

BAL HARBOUR

- VILLAGE -

Reinaldo Borges, Chair
Elizabeth Camargo, Board Member
Jose L. Gomez, Board Member
Nathan VanDeman, Board Member
David Koplowitz, Board Member

Village Manager Jorge M. Gonzalez
Village Clerk Dwight S. Danie
Building Director Eliezer Palacio
Village Attorneys Weiss Serota
Helfman Cole & Bierman, PA

ARCHITECTURAL REVIEW BOARD

REGULAR MEETING AGENDA

NOVEMBER 7, 2024

AT 1:00 P.M.

Bal Harbour Village Hall • 655 - 96th Street • Bal Harbour • Florida 33154

This meeting will be conducted in-person. The meeting will also be broadcast on the Village's website (www.balharbourfl.gov) and members of the public are encouraged to participate by calling 305-865-6449 by emailing meetings@balharbourfl.gov before and during the meeting.

1 CALL TO ORDER / ROLL CALL

2 PLEDGE OF ALLEGIANCE

3 APPROVAL OF MINUTES

3.1 September 5, 2024 ARB Minutes
[Architectural Review Board Minutes September5_2024_Short.pdf](#)

4 ARB-HEARINGS - *Please be advised that the following item on the agenda is quasi-judicial in nature. If you wish to comment upon an item, please inform the Chairman when he asks for public input on the item. An opportunity for persons to speak will be made available after the applicant and staff has made their presentations on each item. All testimony, including public testimony and evidence, will be made under oath or affirmation. Additionally, each person who gives testimony may be subject to cross-examination. If you refuse either to be cross-examined or to be sworn, your testimony will be given its due weight. The general public will not be permitted to cross-examine witnesses, but the public may request the Architectural Review Board to ask questions of staff or witnesses on their behalf. Persons representing organizations must present evidence of their authority to speak for their organization. Further details of the quasi-judicial procedures may be obtained from the Clerk.*

(Disclosure of Ex-Parte Communications)

(Swearing-In by Village Clerk)

- 4.1** ARB-2024-0004
10295 Collins Avenue, Bal Harbour FL, 33154
Architect(s): Cesar I. Castillo, P.E.
Owners: One Bal Harbour Corp.
Manufacture/Installation Cabanas.
[1. 10295_Collins_Ave_ARB_MEMO-11-7-2024 SLT.docx](#)
[2- ARB2024-0004 - 10295 COLLINS AVE - POWERPOINT \(CL\).pdf](#)
[3- 10295 COLLINS AVE - ARB2024-0004 - APPLICATION.pdf](#)
[4- 10295 COLLINS AVE - ARB2024-0004 - NARRATIVE Scanned.pdf](#)
[5- 10295 COLLINS AVE - ARB2024-0004 - PROPERTY APPRAISER PRINTOUT.pdf](#)

- 4.2** ARB-2024-0013
276 Bal Cross Drive, Bal Harbour FL, 33154
Architect(s): Jose Gonzalez
Owners: Jorge & Frieda Woldenberg.
Exterior Renovations
[1. 276 Bal Cross Dr -11-7-2024-ARB MEMO .docx](#)
[2- ARB2024-0013 - 276 BAL CROSS DR - POWERPOINT \(CL\).pdf](#)
[3- ARB2024-0013 - 276 BAL CROSS DR - APPLICATION.pdf](#)
[4- ARB2024-0013 - 276 BAL CROSS DR - NARRATIVE.pdf](#)
[5- ARB2024-0013 - 276 BAL CROSS DR - PROPERTY APPRAISER.pdf](#)

- 4.3** ARB-2024-0017
42 Camden Drive, Bal Harbour FL, 33154
Architect(s): AD Architecture – Oscar Cabeza
Owners: 42 Camden Delaware, LLC.
Construction of New Single-Family Home
[1. 42 Camden Dr 11-7-2024 -ARB MEMO .docx](#)
[2- ARB2024-0017 - 42 CAMDEN DR - POWERPOINT \(CL\).pdf](#)
[3- ARB2024-0017 - 42 CAMDEN DR - APPLICATION.pdf](#)
[4- ARB2024-0017 - 42 CAMDEN DR - NARRATIVE.pdf](#)
[5- ARB2024-0017 - 42 CAMDEN DR - PROPERTY APPRAISER.pdf](#)

5 OTHER BUSINESS

6 PUBLIC COMMENT

7 ADJOURNMENT

One or more members of any Village Committee/Board may attend this meeting of the Council and may discuss matters which may later come before their respective Boards/Committees. The New Business and Council Discussion Section includes a section for Public Comment. On public comment matters, any person is entitled to be heard by this Council on any matter; however, no action shall be taken by the Council on a matter of public comment, unless the item is specifically listed on the agenda, or is added to the agenda by Council action. Any person who acts as a lobbyist, pursuant to Village Code Section 2-301 (Lobbyists), must register with the Village Clerk, prior to engaging in lobbying activities before Village staff, boards, committees, and/or the Village Council. A copy of the Ordinance is available in the Village Clerk's Office at Village Hall.

If a person decides to appeal any decision made by the Village Council with respect to any matter considered at a meeting or hearing, that person will need a record of the proceedings and, for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (F.S. 286.0105).

In accordance with the Americans with Disabilities Act of 1990, all persons who are disabled and who need special accommodations to participate in this proceeding because of that disability should contact the Village Clerk's Office (305-866-

4633), not later than two business days prior to such proceeding. All Village Council meeting attendees, including Village staff and consultants, are subject to security screening utilizing a metal detector and/or wand, prior to entering the Council Chamber, Conference Room, or other meeting area located within Village Hall. This is for the safety of everyone. Thanks for your cooperation.

BAL HARBOUR

- VILLAGE -

Reinaldo Borges, Chair
Elizabeth Camargo, Board Member
Jose L. Gomez, Board Member
Nathan VanDeman, Board Member
David Koplowitz, Board Member

Village Manager Jorge M. Gonzalez
Village Clerk Dwight S. Danie
Building Director Eliezer Palacio
Village Attorneys Weiss Serota
Helfman Cole & Bierman, PA

ARCHITECTURAL REVIEW BOARD

REGULAR MEETING MINUTES

SEPTEMBER 5, 2024

AT 1:00 P.M.

Bal Harbour Village Hall • 655 - 96th Street • Bal Harbour • Florida 33154

This meeting was conducted in-person. The meeting was also broadcast on the Village's website (www.balharbourfl.gov) and members of the public were encouraged to participate by calling 305-865-6449 by emailing meetings@balharbourfl.gov before and during the meeting.

- 1 CALL TO ORDER / ROLL CALL-** The meeting was called to order at 1:09 PM. Elizabeth Camargo was select to chair the meeting.

The following Board Members were present:

Elizabeth Camargo-Acting Chair
David Koplowitz
Jose Gomez

The following Board Members were not present:

Reinaldo Borges, Chair
Nathan VanDeman

The following were also present:

Eliezer Palacio, Building Director
Dwight Danie, Village Clerk
Susan Trevarthen, Village Attorney

- 2 PLEDGE OF ALLEGIANCE-** The Pledge of Allegiance was led by Acting Chair Elizabeth Camargo.

- 3 APPROVAL OF MINUTES**

- 3.1** July 11, 2024 ARB Minutes

MOTION: A Motion to approve the minutes was moved by Acting Chair Elizabeth Camargo and seconded by David Koplowitz.

VOTE: The Motion passed by unanimous voice vote (3-0).

4 ARB-HEARINGS

Ms. Trevarthen read the quasi-judicial procedures statement. She then asked the board members to disclose ex parte communications, to which board members responded that they had none to disclose. The Village Clerk swore in all those who would be providing testimony. Mr. Gomez announced that he was currently doing some work with the Ritz Carlton Hotel, unrelated to the Residences at One Bal Harbour Condominiums.

4.1 ARB-2024-0008 RARB-2024-0019

10155 Collins Avenue, Bal Harbour FL, 33154

Architect(s): Dustin Mizell

Owners: Bal Harbour Condominium Association, INC

Modifications to South Wall.

Mr. Palacio introduced the item saying that he had received written confirmation the applicant had agreed with the Village's eight conditions and that the project was in compliance with the Village's Appearance Code and Zoning ordinances. He said the plans had been reviewed and approved by both the Planning and Zoning Consultant and the Parks and Public Spaces Department.

Dustin Mizell, Environment Design Group, provided a detailed presentation on revisions to the south wall of the project. He said the included breaking up the flat wood applique and incorporating a more architecturally dynamic wood design with horizontal details. He said the faux green wall was also minimized, and a new wave system was proposed to replace a concrete wall for added visual interest..

There was a general consensus from the Board that the design changes were an improvement and that the faux wall should be monitored for potential fading and the wave system should be monitored for durability.

There were no comments from the public.

MOTION: A Motion to approve the project as presented with the conditions proposed by the Building Official was moved by Elizabeth Camargo and seconded by Nathan VanDeman.

The Building Official's conditions are as follows.

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences and landscape plantings.
4. A construction contract and/or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
5. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
6. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
7. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
8. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

VOTE: The Motion passed by unanimous voice vote (3-0).

4.2 ARB-2024-0015

10295 Collins Avenue, Bal Harbour FL, 33154

Architect(s): NMD Nomadas

Owners: The Residences at One Bal Harbour Condo Assoc., Inc.

Storefront adjustment and gymnasium enlargement

Mr. Palacio introduced the item saying that he had received written confirmation the applicant had agreed with the Village's eight conditions and that the project was in compliance with the Village's Appearance Code and Zoning ordinances. He said the plans had been reviewed and approved by both the Planning and Zoning Consultant and the Parks and Public Spaces Department.

Farid Chacon and Carmen Griborio, MD Nomadas, introduced their project team and outlined the renovations planned for the public area of the building. They detailed the expansion of the gym to 200 square feet and the exchange of certain storefront elements, including doors and panels, and new glass panel installations to match the existing structures. They added that that no doors would be eliminated; instead, existing doors would be exchanged.

There were no public comments presented during the meeting.

MOTION: A Motion to approve the project as presented with the conditions proposed by the Building Official was moved by Elizabeth Camargo and seconded by Nathan VanDeman.

The Building Official's conditions are as follows.

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences and landscape plantings.
4. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
5. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
6. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
7. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
8. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

VOTE: The Motion passed by unanimous voice vote (3-0).

5 OTHER BUSINESS

6 PUBLIC COMMENT

7 ADJOURNMENT The meeting was adjourned at 1:33 PM.

Reinaldo Borges, Chair



Attest:


Dwight S. Danie, Village Clerk

BAL HARBOUR

- V I L L A G E -

ARCHITECTURAL REVIEW BOARD MEMORANDUM

TO: Architectural Review Board Members

FROM: Eliezer Palacio, Building Director 

DATE: November 7, 2024

SUBJECT: 10295 Collins Avenue (One Bal Harbour Condominium)
Construct six (6) new outdoor cabanas on Oceanside

BACKGROUND

The Village of Bal Harbour (the “Village”) received an Architectural Review Board (ARB) application on January 17, 2024, for the Proposed construction of six (6) new cabanas on the oceanfront of an existing multifamily condominium located at 10295 Collins Avenue (“the Property”).

The Property, Residences at One Bal Harbour Condo is located in the Ocean Front zoning district of the Bal Harbour Village.

THE PROJECT (AE Description)

This letter is to advise you that it is the owner’s intention to construct six new outdoor cabanas on an area of 10275 Collins Avenue being licensed to the adjacent property. Each cabana is approximately 10’ X 10’ with the total area of the new cabanas being approximately 600 SF. These cabanas will replace cabanas that were previously demolished.

RECOMMENDATION

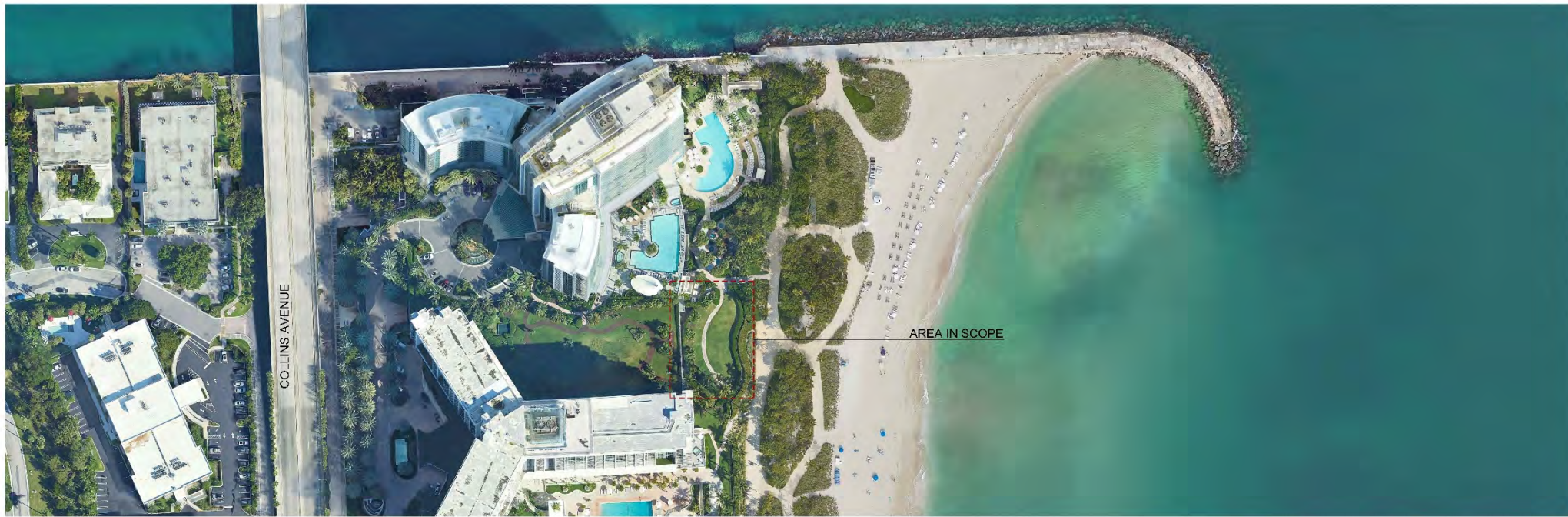
It is the opinion of this writer that the Proposed modification to follows the Village’s Appearance Code and Zoning Ordinance. The Village Planning and Zoning Consultant and the Park’s and Public Spaces Department has reviewed the plans and concur that the plans comply.

I recommend that the Board review the submittal for compliance and if they concur with my recommendation, issue a Certificate of Appropriateness.

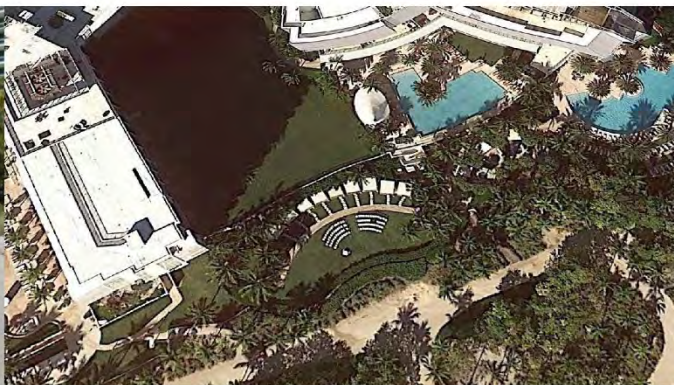
If approved, the following conditions should be added to the motion:

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences and landscape plantings.
3. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
4. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
5. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.

6. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.



