
N.T.S.

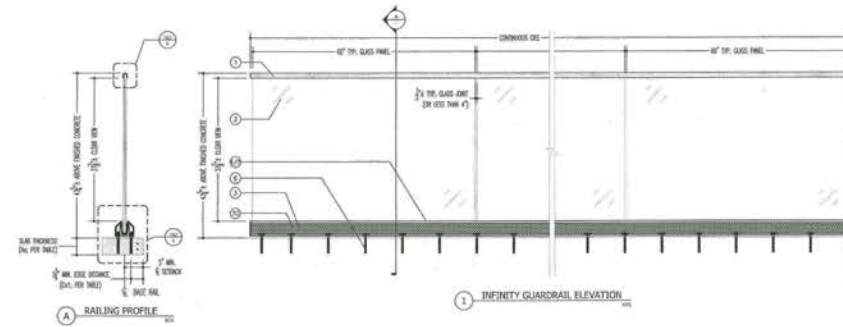
TOTAL OF SMALLER BALCONY TO BE PROVIDED WITH NEW RAILING ON EACH FACADE

LOCATION	ELEVATIONS					
	NORTH	EAST	SOUTH	WEST	WEST EAST WING	EAST WEST WING
Level 1						
Level 2	5					
Level 3	6	1	3		1	
Level 4	6	1	3	1	1	
Level 5	6	1	3	1	1	
Level 6	6	1	3	1	1	
Level 7	6	1	3	1	1	
Level 8	6	1	3	1	1	
Level 9	6	1	3	1	1	
Level 10	6	1	3	1	1	
Level 11	6	1	3	1	1	
Level 12	6	1	3	1	1	
Level 14	6	1	3	1	1	
Level 15	6	1	3	1	1	
Level PH	6	1	3	1	1	
TOTAL	83	13	39	12	13	0

4 TOTAL OF SMALLER BALCONY TO BE PROVIDED WITH NEW RAILING
N.T.S.



5 TYPICAL DETAIL OF THE NEW RAILING
N.T.S.



6 TYPICAL DETAIL OF THE NEW RAILING
N.T.S.

James Johnson
ARCHITECT
10188 COLLINS AVENUE, SUITE 100
BAL HARBOUR, FL 33154
PH: 305-597-0228
FAX: 305-597-0229
www.jamesjohnson.com

TO THE BEST OF HIS ABILITY, THE ARCHITECT HAS REVIEWED THE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS OF THE PROJECT AND HAS FOUND NO APPARENT CONFLICTS OR OMISSIONS. HOWEVER, THE ARCHITECT'S REVIEW IS LIMITED TO THE INFORMATION PROVIDED AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF ANY INFORMATION PROVIDED.

THE PLAZA OF BAL HARBOUR
10188 COLLINS AVENUE BAL HARBOUR, FL 33154

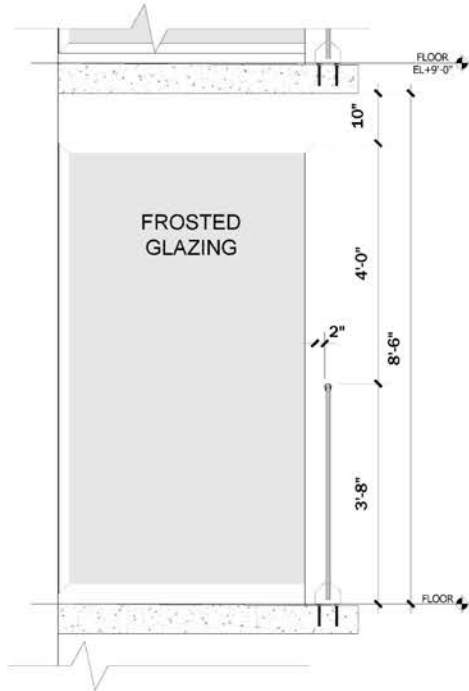
ASIS RESUBMITTAL
06/26/2024



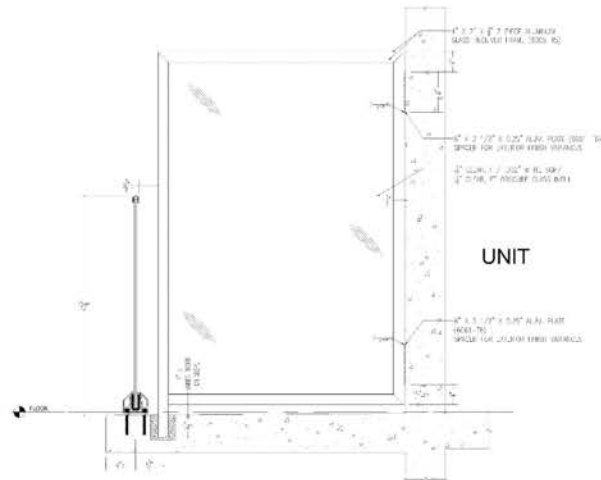
DOOR SCHEDULE



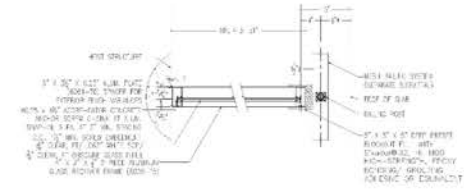
1 PARTITION PANEL



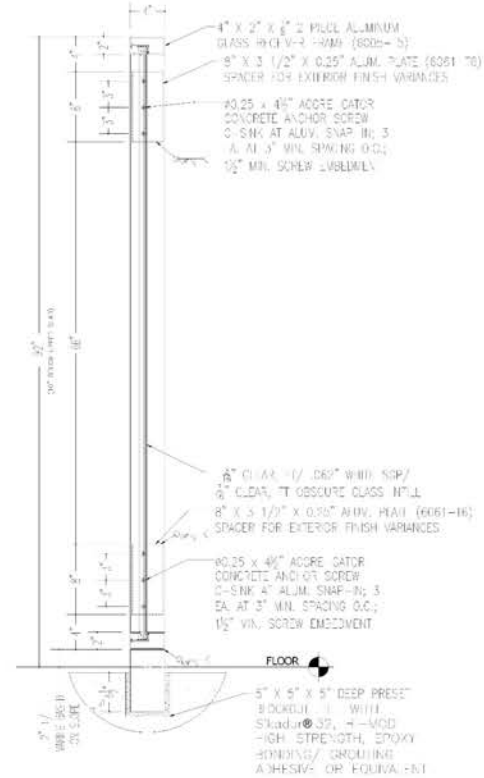
2 PANEL POSITION
SCALE: 1"=1'-0"



3 ELEVATION
SCALE: 1"=1'-0"



4 HORIZONTAL SECTION
SCALE: 1 1/2"=1'-0"



4 VERTICAL SECTION
SCALE: 1"=1'-0"
PROPOSED PARTITION PANEL DETAILS
SCALE: 1"=1'-0"

Janice Spalding
ARCHITECT
10185 COLLINS AVENUE BAL HARBOUR, FL 33154
PH: 305-274-2428
WWW.JANICESPALDING.COM
LICENSE NO. 12023

IN THE CITY OF MIAMI, FLORIDA, I HEREBY CERTIFY THAT I AM THE ARCHITECT OF RECORD FOR THE PROJECT AND THAT I AM A LICENSED ARCHITECT IN THE STATE OF FLORIDA.