RECORDED IMAGE
GOOGLE EARTH 2013



RECORDED IMAGE
GOOGLE EARTH 2014

RITZ CARLTON BAL HARBOUR
10255 COLLINS AVE
BAL HARBOUR, FL 33154



DWG. TITLE	LOCATION MAP
SCALE	1" = 75'
PROJECT NO.	2024-23
DATE	09-23-24
SHEET NUMBER	A-001



RITZ CARLTON BAL HARBOUR
 10286 COLLINS AVE
 BAL HARBOUR, FL 33154



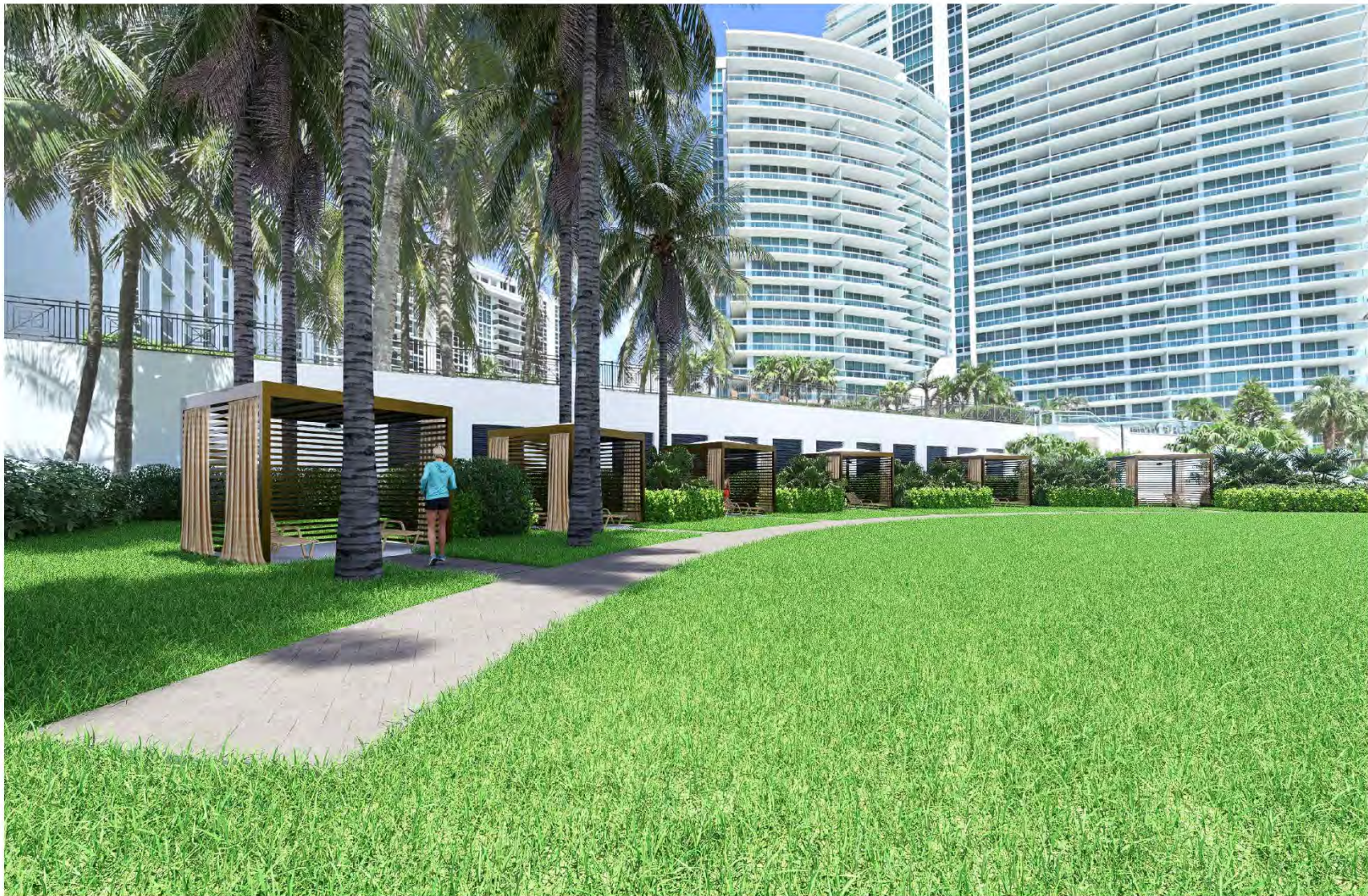
DWG. TITLE	RENDERING
SCALE	1/4" = 1'-0"
PROJECT NO.	2024-23
DATE	08-29-24
SHEET NUMBER	R-001



RITZ CARLTON BAL HARBOUR
 10295 COLLINS AVE
 BAL HARBOUR, FL 33154



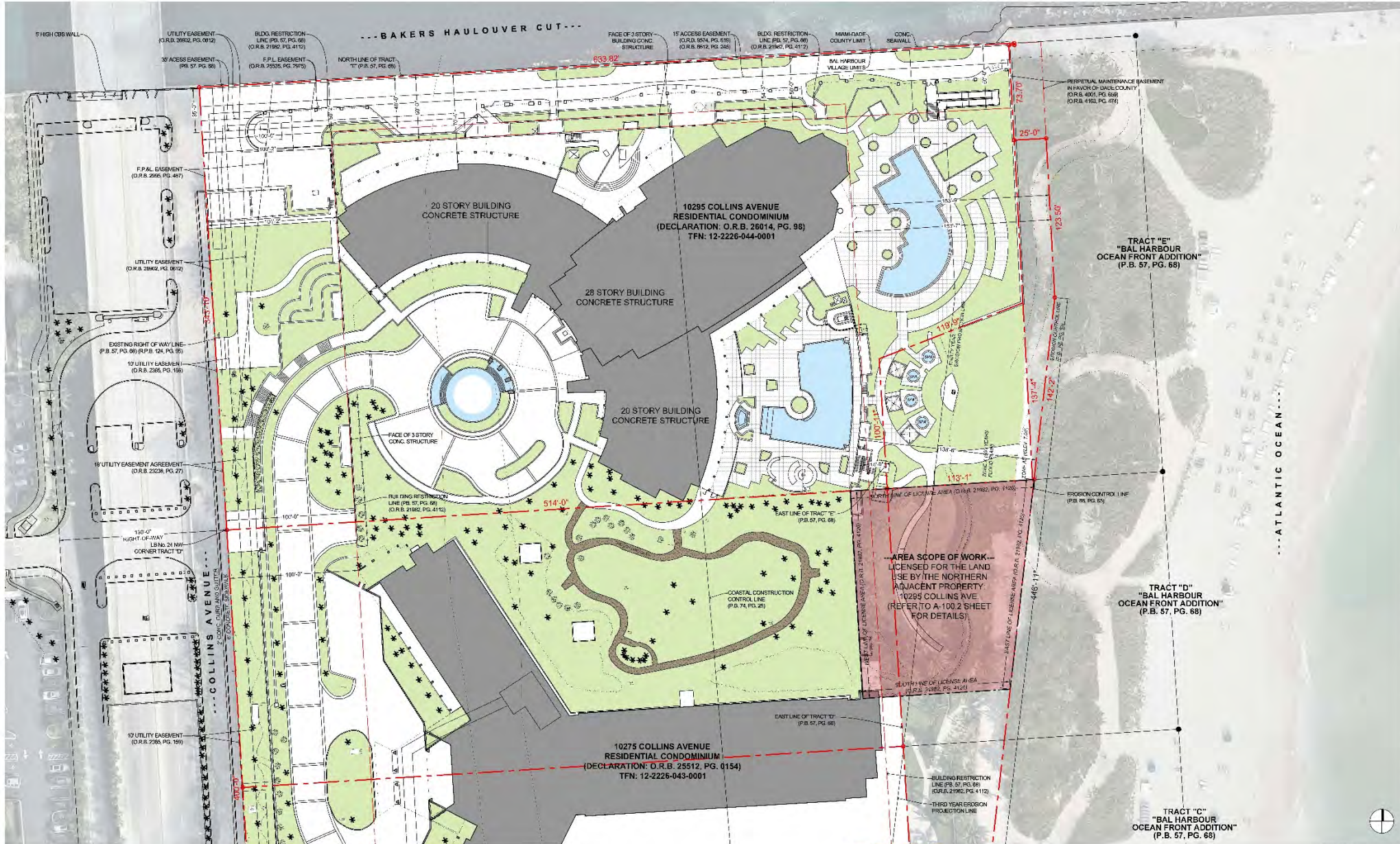
DWG. TITLE	RENDERING
SCALE	1/4" = 1'-0"
PROJECT NO.	2024-23
DATE	09-23-24
SHEET NUMBER	R-002



RITZ CARLTON BAL HARBOUR
 10295 COLLINS AVE
 BAL HARBOUR, FL 33154



DWG. TITLE	RENDERING
SCALE	1/4" = 1'-0"
PROJECT NO.	2024-23
DATE	09-23-24
SHEET NUMBER	R-003



...BAKERS HAULOVER CUT...

10295 COLLINS AVENUE
RESIDENTIAL CONDOMINIUM
(DECLARATION: O.R.B. 26014, PG. 98)
TFN: 12-2226-044-0001

28 STORY BUILDING
CONCRETE STRUCTURE

20 STORY BUILDING
CONCRETE STRUCTURE

20 STORY BUILDING
CONCRETE STRUCTURE

10275 COLLINS AVENUE
RESIDENTIAL CONDOMINIUM
(DECLARATION: O.R.B. 25512, PG. 0154)
TFN: 12-2226-043-0001

TRACT "E"
"BAL HARBOUR
OCEAN FRONT ADDITION"
(P.B. 57, PG. 66)

TRACT "D"
"BAL HARBOUR
OCEAN FRONT ADDITION"
(P.B. 57, PG. 68)

TRACT "C"
"BAL HARBOUR
OCEAN FRONT ADDITION"
(P.B. 57, PG. 68)

AREA SCOPE OF WORK
LICENSED FOR THE LAND
USE BY THE NORTHERN
ADJACENT PROPERTY:
10295 COLLINS AVE
(REFER TO A-100.2 SHEET
FOR DETAILS)

RITZ CARLTON BAL HARBOUR
10295 COLLINS AVE
BAL HARBOUR, FL 33154



DATE	12/16/23	SHEET NUMBER	A-100.1
SCALE	1/8" = 1'-0"		
DATE	2024.23		
PROJECT NO.			
TITLE	SITE PLAN		



RITZ CARLTON BAL HARBOUR

10295 COLLINS AVE
BAL HARBOUR, FL 33154



DWGS TITLE	ENLARGED EXISTING SITE PLAN
SCALE	3/32" = 1'-0"
PROJECT NO.	2024-23
DATE	09-23-24
SHEET NUMBER	EXIST-100



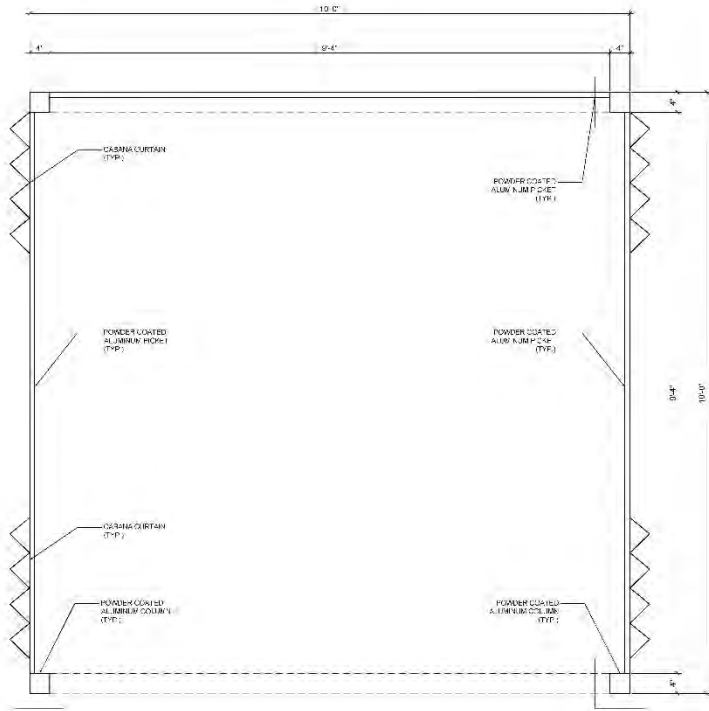
LOT LICENSE AREA	20,744 S.F. (100%)
PERMEABLE AREA	18,886 S.F. (91.05%)
IMPERMEABLE AREA	1,858 S.F. (8.95%)

LEGEND
 --- BOUNDARY OF LICENSE AREA

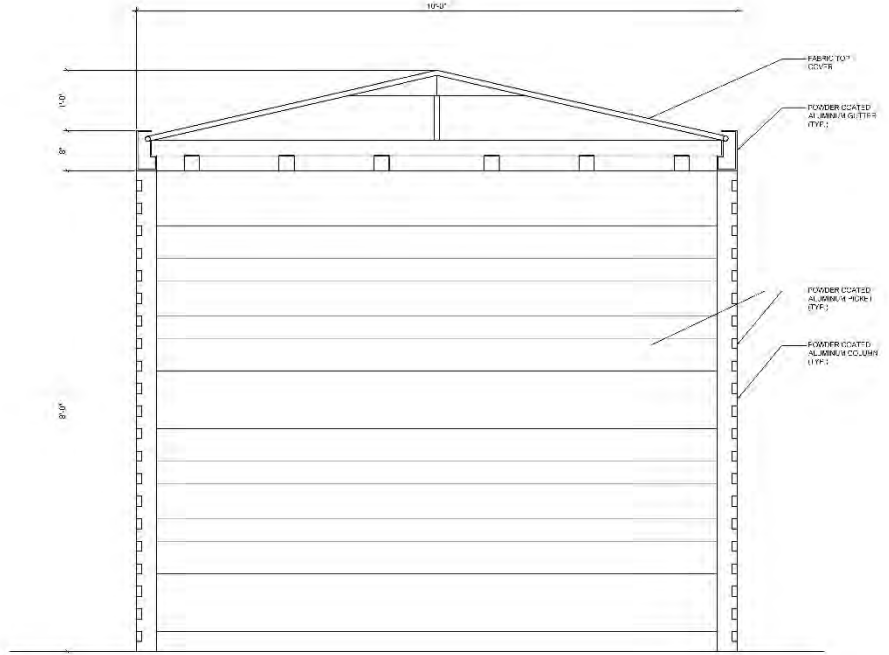
RITZ CARLTON BAL HARBOUR
 10295 SOUTH FLAMING AVENUE
 BAL HARBOUR, FL 33154



DWG. TITLE	ENLARGED PROPOSED SITE PLAN
SCALE	3/32" = 1'-0"
PROJECT NO.	2024-23
DATE	08/23/24
SHEET NUMBER	A-100.2



01 CABANA FLOOR PLAN
SCALE: 1/4"=1'-0"



02 CABANA ELEVATION
SCALE: 1/4"=1'-0"



GENERAL NOTES:
CANVAS MUST BE REMOVED
WHEN HURRICANE WARNING IS ISSUED
ALL FABRIC TO MEET NFPA-701 FIRE CODE

RITZ CARLTON BAL HARBOUR
10266 COLLINS AVE
BAL HARBOUR, FL 33414



DWG. TITLE	FLOOR PLAN
SCALE	AS SHOWN
PROJECT NO.	2024-23
DATE	09-28-24
SHEET NUMBER	A-101

BAL HARBOUR

- VILLAGE -

The undersigned Agent/Owner request(s) Architectural Review Board review of the following application(s):

New Building (\$2,500.00) Alteration/ Additions (\$1,000.00) Revision (\$250.00)

PROJECT INFORMATION

Street Address of the Subject Property: 10295 Collins Avenue

Property/Project Name: The Ritz Carlton Bal Harbour Project

Legal description: Lot(s) 24 52 42 PB 57-68 lot size irregular

Block(s) _____ Section(s) BOL Harbour Ocean Front Add

Folio No. 12-2226-005-0030

Owner(s): One Bal Harbour Corp.

Mailing Address: 10295 Collins Ave. Bal Harbour, FL 33154

Telephone: 305-455-5400 Fax -

Other - Email Chantal.Melean@ritzcarlton.com

Architect(s)/Engineer(s): Cesar I. Castillo P.E.

Architect(s)/Engineer(s) Mailing Address: 14021 S.W 143rd Court - Bay 1

Telephone: Business 305-233-9442 Fax -

Other - Email cajutpe@gmail.com

PROJECT INFORMATION

Project Description(s): Manufacture and installation of (7) Cabanas measuring approx. 9'-8" W x 9'-8" P

Estimated project cost*: \$136,933.75

(*Estimated cost shall be +/- 10% of actual cost)

Date(s) of Previous Submittal(s) and Action(s): _____

NOTE: ONLY ONE SIGNATURE OR AFFIRMATION/CONSENT IS REQUIRED

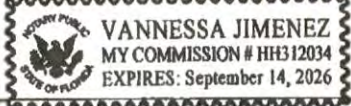
Owner Printed Name: * LK Hotel LLC		
Owner Signature: * <i>Javier Granda, manager</i>		
Address: 10285 COLLINS AVE. BAL Harbour, FL 33154		
Telephone: 305-455-5400	Fax: -	Email: Chantal.Mclean@ritzcarlton.com
Architect(s)/Engineer(s) Print Name: Cesar I. Castillo P.E.	Architect(s)/Engineer(s) Signature:	
Address: 14021 SW 143 rd COURT - Bay #1		
Miami, FL 33186		
Telephone: 305-253-9442	Fax: -	
Email: Cagutpe@gmail.com		
Architect/Engineer Seal:		

NOTARIZATION

STATE OF FLORIDA
COUNTY OF
MIAMI-DADE

Sworn to or affirm and subscribed before me this 22 day of SEPTEMBER
in the year 2023 by JAVIER GRANDA who has taken an oath and is personally
known to me or has produced _____ as identification.

My Commission Expires: SEPTEMBER 14, 2026



V. Jimenez
Notary Public



October 22, 2024

Bal Harbour Village
655 96th Street
Bal Harbour, FL 33154

Re: Ritz Carlton Bal Harbour
10295 Collins Avenue
Bal Harbour, FL 33154
Process # ARB2024-0004

Sir/Madam:

This letter is to advise you that it is the owner's intention to construct six new outdoor cabanas on an area of 10275 Collins Avenue being licensed to the adjacent property. The total area of the new cabanas will be approximately 564 SF. These cabanas will replace cabanas that were previously demolished.

Your kind consideration would be greatly appreciated. In the meantime, please give us a call if you have any questions.

Respectfully,

A handwritten signature in black ink, consisting of a stylized 'J' and 'G' followed by a vertical line and a dot.

Jose L. Gomez, AIA
Beilinson_Gomez Architects P.A.
Florida Registered Architect, License # AR001546

JLG/mev



Digitally signed
by Jose L Gomez
Date: 2024.10.22
16:20:14 -04'00'



OFFICE OF THE PROPERTY APPRAISER

Detailed Report

Generated On: 10/18/2024

PROPERTY INFORMATION	
Folio	12-2226-044-0001 (Reference)
Property Address	0 , FL
Owner	REFERENCE ONLY
Mailing Address	
Primary Zone	5000 HOTELS & MOTELS - GENERAL
Primary Land Use	0000 REFERENCE FOLIO
Beds / Baths /Half	0 / 0 / 0
Floors	0
Living Units	0
Actual Area	0 Sq.Ft
Living Area	0 Sq.Ft
Adjusted Area	0 Sq.Ft
Lot Size	0 Sq.Ft
Year Built	0



ASSESSMENT INFORMATION			
Year	2024	2023	2022
Land Value	\$0	\$0	\$0
Building Value	\$0	\$0	\$0
Extra Feature Value	\$0	\$0	\$0
Market Value	\$0	\$0	\$0
Assessed Value	\$0	\$0	\$0

BENEFITS INFORMATION				
Benefit	Type	2024	2023	2022
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).				