THE PLAZA OF BAL HARBOUR
EXTERIOR RENOVATION
10185 COLLINS AVENUE BAL HARBOUR, FL 33154

ADD SUBMITTAL
04/26/2024



PARTITION PANELS

A-22

ARB-23-06-001

BAL HARBOUR

- VILLAGE -

The undersigned Agent/Owner request(s) Architectural Review Board review of the following application(s):

New Building

Alteration/ Additions

Revision

Property Information

Street Address of the Subject Property: 10185 Collins Ave. Bal Harbour FL 33154

Property/Project Name: The Plaza of Bal Harbour Condo

Legal description: Lot(s) Ocean front sec of Bay Harbour sub PB 44-27 Lot 13 & port lying east & adjacent west of erosion line per pb105-62 Lot size 122000 sq ft m/l

Block(s) _____ Section(s) _____

Folio No. 12-2226-029-0001

Owner(s): THE ASSOCIATION FOR THE PLAZA OF BAL HARBOUR CONDOMINIUM, INC.

Mailing Address: 10185 Collins Ave, Bal Harbour, FL 33154

Telephone: (305) 865-0535 Fax _____

Other _____ Email manager @ plazaofbalharbour.com

Architect(s)/Engineer(s): Ann Jackaway Architecture Inc

Architect(s)/Engineer(s) Mailing Address: 2630 SW 28th St Miami FL 33133

Telephone: Business 305-858-0990 Fax _____

Other _____ Email ajackaway @ icloud.com

Project Information

Project Description(s): Replacement of doors, windows, balcony railings & restoration of structural concrete required for 50 year certification

Estimated project cost*: 18M

(*Estimated cost shall be +/- 10% of actual cost)

Date(s) of Previous Submittal(s) and Action(s): _____

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Applicant/Owner/Architect/Engineer Affirmation and Consent

(I) (We) acknowledge, affirm, and certify to all of the following:

1. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Plan and Code of Ordinances of Bal Harbour Village unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
2. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
3. Understand that the application, all attachments and fees become a part of the official records of Bal Harbour Village and are not returnable.
4. All application representatives have registered with and completed lobbyist forms for the Bal Harbour Village City Clerk's office.
5. Understand that under Florida Law, all the information submitted as part of the application are public records.
6. Failure to provide the information required for submittal/necessary for review by the Architectural Review Board may cause the application to be deferred without review.
7. That applications for Architectural Review Board review require the presence of the applicant and/or architect/engineer at the meeting unless otherwise notified.
8. All fees shall be paid at the time of submittal.
9. I have received consent from the owner of the property to file this application.

NOTE: ONLY ONE SIGNATURE OR AFFIRMATION/CONSENT IS REQUIRED

Owner Printed Name: <i>Douglas Lazzaro - President</i>		Owner Signature: 	
Address: <i>10185 Collins Ave, Bal Harbour, FL 33154</i>			
Telephone: <i>(305) 865-0535</i>	Fax:	Email: <i>manager@plazaofbalharbour.com</i>	
ARCHITECT'S/ENGINEER'S SEAL	Architect(s)/Engineer(s) Print Name:		Architect(s)/Engineer(s) Signature:
	Address:		
	Telephone:	Fax:	
	Email:		

NOTARIZATION

STATE OF FLORIDA
COUNTY OF MIAMI-DADE

Sworn to or affirm and subscribed before me this 25 day of MAY, in the year 20 23
by Douglas Lazzaro who has taken an oath and is personally known to me or has produced _____ as identification.

My Commission Expires: 1/12/27


Notary Public



ANGELA JARAMILLO
Notary Public
State of Florida
Comm# HH349669
Expires 1/12/2027

Submittal Requirements Major Applications, New Structure, Additions, Remodel

NOTE: The Architectural Review Board Application submittal deadline is 12:00 noon one month prior to the meeting.

The information provided herein must be true and correct, and the application must be submitted with all of the documents necessary for review by the Board. Failure to provide the information necessary for review by the Board may cause the application to be deferred without review.