TAXABLE VALUE INFORMATION			
Year	2024	2023	2022
COUNTY			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$0	\$0	\$0
SCHOOL BOARD			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$0	\$0	\$0
CITY			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$0	\$0	\$0
REGIONAL			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$0	\$0	\$0

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>



OFFICE OF THE PROPERTY APPRAISER

Generated On: 10/18/2024

Property Information

Folio: 12-2226-044-0001

Property Address: 0

Roll Year **2024** Land, Building and Extra-Feature Details

LAND INFORMATION					
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value

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OFFICE OF THE PROPERTY APPRAISER

Generated On: 10/18/2024

Property Information

Folio: 12-2226-044-0001

Property Address: 0

Roll Year **2023** Land, Building and Extra-Feature Details

LAND INFORMATION					
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value

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OFFICE OF THE PROPERTY APPRAISER

Generated On: 10/18/2024

Property Information

Folio: 12-2226-044-0001

Property Address: 0

Roll Year **2022** Land, Building and Extra-Feature Details

LAND INFORMATION					
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value

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OFFICE OF THE PROPERTY APPRAISER

Generated On: 10/18/2024

Property Information

Folio: 12-2226-044-0001

Property Address: 0

FULL LEGAL DESCRIPTION
THE RESIDENCES @ ONE BAL HARBOR CONDO
BAL HARBOUR OCEAN FRONT ADD
PB 57-68 A PORT OF TRACT E
AS DESC INDECL OR 26014-0098
& PORT LYING EAST & ADJANCENT
WEST EROSION LINE PER
PB 105-62
LOT SIZE 216090 SQ FT M/L
FAU 12 2226 005 0030
NAME CHANGE AMDT OR 29342-4379
FKA 10295 COLLINS AVE AT RESIDENTIAL CONDO

SALES INFORMATION			
Previous Sale	Price	OR Book-Page	Qualification Description

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BAL HARBOUR

- V I L L A G E -

ARCHITECTURAL REVIEW BOARD MEMORANDUM

TO: Architectural Review Board Members

FROM: Eliezer Palacio, Building Director

DATE: 11/07/2024

SUBJECT: 276 Bal Cross Dr
Exterior Renovation to Single-Family Residence



BACKGROUND

The Village of Bal Harbour (the “Village”) received an Architectural Review Board (ARB) application on April 25, 2024, for the exterior renovations to include driveway remodel, remove front planters, new roof, pool deck exterior kitchen, trellis and pool remodel to an existing two-story single-family residence located at 276 Bal Cross Drive (the “Property”).

The lot sits on Lot 14, Block 11, and is located in the R-2 single family zoning district of the Bal Harbour Village Residential Section. The lot is 11,797 square feet and the Applicant is proposing renovations and adding an exterior kitchen and trellis to an existing two-story single-family residence with 4083 square feet of conditioned interior space and 4162 unconditioned square feet for an overall total of 8,245 square feet.

The entrance to the residence faces East and the proposed garage entry does not face the street.

This home is located in the AE-8 N.G.V.D. Base Flood Elevation Zone and the Applicant is constructing at or above 9.67’ N.G.V.D. as required by the Florida Building Code (F.B.C.) for AE zones.

THE PROJECT (AE Description)

Included in this submittal is a proposed addition to an existing residence at the above-listed address. The scope of work is listed below:

1.- Driveway:

- Removal of existing pavers and replace them with new pervious pavers including approach.
- Removal of existing planters at front wall entry.

2.- Pool Deck:

- Remove existing pavers and replace them with new pervious pavers.

3.- Pool:

- The current pool will be renovated to have a new square shape.

4.- Outside Kitchen:

- Existing outside kitchen to be updated, replace existing equipment, Counter, sink and BBQ.

5.- Roof:

- Replace the entire roof with tiles of the same style but in a different color.

6.- Trellis:

- New Aluminum Louvered Trellis at the rear of property for shade and enhancement

7.- Entry Door:

- Replace the current front door with a new wooden door.

RECOMMENDATION

It is the opinion of this writer that the proposed new addition to an existing two-story single-family residence follows the Village's Appearance Code and Zoning Ordinance. The Village Planning and Zoning Consultant and the Park's and Public Spaces Department has reviewed the plans and concur that the plans comply.

I recommend that the Board review the submittal for compliance and if they concur with my recommendation, issue a Certificate of Appropriateness.

If approved, the following conditions should be added to the motion:

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences and landscape plantings.
4. Any new hedge must be planted at least 10' from the edge of the curb (existing hedge may remain).
5. Any new trees must be planted at least 10' from the edge of the curb (existing trees/palms may remain).
6. All Electrical, Mechanical and Plumbing equipment are required to be 1.0 foot above B.F.E. (Base Flood Elevation) per F.B.C. & A.S.C.E. 24 and cannot infringe upon the building setbacks.
7. Flood Design Data is required to be in accordance to F.B.C. 2023, Section 1603.1.7. & A.S.C.E. 24.
8. Architect to provide an Elevation Certificate FEMA Form 086-0-33, for proposed construction that complies with F.B.C. 322 & A.S.C.E. 24.
9. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
10. The Project shall comply with Section 21-127, a, b, and c regarding setbacks in the R-2 Zoning District.

11. The Project shall comply with Section 21-125, maximum building height of 30 ft. in the R-2 Zoning District.
12. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
13. If any portion of the landscaping, fence, or any other permitted item will be located within the five-foot easement at the front or side of the property, then prior to the issuance of a required permit or permit revision to the master building permit, the Owner of the Project described herein shall execute "Hold Harmless Agreement" as a condition precedent to permit issuance.
14. If the proposed landscape and hardscape design is in conflict with the Village's stormwater infrastructure system, the Architect and Civil Engineer are required to resolve prior to permit issuance. Any revisions required to the hardscape or landscape shall be bought before the ARB, if applicable, or be administratively approved prior to permit.
15. Perimeter landscaping required by the certificate of appropriateness must be maintained by the property owner in accordance with the standards of the code.
16. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
17. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
18. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

PROPOSED EXTERIOR RENOVATION AT:

276 Bal Cross Dr, Bal Harbour, FL 33154

ZONING AREAS CALCULATIONS (R-2)			
BUILDING DISPOSITION			
DESIGNATION	REQUIRED / ALLOWED	EXISTING (APPROVED)	PROPOSED
TOTAL LOT AREA		11,797 SF (0.270 acres)	
LOT COVERAGE (SEE AREAS BREAKDOWN BELOW THIS TABLE)	BUILDING / STRUCTURE: MAX. 40% (4719 SF)	BUILDING / STRUCTURE: 4083 SF (34.61%)	BUILDING / STRUCTURE: 4083 SF (34.61%)
	OTHER IMPERVIOUS:* MAX. 10% (1180 SF)	OTHER IMPERVIOUS: 3474 SF (29.44%)	OTHER IMPERVIOUS: 1815 SF (15.38%)
	TOTAL IMPERVIOUS: MAX. 50% (5899 SF)	TOTAL IMPERVIOUS: 7557 SF (64.06%)	TOTAL IMPERVIOUS: 5898 SF (50.0%)
		TOTAL PERVIOUS: 4240 SF (35.94%)	TOTAL PERVIOUS: 5899 SF (50.0%)
BUILDING SETBACK			
FRONT	30' MIN.	30' (AS BUILT)	30'
NORTH SIDE	10' MIN. UP TO 18' HGT	10.6' (AS BUILT)	10.6'
SOUTH SIDE	10' MIN. UP TO 18' HGT	10' (AS BUILT)	10'
REAR	15' MIN. UP TO 18' HGT	9.7' (AS BUILT)	9.7'
POOL SETBACK			
REAR	10' MIN.	11.66'	10'
SIDES	10' MIN.	10.77'	10.5'

*IF THE BUILDING / STRUCTURE AREA IS UNDER 40% (4719 SF) THE MAX. AREA CAN BE INCREASED BY THAT DIFFERENCE.

EXISTING AREAS BREAKDOWN:	PROPOSED AREAS BREAKDOWN:
1. BUILDING / STRUCTURE: 4083 SF	1. BUILDING / STRUCTURE: 4083 SF
2. DRIVEWAY: 1425 SF	2. DRIVEWAY(PERVIOUS): 1812 SF (50% CREDIT= 906 SF)
3. WALKWAY: 124 SF	3. POOL: 285 SF
4. POOL AND DECK: 1852 SF	4. POOL DECK(PERVIOUS): 1066 SF (50% CREDIT= 527 SF)
5. EQUIPMENT SLABS: 73 SF	5. EQUIPMENT SLABS: 91 SF
	6. STAIR: 6 SF

THE LOT SITS ON LOTS 14, BLOCK 11, AND IS LOCATED IN THE R-2 ZONING DISTRICT OF THE VILLAGE RESIDENTIAL SECTION. THE LOT IS 12070 SQUARE FEET AND THE APPLICANT IS PROPOSING EXTERIOR REMODELATION ON THE PROPERTY WITH 4083 SQUARE FEET OF CONDITIONED INTERIOR SPACE AND 4162 SQUARE FEET OF UNCONDITIONED OUTDOOR AREAS FOR A TOTAL SQUARE FOOTAGE OF 3245. THE ENTRANCE TO THE RESIDENCE FACES EAST AND THE PROPOSED GARAGE ENTRY DOES NOT FACE THE STREET.

UTILITIES NOTE:
ALL UTILITIES WILL REMAIN AS EXISTING AND NO NEW CONNECTIONS IN THE RIGHT OF WAY ARE PROPOSED.

SCOPE OF WORK:

- EXISTING DRIVEWAY TO BE RESURFACED WITH PERVIOUS CONCRETE PAVERS, (EASY-GRASS BLOCK)
- REMOVE FRONT PLANTERS.
- EXISTING HOUSE ROOF TO BE REPLACED (SUB PERMIT).
- EXISTING POOL TO BE REMODELED (SUB PERMIT).
- EXISTING POOL DECK TO BE REMOVED AND REPLACED BY NEW PAVERS.
- NEW EXTERIOR KITCHEN.
- NEW TRELLIS (SUB PERMIT).
- EXISTING FRONT DOOR TO BE REPLACED WITH NEW ONE.

CODE USED:
FLORIDA BUILDING CODE, 2023 8 EDITION
BUILDING AND RESIDENTIAL 2023 8 EDITION

STATEMENT:
IN MY PROFESSIONAL JUDGEMENT AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE PLANS AND SPECIFICATIONS ON PLANS COMPLY WITH THE APPLICABLE BUILDING CODES.

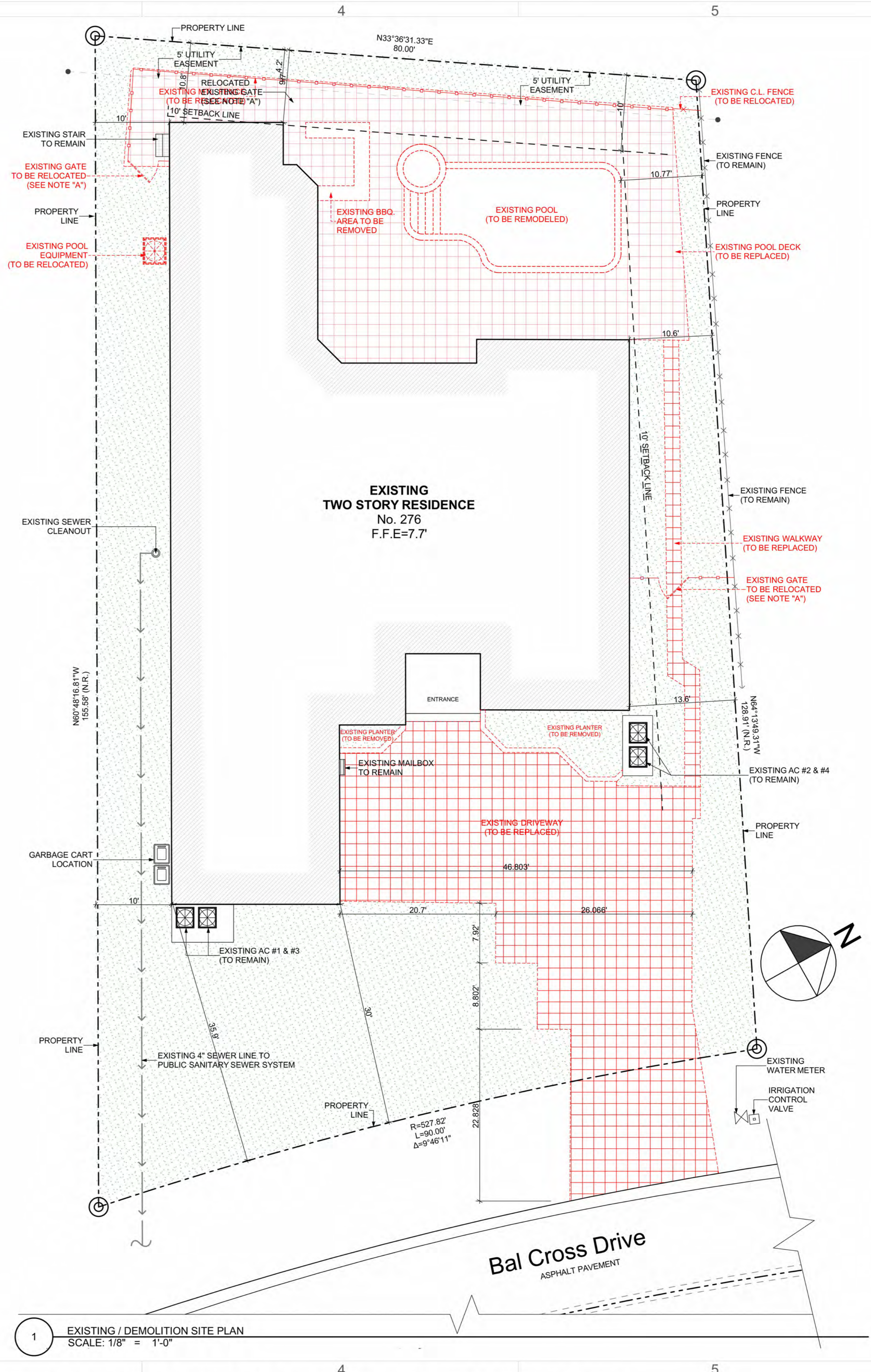
CLASSIFICATION OF WORK
ALTERATION LEVEL 2

SECURITY NOTE:
*CONTRACTOR SHALL COMPLY WITH BAL HARBOUR VILLAGE ORDINANCE NO. 2023-06-53

SHEET INDEX	
ARCHITECTURAL	
A-001	COVER PAGE / EXISTING-DEMOLITION SITE PLAN
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A-009	SURROUNDING NEIGHBORHOOD PICTURES
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C-003	GRADING / DRAINAGE PLAN



2 LOCATION MAP
NOT TO SCALE



1 EXISTING / DEMOLITION SITE PLAN
SCALE: 1/8" = 1'-0"



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PROPOSED EXTERIOR RENOVATION AT

276 Bal Cross Dr, Bal Harbour, FL 33154

PROJECT

AS SHOWN

SCALE

CONSULTANT

JOSE GONZALEZ, R.A.
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REVISIONS	
DATE	DESCRIPTION
07/02/2024	1 BLDG. DPT. COMMENTS
08/02/2024	2 BLDG. DPT. COMMENTS

10/11/2024

DATE

A-001

DRAWING



CONCRETE BLOCK

The EasyGrass Block™ concrete block base has been designed and fabricated as a strong, solid, and rugged molded structure capable of withstanding the load, stress, friction, and movement of heavy vehicles.

SPECIFICATIONS

- Color/Finish: Light gray (concrete)
- Material: Portland Cement Type I-II
- Format: Eight (8) Octagon Polygon
- Slots: Eight (8)
- Length (Inches): 24
- Width (Inches): 12
- Height (Inches): 2



TURF POD

The artificial turf for the EasyGrass Block™ system is presented as a weighted concrete pod topped with XGrass turf, which is inserted into the concrete block's slots and secured with a water-resistant industrial adhesive.