- Nine copies 11" x 17" of the following; signed and sealed: Architectural drawings which include at a minimum, site plan (with existing & new trees identified), floor plan and elevation drawings. Partial drawings will not be accepted. A complete title block on each page which includes the name of the property owner, the job location or address, the name, address and phone number of the designing architect, pages numbers, and type of construction.
- Signed and sealed survey of the property, which is less than one (1) year old, accurately reflecting the existing conditions of the property, including: all improvements, site elevations, square footage, structures, sidewalks, crown of road, and existing trees with three inch or greater caliper trunks within the property and adjacent right-of-way or a statement by the land surveyor that there are no trees on the property. Properties abutting a waterway or bay must show mangroves, or there are no trees on the property.
- Tree disposition plan, which includes a tree protection plan for all specimen trees on the site and in the public right of way
- 4" x 6" colored photographs (NO black & white photos) of the building site, any existing structures, and the neighboring structures which show the character of the surrounding neighborhood. (Mounted or printed on plan sheets)
- Minimum of one (1) color rendering of street and bayside (where applicable) elevations.
- Written statement explaining the architectural style of the proposed building or alteration.
- Architectural Review Board fee(s). Posting, resubmittal, and late fees may apply where applicable. All fees must be paid at the time of submittal to secure placement for the meeting's docket (agenda).
- A disc containing all the application information, including all drawings in a power point format.
- If you are governed under Homeowners or Condominium Association Covenants, you must receive those approvals prior to submittal.

Minor Applications Requirement Checklist

- Antennas**
 - Nine (9) 11" x 17", complete sets of the site plan and detail drawings including building elevation drawings showing the location and size of the antenna and whether it is visible from public view. (a survey cannot serve as the site plan).
 - Nine (9) 11" x 17" copies of installation details
 - Survey (see submittal requirements on pages 4 and 5)
 - Nine (9) sets 4" x 6" colored photographs (NO black & white photos), mounted or printed on 11" x 17" sheets.
- Awnings/Canopies – New/Re-cover**
 - Nine (9) 11" x 17" complete sets of elevation drawings (1/4" = 1' scale) for each side of the building upon which the awning/canopy will be visible.
 - Nine (9) 11" x 17" complete sets of the site plans showing the location and setback of awnings/canopies (a survey cannot serve as the site plan).
 - Nine (9) sets of photographs showing where the awning or canopy will be located and mounted; 4" x 6" colored photographs (NO black & white photos). Must be mounted/printed on 11" x 17" sheets.
 - Survey (see submittal requirements on pages 4 and 5)
 - Sample of material and color of the awning/canopy

- If the awning/canopy is to be re-covered, a copy of the previously approved permit showing style and color will be required (copy may be obtained from the Building Department).
- Include in application the number of awnings or canopies installed or re-covered.

- Decks (Pool/Slab/Wooden)**
 - Nine (9) sets of 11" x 17" site plans and 11" x 17" floor plans (1/4" = 1' scale) accurately showing the proposed work (a survey cannot serve as the site plan).
 - Indicate the disposition of existing trees (see pages 4 and 5)
 - Survey (see submittal requirements on pages 4 and 5)

- Demolition/removal of exterior features, landscaping, or accessory/auxiliary structures, without replacement construction**
 - Nine (9) sets of 11" x 17" site plans and (full size) floor plans (1/4" = 1' scale) accurately showing the proposed work (a survey cannot serve as the site plan).
 - Survey (see submittal requirements on pages 4 and 5)
 - 4" x 6" colored photographs (NO black & white photos), mounted/printed on 11" x 17" sheets.
 - Additional information may be required dependent on the scope of work.

- Docks/Moorings/Wharves**
 - Nine (9) sets of plans that include the site plan showing the location of the proposed dock/mooring/wharves and existing mangroves. Plans must show dimensions across waterway and must have preliminary approval from Miami-Dade County Department of Environmental Resources Management.
 - 4" x 6" colored photographs (NO black & white photos), mounted/printed on 11" x 17" sheets.
 - Survey (see submittal requirements on pages 4 and

Doors/Skylights/Windows

- Nine (9) sets of drawings including full floor plan, elevation drawings (1/8" = 1' scale), and details (3/4" = 1' scale). Provide quantity of doors/skylights/windows, color of frames and glass and/or mullions. (a survey cannot serve as the site plan).
- For commercial or multi-unit residential projects, nine (9) copies of building plans, elevation drawings.
- Two (2) copies of condominium letter authorization, if applicable.
- 4" x 6" colored photographs (NO black & white photos), mounted/printed on 11" x 17" sheets.