SPECIFICATIONS

- Artificial Turf: XGrass Luxury 1st Cut
- Color: Green
- Pile Height: 1.25"
- Face Weight: 65 oz
- Backing: Urethane

4 EASY-GRASS BLOCK INFORMATION
NOT TO SCALE



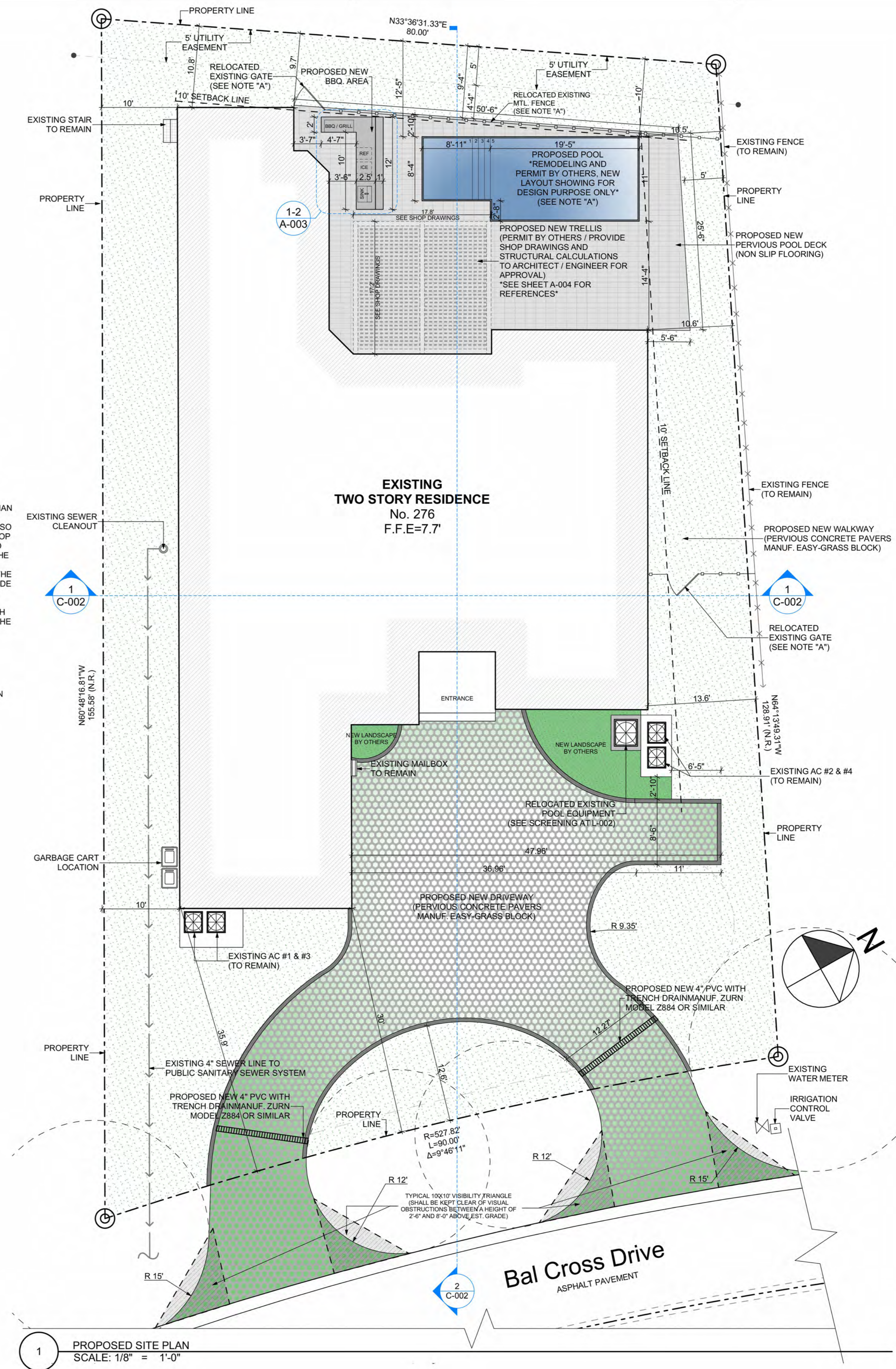
3 EXISTING DRIVEWAY
NOT TO SCALE



4 PAVER SAMPLE
NOT TO SCALE

NOTE "A":
"OUTDOOR SWIMMING POOLS SHALL BE PROVIDED WITH A BARRIER COMPLYING WITH FLORIDA BUILDING CODE SECTIONS 454.2.17.1.1 THROUGH 454.2.17.1.14. ACCESS GATES SHALL BE EQUIPPED WITH A SELF-CLOSING SELF-LATCHING LOCKING DEVICE LOCATED NO LESS THAN 54 INCHES FROM THE BOTTOM OF THE GATE. THE DEVICE RELEASE MECHANISM SHALL BE LOCATED ON THE POOL SIDE OF THE GATE AND SO PLACED THAT IT CANNOT BE REACHED BY A YOUNG CHILD OVER THE TOP OR THROUGH ANY OPENING OR GAP. GATES THAT PROVIDE ACCESS TO THE SWIMMING POOL MUST OPEN OUTWARD AWAY FROM THE POOL. THE TOP OF THE BARRIER SHALL BE AT LEAST 48 INCHES ABOVE GRADE MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL. THE MAXIMUM VERTICAL CLEARANCE BETWEEN GRADE AND THE BOTTOM OF THE BARRIER SHALL BE 2 INCHES MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL. MAXIMUM MESH SIZE FOR CHAIN LINK FENCES SHALL BE A 2 INCH SQUARE UNLESS THE FENCE IS PROVIDED WITH SLATS FASTENED AT THE TOP OR BOTTOM WHICH REDUCE THE OPENINGS TO NO MORE THAN 1 3/4 INCHES.

UTILITIES NOTE:
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1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



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PROPOSED EXTERIOR RENOVATION AT

276 Bal Cross Dr. Bal Harbour, FL 33154

PROJECT

AS SHOWN

SCALE

CONSULTANT

JOSE GONZALEZ, R.A. #8612

REVISIONS

DATE	DESCRIPTION
07/02/2024	1 BLDG. DPT. COMMENTS
08/02/2024	2 BLDG. DPT. COMMENTS

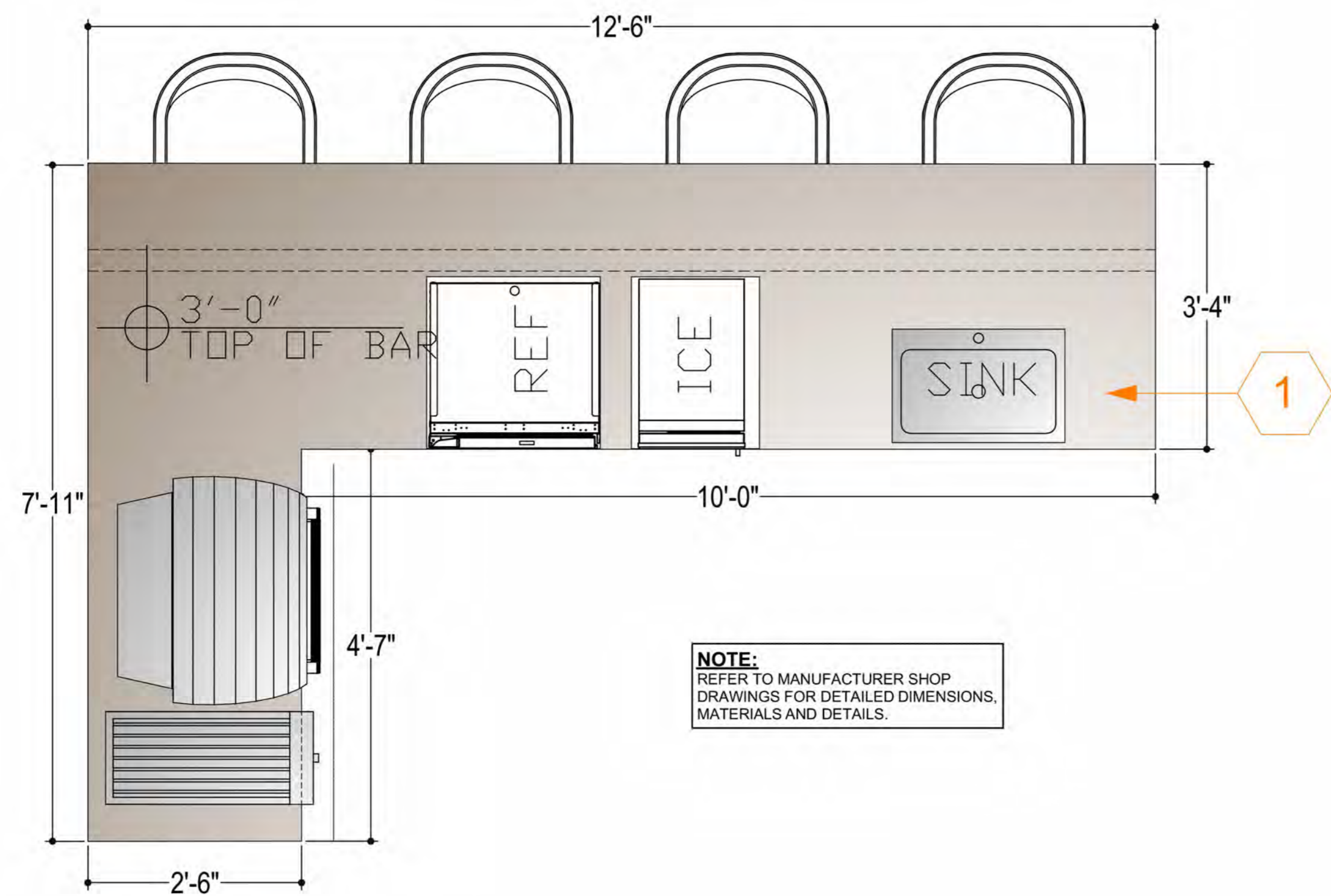
10/11/2024

DATE

A-002

DRAWING

NOTE: CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION AND SHALL NOTIFY JOSE GONZALEZ, R.A. OF ANY DISCREPANCIES. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS SHALL GOVERN. DRAWINGS/ MAGNETIC MEDIA ARE THE PROPERTY OF ARCHITECT/JOSE GONZALEZ, R.A. AND SHALL NOT BE USED WITHOUT EXPRESSED WRITTEN CONSENT.

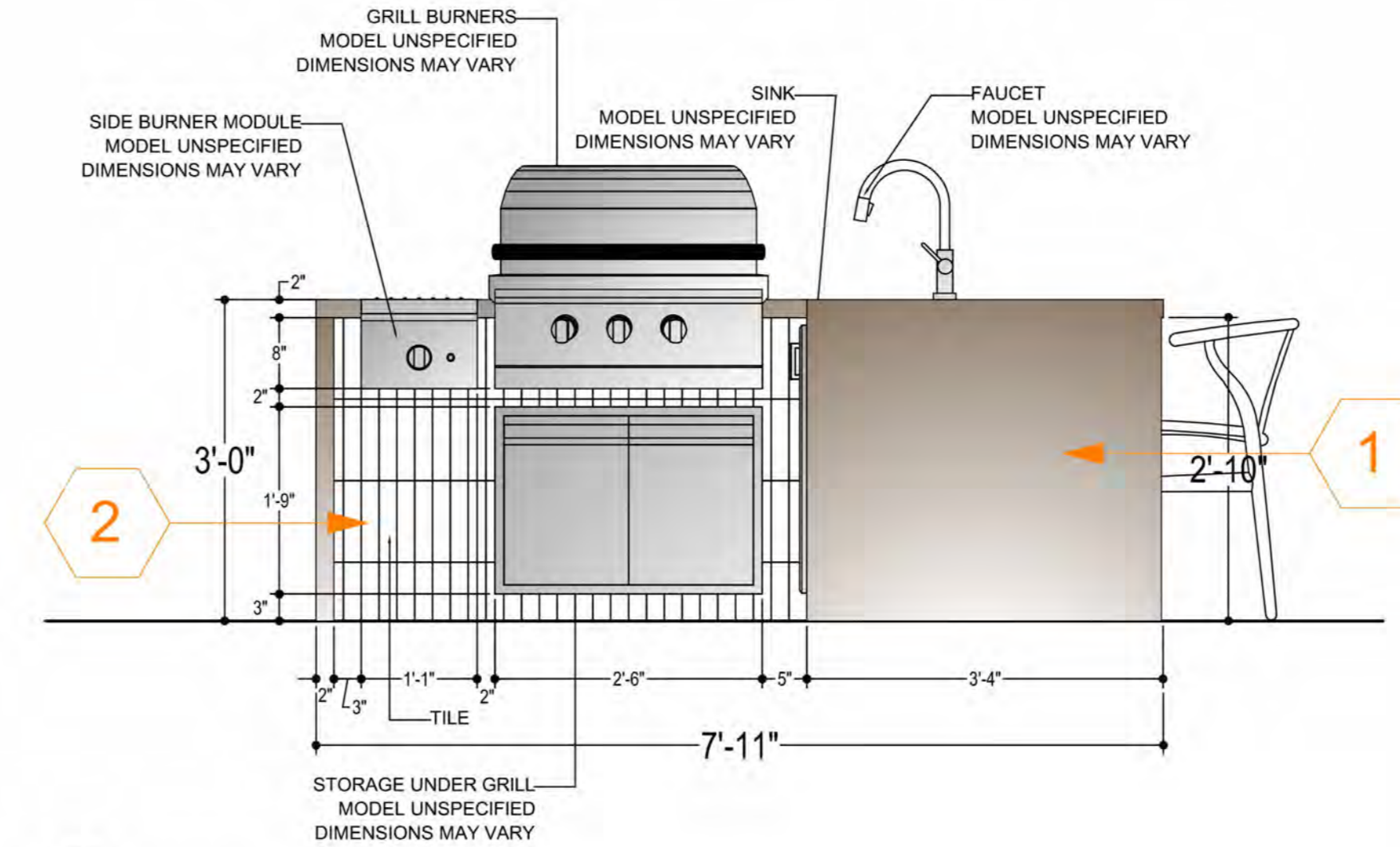


1 EXTERIOR KITCHEN FLOOR PLAN
SCALE: 3/4" = 1'-0"

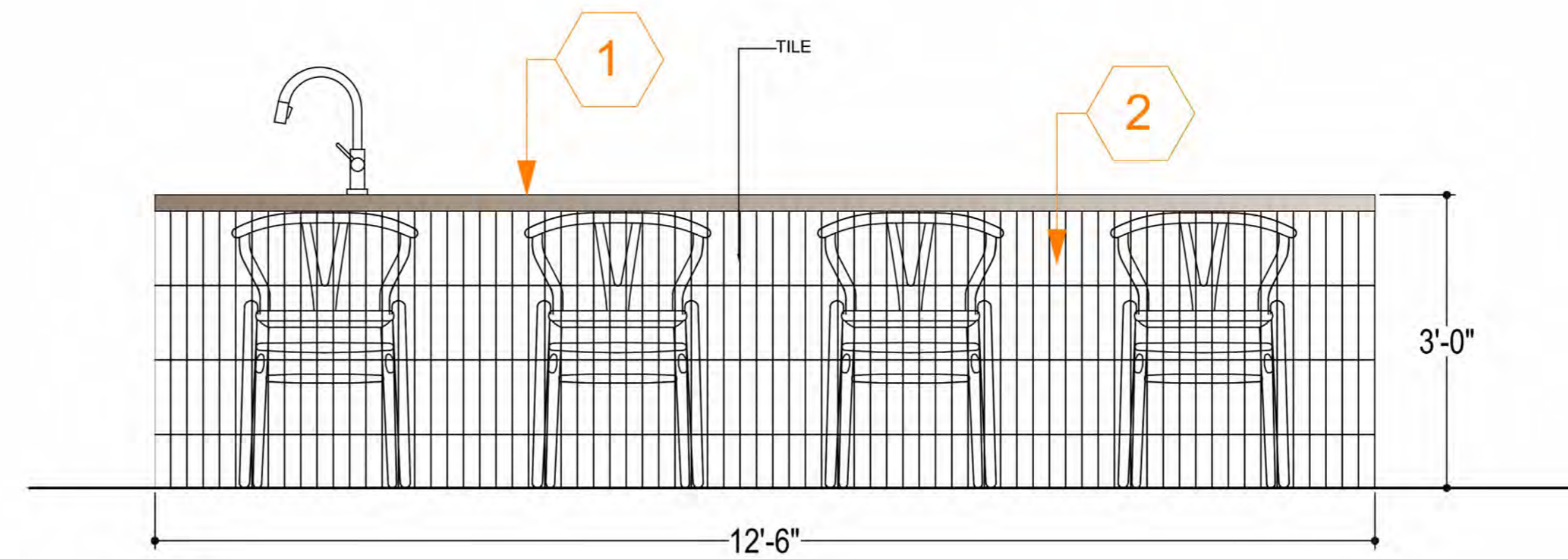
BBQ Cladding:
Inax Border Singular Tile
Color: IM-1502P1/YKRI White
Size pc 145x20mm/Size/sht 293x290mm



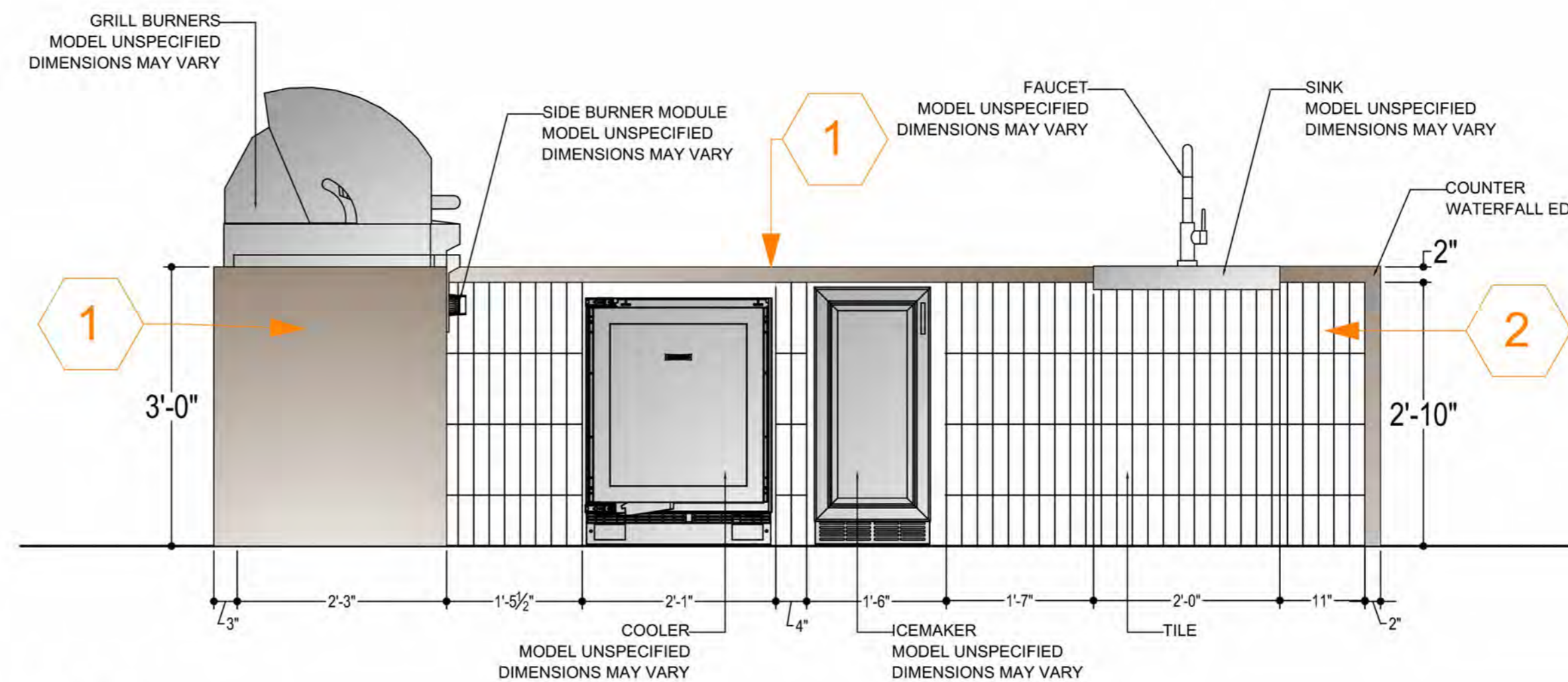
BBQ Counter Top:
Opustone 3/4" Slab Taj Majal Leather
122"x74"=62.69SF