Driveways/Pavers/Tiling/Walkways – New, Change of Material or Shape

- Sample of proposed material (i.e. pavers, tiles, etc.)
- Nine (9) complete sets of plans 11" x 17" (minimum 1/8" = 1' scale) and cross sections showing construction details or specification appropriate to the type of driveway/pavers/tiles/walkways. Asphalt driveway plans can be 1" = 20' scale with details in 3/4" = 1' scale. (a survey cannot serve as the site plan).
- Survey (see submittal requirements on pages 4 and 5)
- Indicate the disposition of existing trees (see pages 4 and 5)
- Show proposed color, material and pattern. Provide manufacturer's specifications, as applicable.
- Indicate compliance with visibility triangle on the site plan.
- Provide cross section(s) showing the driveways/paver/tile/walkway construction details or specifications as appropriate to the type of proposed driveways/pavers/tiles/walkways.
- Show coordination of driveway, driveway approach, and existing trees on right-of-way.
- Properties on more than one (1) lot are required to submit a Unity of Title.
- 4" x 6" colored photographs (NO black & white photos), mounted/printed on 11" x 17" sheets.

Exterior (CBS) Wall/Fence

- Nine (9) complete sets of plans, including site plans, elevation drawings (1/4" = 1' scale), details. Include linear footage and height of wall. (a survey cannot serve as the site plan).
- Nine (9) copies of the installation drawings and details for the wall
- Properties on more than one (1) lot are required to submit a Unity of Title.
- 4" x 6" colored photographs (NO black & white photos), mounted/printed on 11" x 17" sheets.
- Survey (see submittal requirements on pages 4 and 5)

Fence (Aluminum/Concrete Block/Non Chain Link)

- Nine (9) complete sets of plans 11" x 17" including site plans, elevation drawings (1/8" = 1' scale), details (3/8" = 1' scale) and location of the fences, gates, pillars, etc. Elevation drawings should also include building elevations in the background indicating all finishes. (a survey cannot serve as the site plan).
- Application must provide site elevations including the established grade and actual grade.
- Properties on more than one (1) lot are required to submit a Unity of Title.
- 4" x 6" colored photographs (NO black & white photos), mounted/ printed on 11" x 17" sheets.
- Survey (see submittal requirements on pages 4 and 5)

Landscaping

- Nine (9) sets of 11" x 17" landscaping plans and elevations, including plant list detailing the types of plants and/or trees, their size at planting, amount of plants and/or trees, and/or square footage of planting areas. Indicate the disposition of existing trees
- 4" x 6" colored photographs (NO black & white photos), mounted/ printed on 11" x 17" sheets.
- Survey (see submittal requirements on pages 4 and 5)

Painting (Commercial or Residential)

- Completed signed and notarized Building Permit Application
- Applications must include the manufacturer's reference code (e.g. Benjamin Moore, Sherwin Williams, etc.), color description and color number.
- Photographs of entire building and applicable details; 4" x 6" colored photographs (NO black & white photos), mounted/ printed on 11" x 17" sheets.
- Full elevation drawings indicating specific color selections (may be required)
- Sample paint color card of selected colors may be required. For larger projects, an actual sample application on the building may be required (survey not required).