2 ELEVATION "A"
SCALE: 3/4" = 1'-0"



3 ELEVATION "B"
SCALE: 3/4" = 1'-0"



4 ELEVATION "C"
SCALE: 3/4" = 1'-0"



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**PROPOSED
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276 Bal Cross Dr. Bal
Harbour, FL 33154

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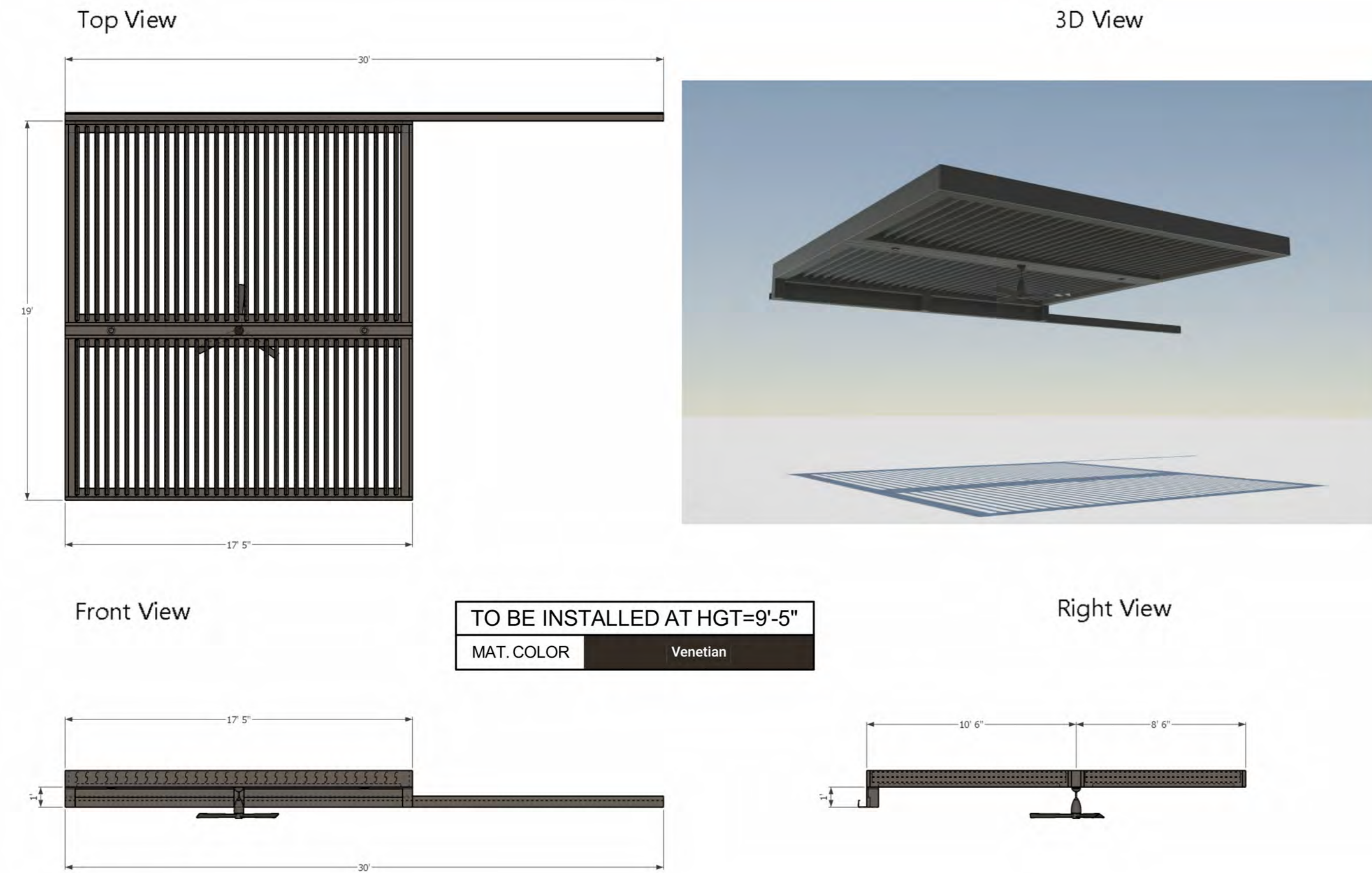
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A-003

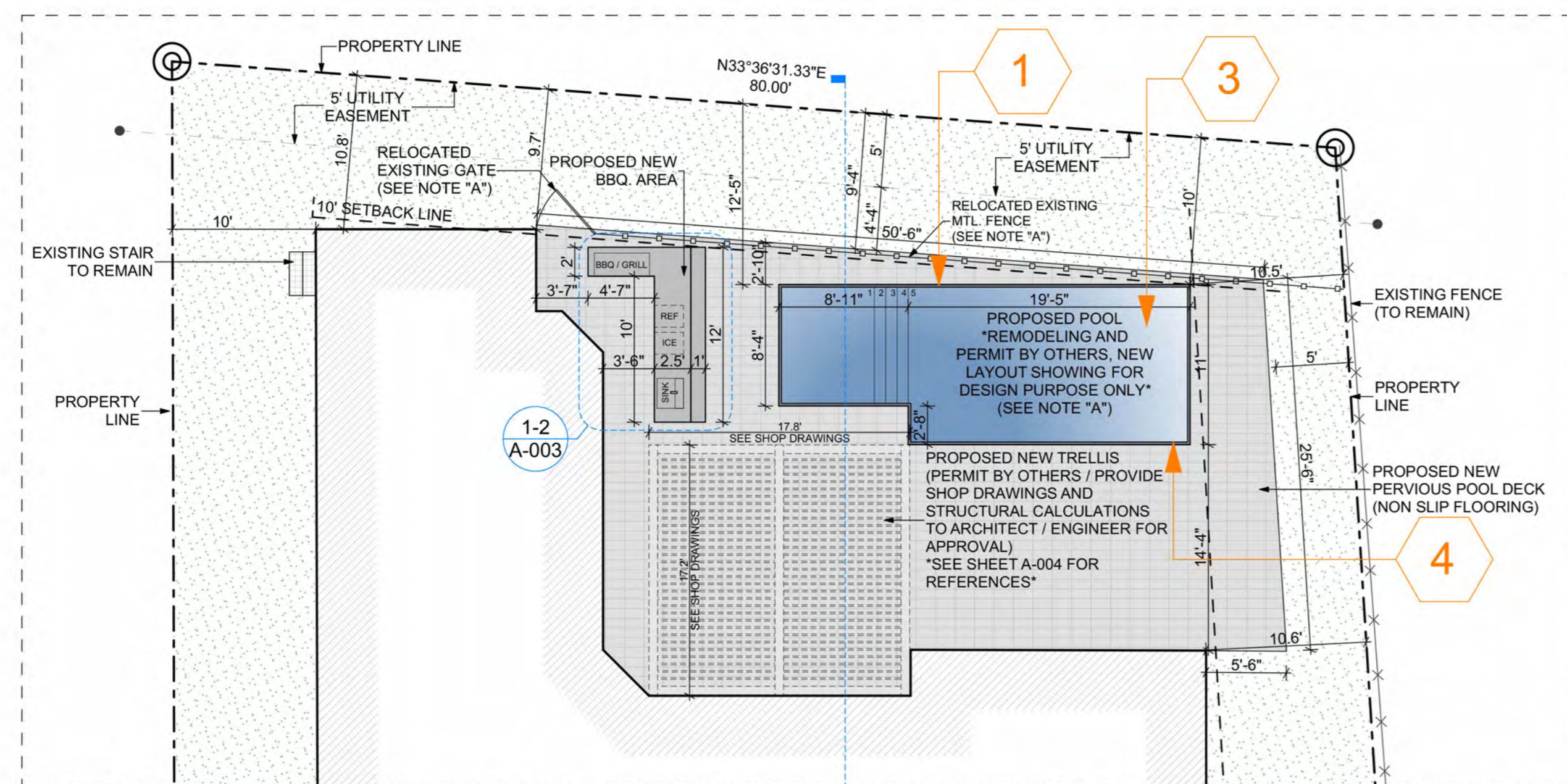
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1 TRELLIS 3D MODEL
NOT TO SCALE



2 TRELLIS RENDER VIEW
NOT TO SCALE



3 PROPOSED POOL / POOL DECK
SCALE: 1/8" = 1'-0"

1 **Pool Coping:**
Iberia Tiles
Stromboli Light anti-slip 1-3/4"x6"



MDCA CE00 1 3/4" x 6"
MDCA CE00 4.5X16cm

2 **Pool Drain:**
Iberia Tiles
Stromboli Light anti-slip 10"x20"




CERAMIC DRAIN GRATE
REJILLA DE DRENAJE CERÁMICA
10" x 20"
RILEY 0500 25X30X2
1.5"
Drain - Desagüe: >19.4m³/hora
Grate Rubber 9710 included
Goma p/Rejilla 9710 incluida
ANTISHOCK

3 **Pool Finish:**
Pebble Sheen by PebbleTec
Color: Turtle Bay



4 **Waterline Tile:**
Iberia Tiles
Tresor Bali anti-slip 24"x48"



ELIAS ELIAS



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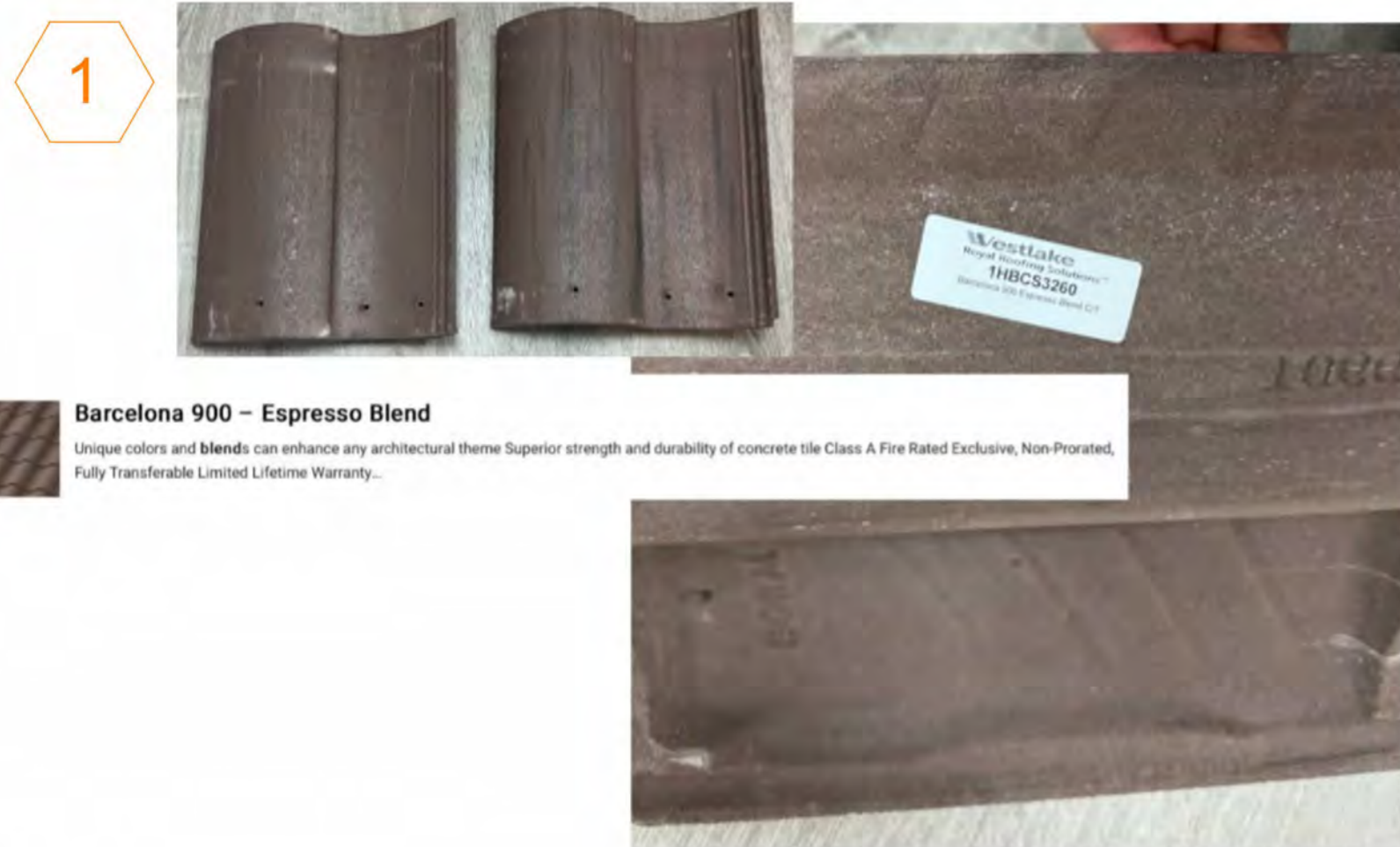
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10/11/2024
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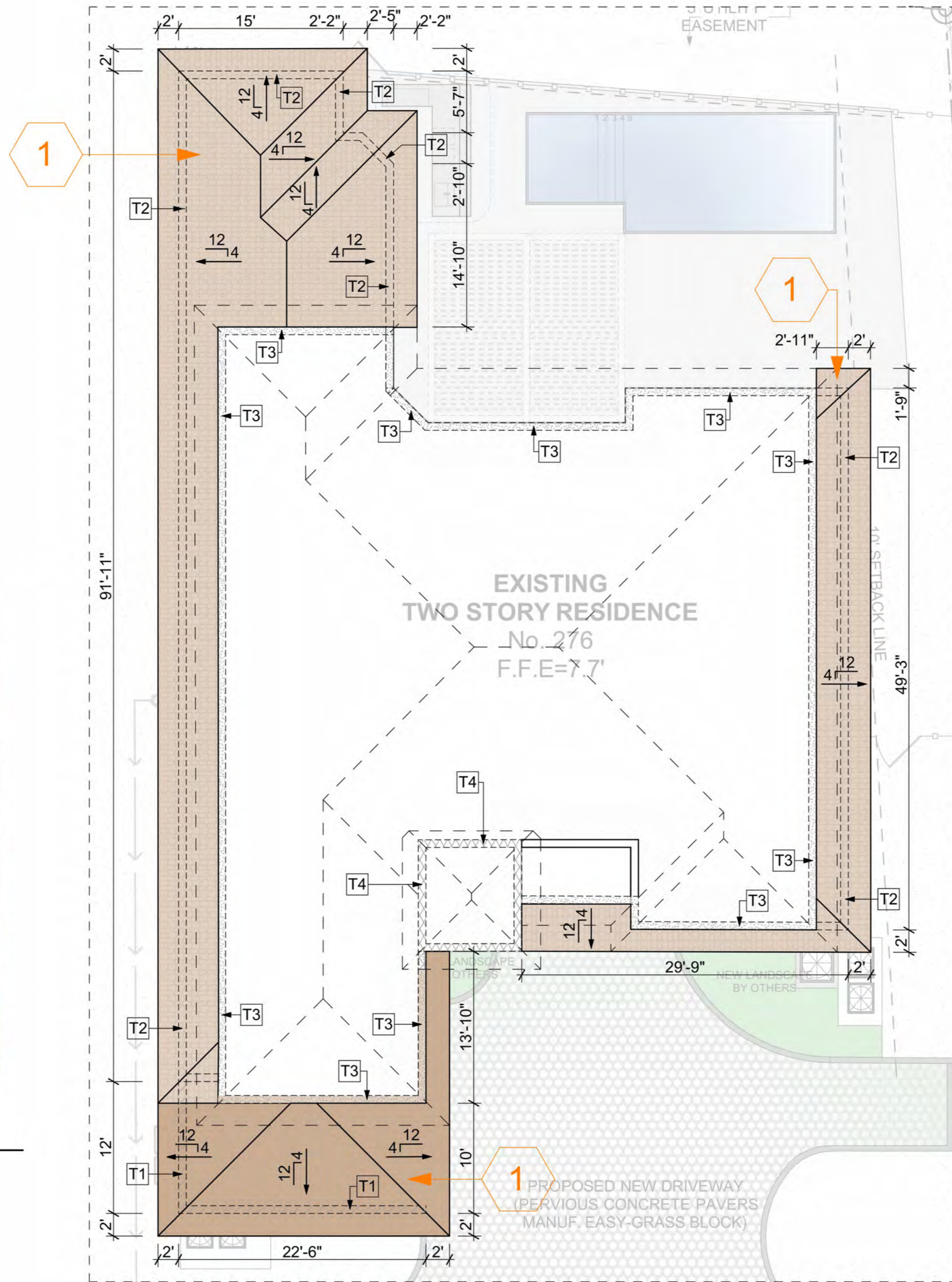
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FLAT CEMENT TILE ROOF SYSTEM (TYP):
 1. INSTALL 3"x3" 26 Ga. GALVANIZED EAVE DRIP NAILED 4" O/C 5" TIN CAPS & 1 1/4" RING SHANK NAILS, FIELD 12" O.C. & LAP 6" O.C.
 2. ON TOP OF WOOD DECK INSTALL THE ANCHOR SHEET VAPOR BARRIER #30b, ROOFING FELT, TIN CAPPED WITH 1 5/8" TIN CAPS & 1 1/4" RING SHANK NAILS, FIELD 12" O.C. & LAP 6" O.C.
 3. FLOOD COAT THE ENTIRE ROOF DECK WITH TYPE IV HOT ASPHALT AND INSTALL A MINERAL SURFACE CAP SHEET
 4. ROOF TILES: INSTALLED AS SPECIFIED BY FLORIDA PRODUCT APPROVAL WITH THE TWO COMPONENTS POLYURETHANE FOAM TILE ADHESIVE SYSTEM.
 5. CONTRACTOR SHALL PROVIDE TILE NOA & ROOF SYSTEM NOA.

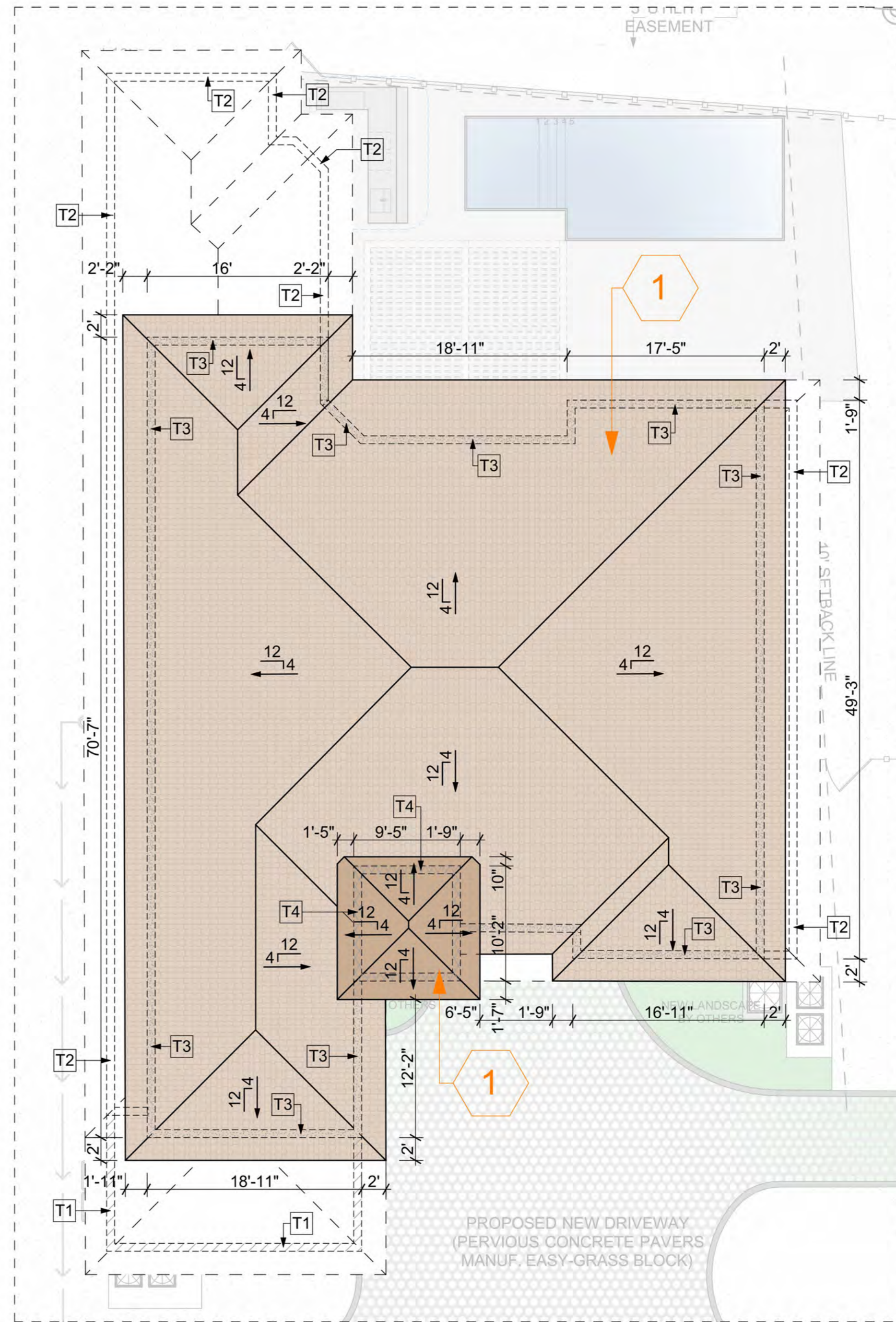
T1		9'-0" ELEVATION
T2		11'-0" ELEVATION
T3		19'-2" ELEVATION
T4		21'-8" ELEVATION



3 ROOF TILES SAMPLES
 SCALE: 1:1.16



1 EXISTING ROOF TO BE REPLACED
 SCALE: 1/8" = 1'-0"



2 EXISTING ROOF TO BE REPLACED
 SCALE: 1/8" = 1'-0"

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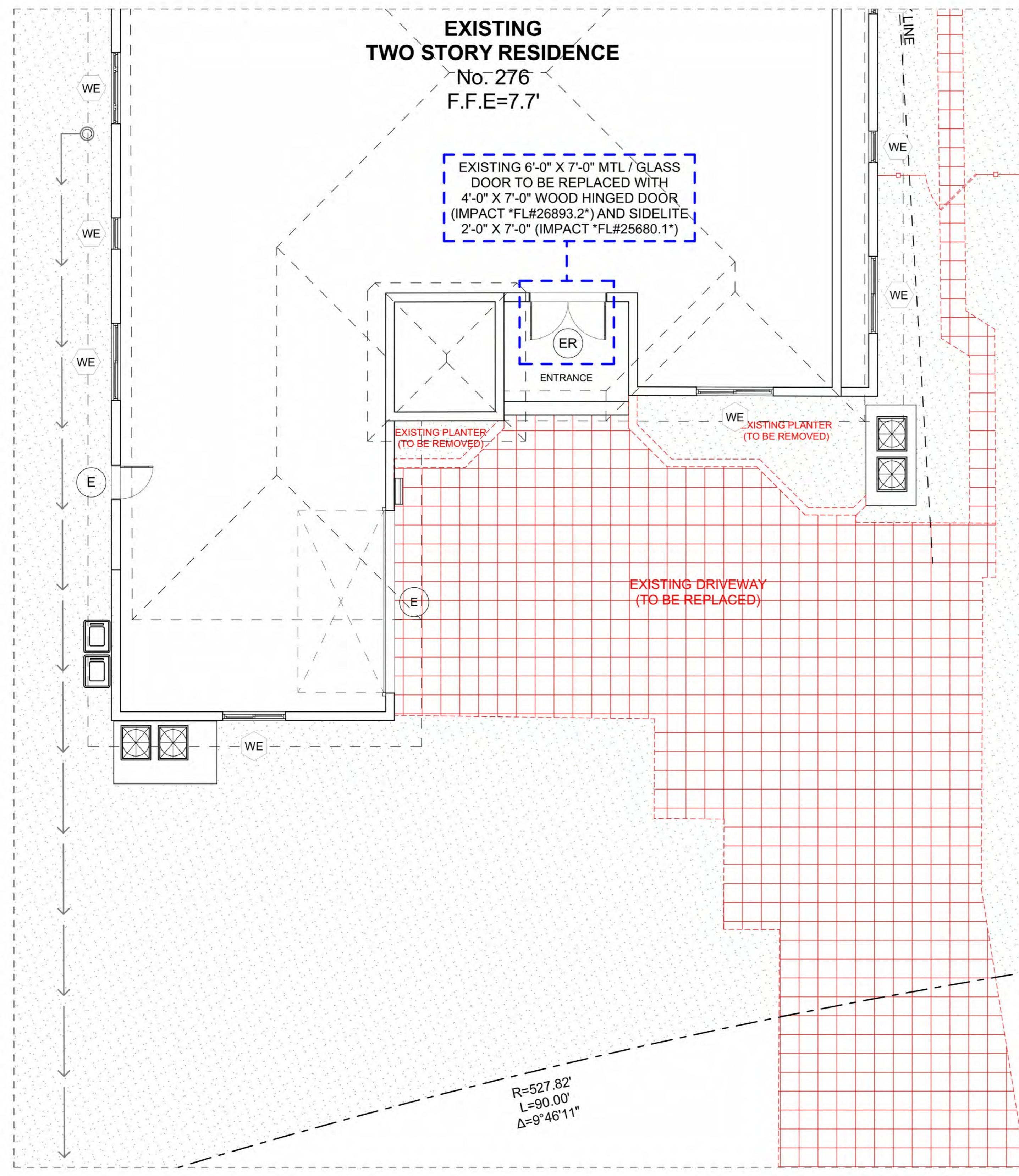
CONSULTANT

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 #8612

REVISIONS	
DATE	DESCRIPTION

10/11/2024
 DATE

A-005
 DRAWING



1 EXISTING / DEMOLITION FLOOR PLAN
SCALE: 3/16" = 1'-0"



2 DOOR SAMPLE
NOT TO SCALE



3 DOOR SAMPLE
NOT TO SCALE



4 EXISTING FRONT VIEW
NOT TO SCALE



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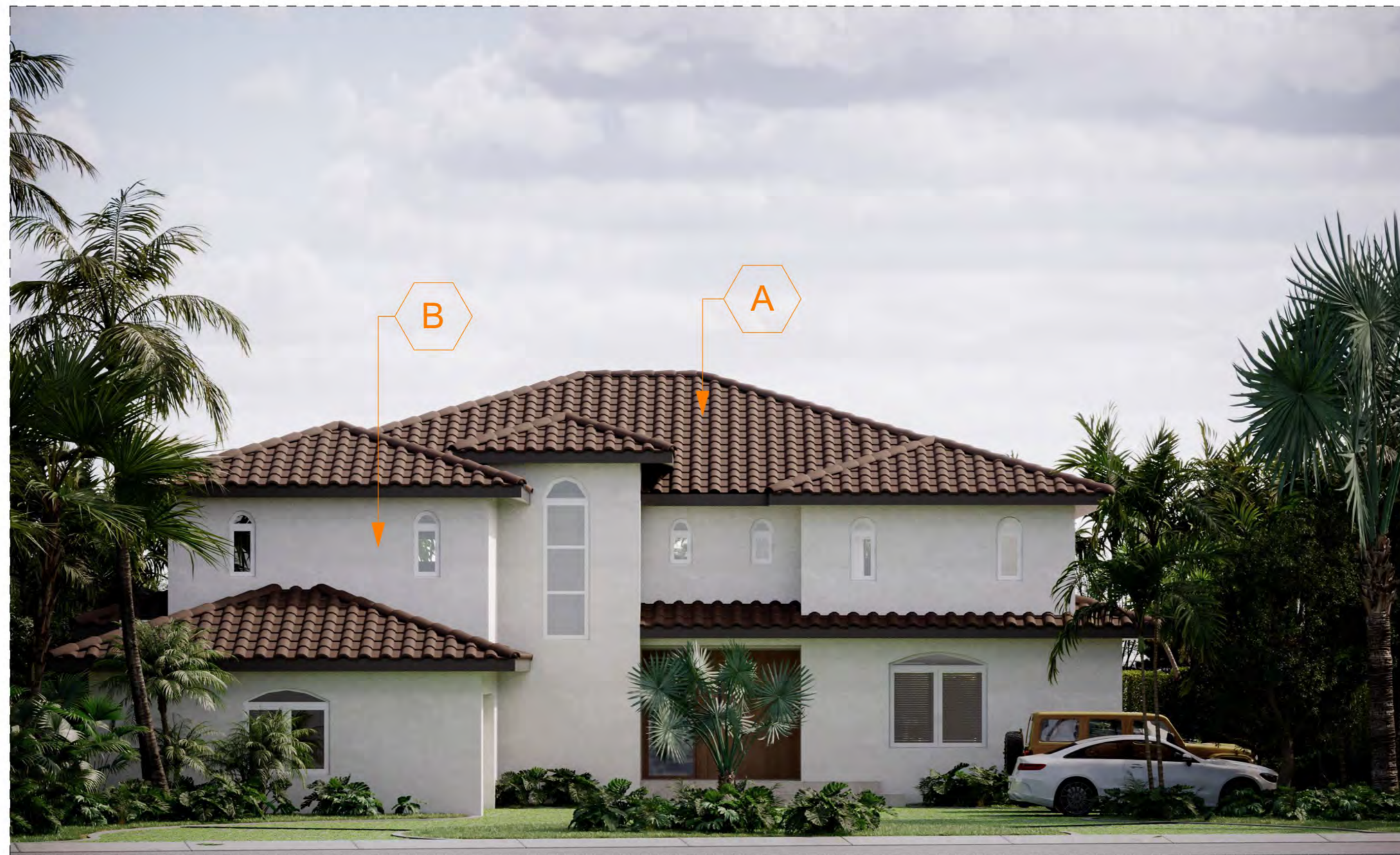
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08/02/2024	2 BLDG. DPT. COMMENTS

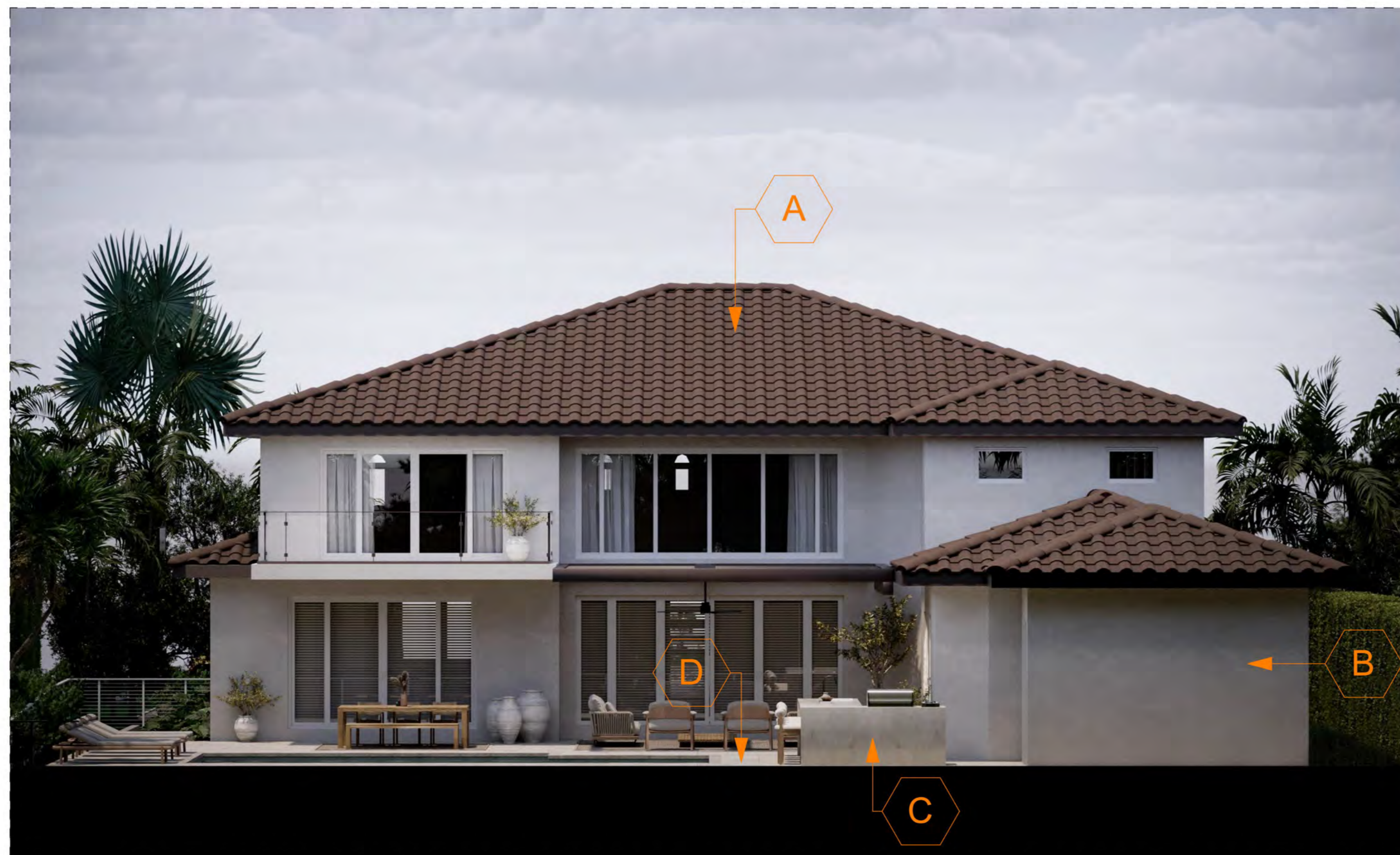
10/11/2024
DATE

A-006

DRAWING



1 RENDERED FRONT ELEVATION
NOT TO SCALE



2 RENDERED REAR ELEVATION
NOT TO SCALE

MATERIALS LEGEND	
A	PROPOSED NEW ROOF TILES (BARCELONA 900 - ESPRESSO BLEND)
B	EXISTING WHITE PAINT OVER STUCCO (TO REMAIN - NO CHANGES)
C	PROPOSED NEW BBQ. COUNTER TOP (OPUSTONE 3/4" SLAB TAJ MAJAL LEATHER)
D	PROPOSED NEW POOL DECK OVER SAND