Railings/Ironwork

- Nine (9) sets of 11" x 17" site plans and elevation drawings (1/4" = 1' scale), installation drawings and details for railings (linear footage, height, color and type of railing). (a survey cannot serve as the site plan).
- 4" x 6" colored photographs (NO black & white photos), mounted/ printed on 11" x 17" sheets.
- Survey (see submittal requirements on pages 4 and 5)

Roofs (New or Re-roof)

- Photographs must show existing roof tile; proposed area of work, and the entire front of the structure. 4" x 6" colored photographs (NO black & white photos), mounted/ printed on 11" x 17" sheets.
- Sample of roof tile or material to be installed.
- Nine (9) copies of the Roof Plan indicating slopes

Signs (all signs require council approval)

- Two (2) complete sets of plans including the following: complete building elevation drawings with signs (1/2" = 1' scale); site plan showing location of signs; detail drawings including anchor patterns, all parts and fasteners, color, dimensions, and style of letters. Include mounting details and electrical drawings, if applicable. Provide drawings and calculations for signs on buildings over three (3) stories in height, for freestanding signs, blade signs, etc. by an engineer. Include all existing signage. (a survey cannot serve as the site plan).
- Completed signed and notarized Building Permit Application.
- Eight (8) set of 4" x 6" colored photographs (NO black & white photos). Submitted photos must show the entire building and the location of the proposed signage, mounted/ printed on 11" x 17" sheets.
- Eight (8) copies of photos with the sign superimposed
- Survey; if the sign is not painted directly on the building



OFFICE OF THE PROPERTY APPRAISER

Detailed Report

Generated On: 06/26/2024

PROPERTY INFORMATION	
Folio	12-2226-029-0001 (Reference)
Property Address	10185 COLLINS AVE BAL HARBOUR, FL 33154-0000
Owner	REFERENCE ONLY
Mailing Address	
Primary Zone	5000 HOTELS & MOTELS - GENERAL
Primary Land Use	0000 REFERENCE FOLIO
Beds / Baths /Half	0 / 0 / 0
Floors	0
Living Units	0
Actual Area	0 Sq.Ft
Living Area	0 Sq.Ft
Adjusted Area	0 Sq.Ft
Lot Size	0 Sq.Ft
Year Built	0



ASSESSMENT INFORMATION				
Year	2024	2023	2022	
Land Value	\$0	\$0	\$0	
Building Value	\$0	\$0	\$0	
Extra Feature Value	\$0	\$0	\$0	
Market Value	\$0	\$0	\$0	
Assessed Value	\$0	\$0	\$0	

BENEFITS INFORMATION				
Benefit	Type	2024	2023	2022
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).				

TAXABLE VALUE INFORMATION			
Year	2024	2023	2022
COUNTY			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$0	\$0	\$0
SCHOOL BOARD			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$0	\$0	\$0
CITY			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$0	\$0	\$0
REGIONAL			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$0	\$0	\$0

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>



OFFICE OF THE PROPERTY APPRAISER

Generated On: 06/26/2024

Property Information

Folio: 12-2226-029-0001

Property Address: 10185 COLLINS AVE

Roll Year **2024** Land, Building and Extra-Feature Details

LAND INFORMATION					
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value

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OFFICE OF THE PROPERTY APPRAISER

Generated On: 06/26/2024

Property Information

Folio: 12-2226-029-0001

Property Address: 10185 COLLINS AVE

Roll Year **2023** Land, Building and Extra-Feature Details

LAND INFORMATION					
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value

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OFFICE OF THE PROPERTY APPRAISER

Generated On: 06/26/2024

Property Information

Folio: 12-2226-029-0001

Property Address: 10185 COLLINS AVE

Roll Year **2022** Land, Building and Extra-Feature Details

LAND INFORMATION					
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value

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OFFICE OF THE PROPERTY APPRAISER

Generated On: 06/26/2024

Property Information

Folio: 12-2226-029-0001

Property Address: 10185 COLLINS AVE

FULL LEGAL DESCRIPTION

THE PLAZA OF BAL HARBOUR CONDO
DESC OCEAN FRONT SEC OF BAY
HARBOR RE SUB PB 44-27 LOT 13
& PORT LYING EAST & ADJACENT
WEST OF EROSION LINE PER
PB 105-62
LOT SIZE 122000 SQ FT M/L

SALES INFORMATION

Previous Sale	Price	OR Book-Page	Qualification Description
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