FRONT DOOR AND SIDELITE ASSEMBLY NOAs:
FRONT DOOR: FL#26893.2
SIDELITE: FL#25680.1



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PROJECT

AS SHOWN
SCALE

CONSULTANT

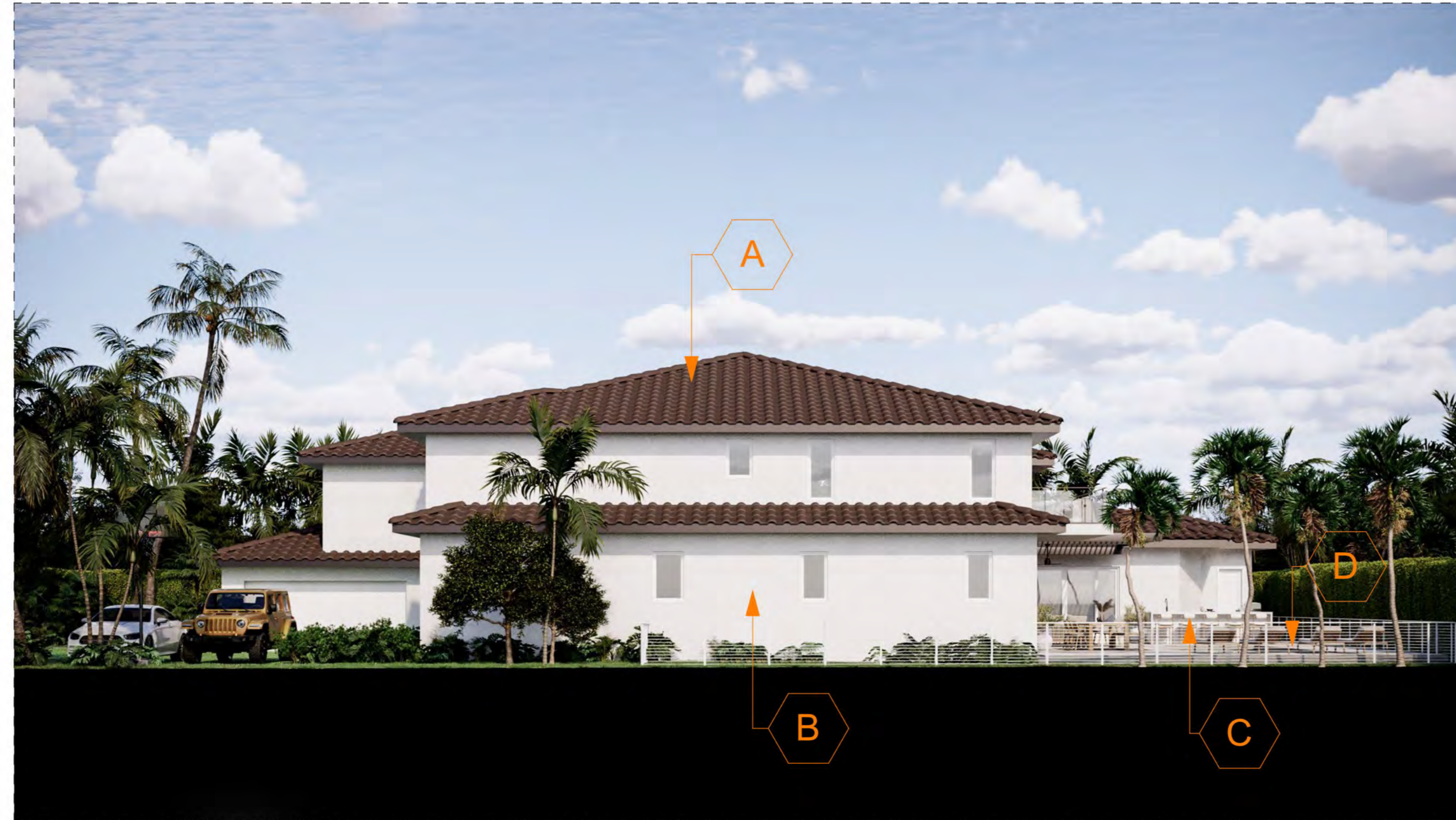
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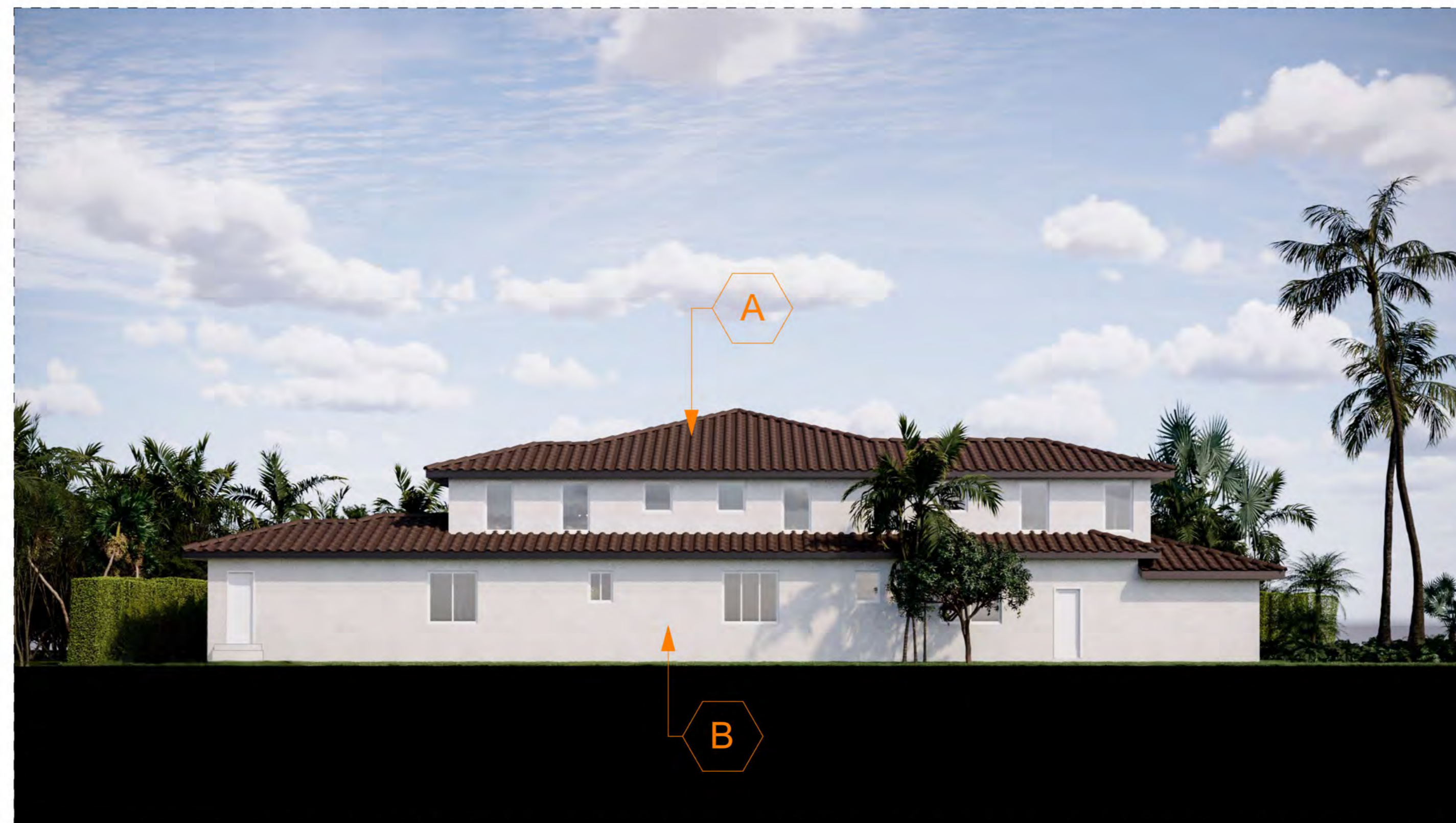
10/11/2024
DATE

A-007

DRAWING



1 RENDERED NORTH ELEVATION
NOT TO SCALE



2 RENDERED SOUTH ELEVATION
NOT TO SCALE

MATERIALS LEGEND	
A	PROPOSED NEW ROOF TILES (BARCELONA 900 - ESPRESSO BLEND)
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08/02/2024	2 BLDG. DPT. COMMENTS

10/11/2024

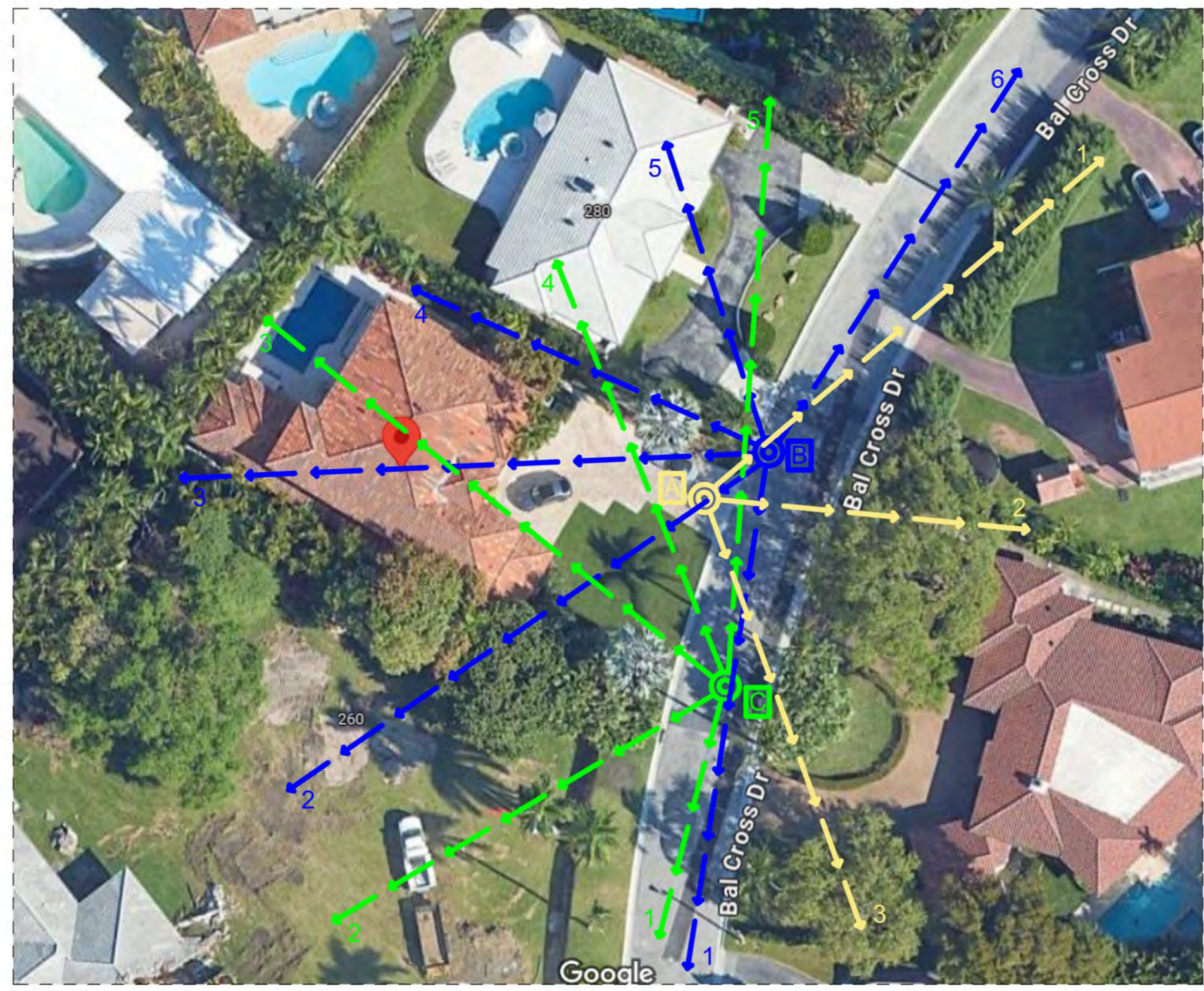
DATE

A-008

DRAWING

SURROUNDING NEIGHBORHOOD PICTURES

276 Bal Cross Dr, Bal Harbour, FL 33154



PICTURES INFORMATION:
 1. ALL PICTURES WERE TAKEN ON THE MORNING OF MAY 30, 2024.
 2. ALL PICTURES ARE RESIZED TO 4" X 6".
 3. ALL PICTURES INCLUDED IN THE ORIGINAL PDF FILE ARE IN COLOR.
 4. (POV) REFERS TO POINT OF VIEW.

SECURITY NOTE:
 THIS SET OF PLANS INCLUDES IMAGES EXCLUSIVELY FOR PERMIT APPLICATION PURPOSES. THE IMAGES ARE CAREFULLY SELECTED TO ENSURE COMPLIANCE WITH BAL HARBOUR REGULATIONS AND TO PROVIDE A VISUAL REPRESENTATION OF THE SURROUNDING AREA. UNAUTHORIZED USE, REPRODUCTION, OR DISTRIBUTION OF THESE IMAGES IS STRICTLY PROHIBITED. THEY ARE PROPRIETARY AND SUBJECT TO COPYRIGHT LAWS. ANY MISUSE MAY RESULT IN LEGAL ACTION. HANDLE WITH CONFIDENTIALITY.

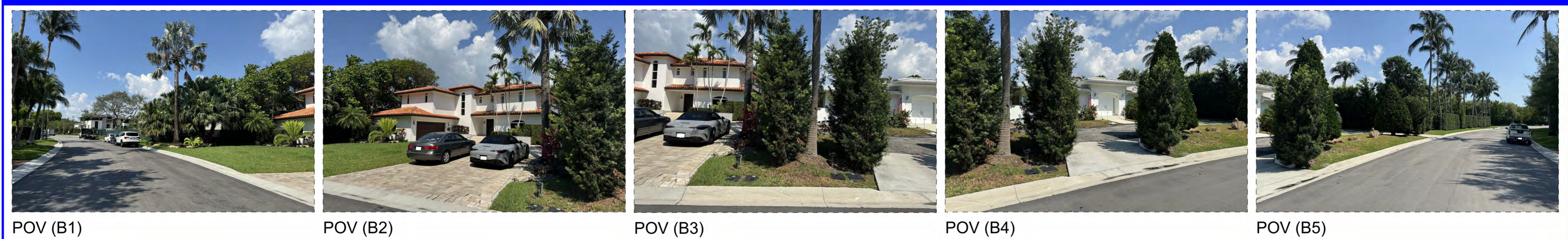


POV (A1)

POV (A2)

POV (A3)

1 POVs DIAGRAM SCALE: 1:0.83



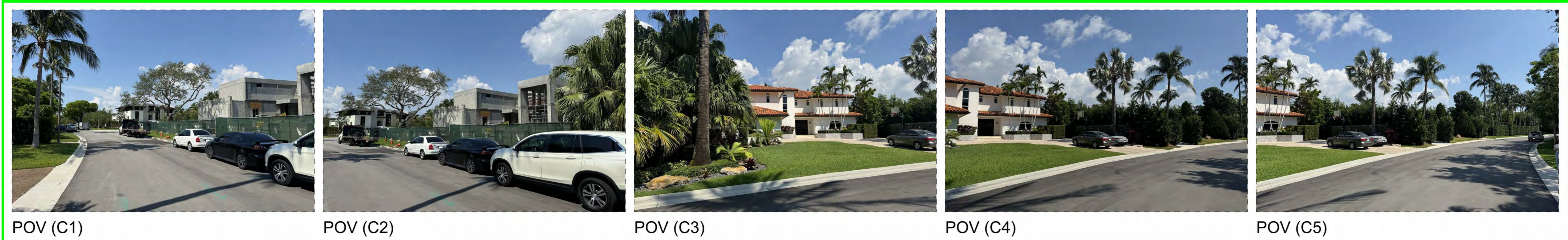
POV (B1)

POV (B2)

POV (B3)

POV (B4)

POV (B5)



POV (C1)

POV (C2)

POV (C3)

POV (C4)

POV (C5)



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 INTERIOR DESIGN
 DESIGN & CONSTRUCTION
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 Fax: 305.981.8517
 e-mail: jgovi@bellsouth.net

PROPOSED EXTERIOR RENOVATION AT

276 Bal Cross Dr, Bal Harbour, FL 33154

PROJECT
AS SHOWN
SCALE
CONSULTANT

JOSE GONZALEZ, R.A.
 #8612

REVISIONS	
DATE	DESCRIPTION
07/02/2024	1 BLDG. DPT. COMMENTS

10/11/2024
 DATE

A-009
 DRAWING

NOTE: CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION AND SHALL NOTIFY JOSE GONZALEZ, R.A. OF ANY DISCREPANCIES. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS SHALL GOVERN. DRAWINGS/ MAGNETIC MEDIA ARE THE PROPERTY OF ARCHITECT/JOSE GONZALEZ, R.A. AND SHALL NOT BE USED WITHOUT EXPRESSED WRITTEN CONSENT.

EXISTING RESIDENCE PICTURES

276 Bal Cross Dr, Bal Harbour, FL 33154

PICTURES INFORMATION:
 1. ALL PICTURES WERE TAKEN ON THE MORNING OF MAY 30, 2024.
 2. ALL PICTURES ARE RESIZED TO 4" X 6"(HORIZONTAL) AND 3" X 4"(VERTICAL).
 3. ALL PICTURES INCLUDED IN THE ORIGINAL PDF FILE ARE IN COLOR
 4. (POV) REFERS TO POINT OF VIEW.

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POV (EAST)



POV (SOUTH-EAST)



POV (NORTH-EAST)



POV (NORTH)



POV (NORTH)



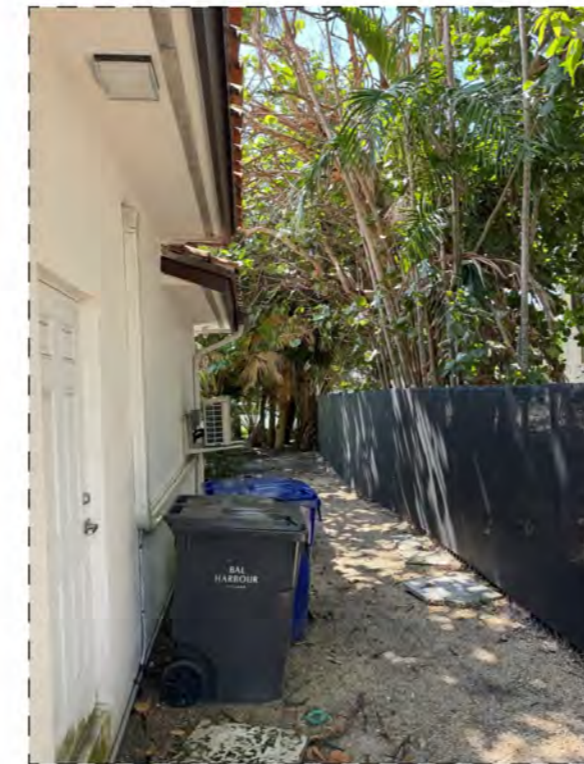
POV (WEST)



POV (NORTH-WEST)



POV (SOUTH)



POV (SOUTH)



POV (SOUTH)



POV (SOUTH-EAST)



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PROPOSED EXTERIOR RENOVATION AT

276 Bal Cross Dr, Bal Harbour, FL 33154

PROJECT

AS SHOWN

SCALE

CONSULTANT

JOSE GONZALEZ, R.A.
 #8612

REVISIONS	
DATE	DESCRIPTION
07/02/2024	1 BLDG. DPT. COMMENTS

10/11/2024

DATE

A-010

DRAWING

PROPOSED RESIDENCE RENDERS

276 Bal Cross Dr, Bal Harbour, FL 33154



1 RENDER VIEW 1
NOT TO SCALE



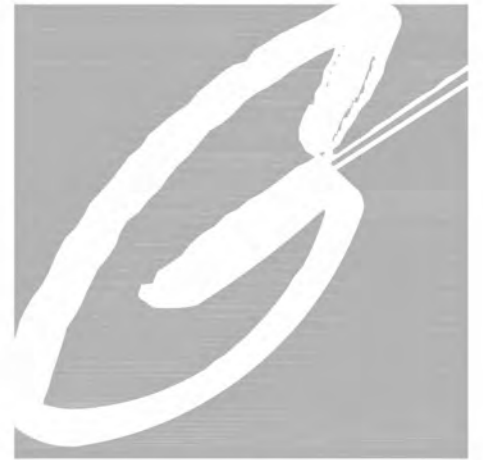
2 RENDER VIEW 2
NOT TO SCALE



3 RENDER VIEW 3
NOT TO SCALE



4 RENDER VIEW 4
NOT TO SCALE



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PROPOSED EXTERIOR RENOVATION AT

276 Bal Cross Dr, Bal
Harbour, FL 33154

PROJECT

AS SHOWN

SCALE

CONSULTANT

JOSE GONZALEZ, R.A.
#8612

REVISIONS	
DATE	DESCRIPTION

10/11/2024

DATE

A-011

DRAWING

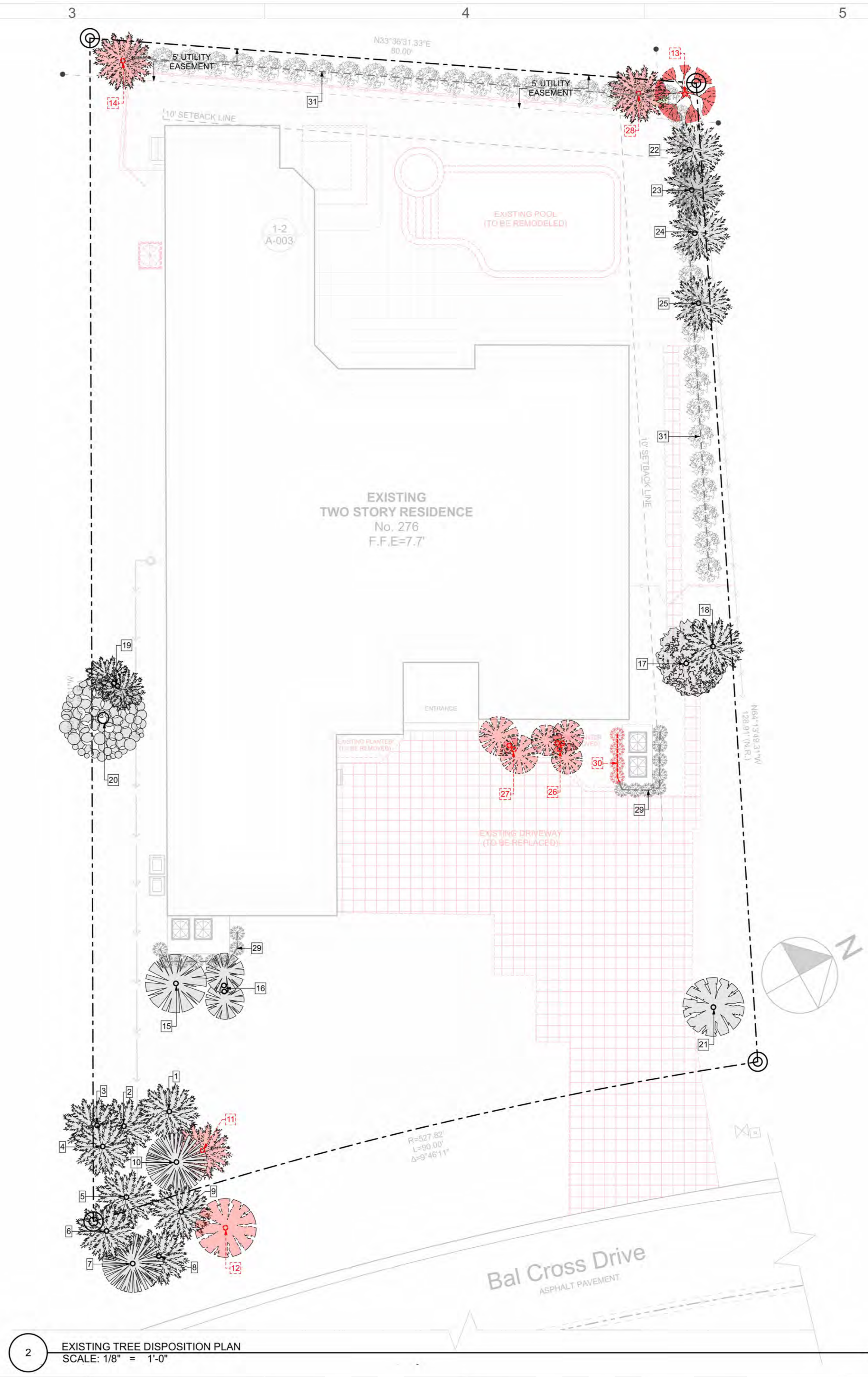
EXISTING PLANT LIST						
EXISTING PLANT INVENTORY						
SYM	Common Name	Botanical Name	Quantity	Condition	Status	Comments
1	Sawtooth palm	Serenoa repens	1	Good	Existing	Existing to Remain - No Changes
2	Sawtooth palm	Serenoa repens	1	Good	Existing	Existing to Remain - No Changes
3	Sawtooth palm	Serenoa repens	1	Good	Existing	Existing to Remain - No Changes
4	Sawtooth palm	Serenoa repens	1	Good	Existing	Existing to Remain - No Changes
5	Sawtooth palm	Serenoa repens	1	Good	Existing	Existing to Remain - No Changes
6	Sawtooth palm	Serenoa repens	1	Good	Existing	Existing to Remain - No Changes
7	Cabbage palm	Sabal palmetto	1	Good	Existing	Existing to Remain - No Changes
8	Sawtooth palm	Serenoa repens	1	Good	Existing	Existing to Remain - No Changes
9	Sawtooth palm	Serenoa repens	1	Good	Existing	Existing to Remain - No Changes
10	Cabbage palm	Sabal palmetto	1	Good	Existing	Existing to Remain - No Changes
11	Sawtooth palm	Serenoa repens	1	Good	To be Relocated	Existing to be Relocated
12	Silver Bismarck Palm	Bismarckia nobilis	1	Good	To be Relocated	Existing to be Relocated
13	Tamano	Calophyllum inophyllum	1	Good	To be Relocated	Existing to be Relocated
14	Coconut palm	Cocos nucifera	1	Good	To be Relocated	Existing to be Relocated
15	Miniature date palm	Phoenix roebelenii	1	Good	Existing	Existing to Remain - No Changes
16	Miniature date palm	Phoenix roebelenii	2(cluster)	Good	Existing	Existing to Remain - No Changes
17	Avocado	Persea americana	2(cluster)	Good	Existing	Existing to Remain - No Changes
18	Alexander palm	Archontophoenix alexandrae	1	Good	Existing	Existing to Remain - No Changes
19	Alexander palm	Archontophoenix alexandrae	2(cluster)	Good	Existing	Existing to Remain - No Changes
20	Mango	Mangifera indica	1	Good	Existing	Existing to Remain - No Changes
21	Silver Bismarck Palm	Bismarckia nobilis	1	Good	Existing	Existing to Remain - No Changes
22	Christmas tree palm	Adonia merrillii	1	Good	Existing	Existing to Remain - No Changes
23	Christmas tree palm	Adonia merrillii	1	Good	Existing	Existing to Remain - No Changes
24	Christmas tree palm	Adonia merrillii	1	Good	Existing	Existing to Remain - No Changes
25	Christmas tree palm	Adonia merrillii	1	Good	Existing	Existing to Remain - No Changes
26	Alexander palm	Archontophoenix alexandrae	3(cluster)	Good	To be Relocated	Existing to be Relocated
27	Alexander palm	Archontophoenix alexandrae	2(cluster)	Good	To be Relocated	Existing to be Relocated
28	Coconut palm	Cocos nucifera	1	Good	To be Relocated	Existing to be Relocated
29	Podocarpus	Podocarpus macrophyllus	Hedge	Good	Existing	Existing to Remain - No Changes
30	Podocarpus	Podocarpus macrophyllus	Hedge	Good	To be Relocated	Existing to be Relocated
31	Tamano	Calophyllum inophyllum	Hedge	Good	Existing	Existing to Remain - No Changes

D.B.H = measured at 4 1/2" from grade level

NOTES:
 1. QUALIFIED TREES AND SHRUBS TO SATISFY THE LANDSCAPE CODE REQUIREMENTS SHALL COMPLY WITH "SECTION 27-254(22)"
 2. FOR PLANTING DETAILS SEE SHEET L-003

PLANT MATERIAL:
 ALL PLANT MATERIAL SHALL BE CONFORMED TO THE MINIMUM STANDARDS OF FLORIDA GRADE NO. 1 OR BETTER AS PER GRADE AND STANDARDS FOR NURSERY PLANT MANUAL.

HEDGE NOTE:
 ONLY THE HEDGES THAT ARE CRITICAL FOR THE PROJECT ARE REPRESENTED ON THE PLANS. THESE INCLUDE THE HEDGE COVERING THE FRONT EQUIPMENT AND THE HEDGE PROVIDING COVERAGE AROUND THE POOL AREA.



2 EXISTING TREE DISPOSITION PLAN
 SCALE: 1/8" = 1'-0"

JOSE GONZALEZ, A.I.A.
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 DESIGN & CONSTRUCTION
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PROPOSED EXTERIOR RENOVATION AT
 276 Bal Cross Dr. Bal Harbour, FL 33154

PROJECT
AS SHOWN
SCALE
CONSULTANT

JOSE GONZALEZ, R.A.
 #8612

REVISIONS	
DATE	DESCRIPTION

10/11/2024
 DATE

L-001
 DRAWING

NOTE: CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION AND SHALL NOTIFY JOSE GONZALEZ, R.A. OF ANY DISCREPANCIES. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS SHALL GOVERN. DRAWINGS/ MAGNETIC MEDIA ARE THE PROPERTY OF ARCHITECT/JOSE GONZALEZ, R.A. AND SHALL NOT BE USED WITHOUT EXPRESSED WRITTEN CONSENT.

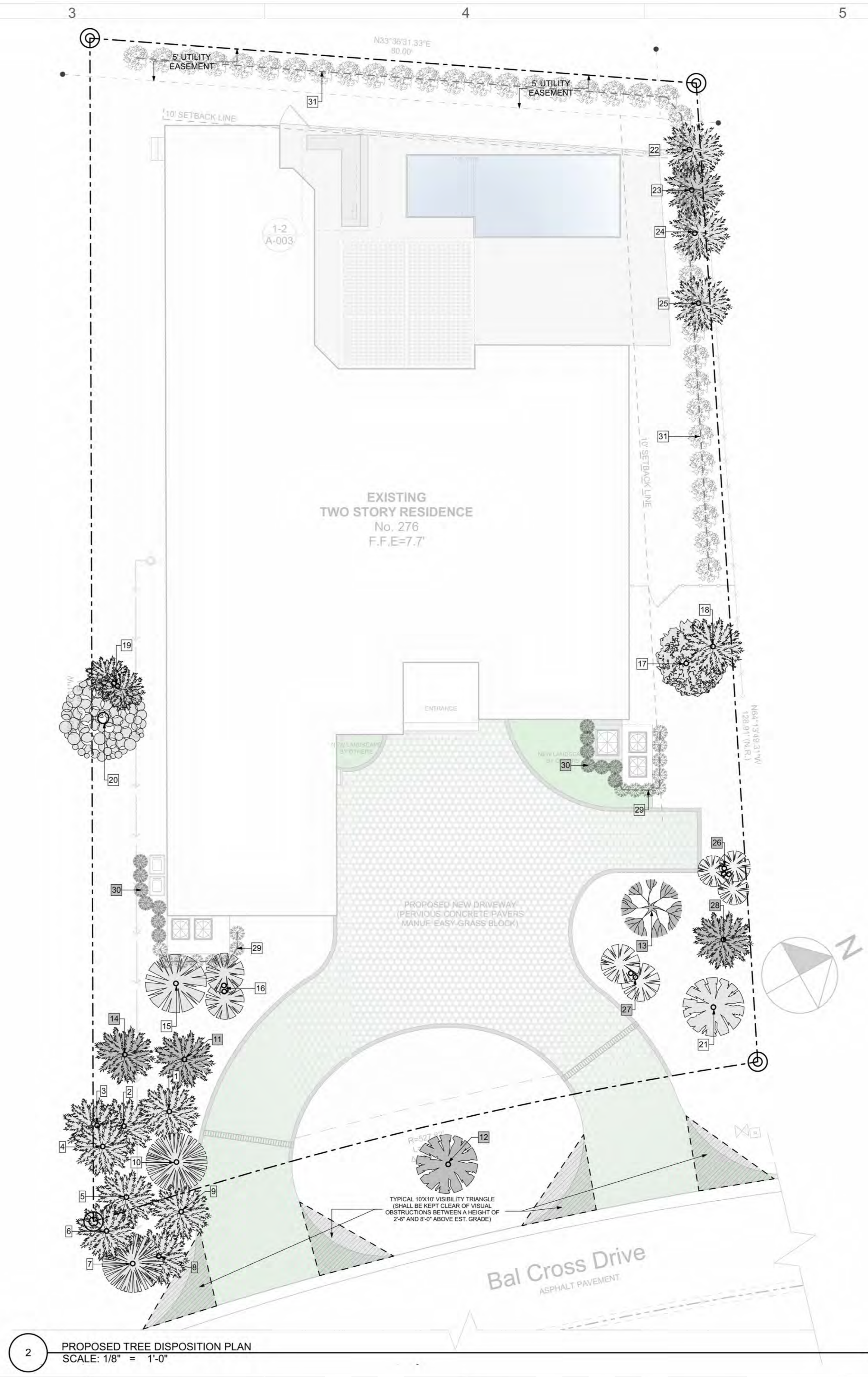
PROPOSED PLANT LIST						
EXISTING PLANT INVENTORY						
SYM	Common Name	Botanical Name	Quantity	Condition	Status	Comments
1	Sawtooth palm	Serenoa repens	1	Good	Existing	Existing to Remain - No Changes
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9	Sawtooth palm	Serenoa repens	1	Good	Existing	Existing to Remain - No Changes
10	Cabbage palm	Sabal palmetto	1	Good	Existing	Existing to Remain - No Changes
11	Sawtooth palm	Serenoa repens	1	Good	Relocated	Relocated outside Proposed Driveway
12	Silver Bismarck Palm	Bismarckia nobilis	1	Good	Relocated	Relocated outside Proposed Driveway
13	Tamano	Calophyllum inophyllum	1	Good	Relocated	Relocated outside Rear UE
14	Coconut palm	Cocos nucifera	1	Good	Relocated	Relocated outside Rear UE
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27	Alexander palm	Archontophoenix alexandrae	2(cluster)	Good	Relocated	Relocated
28	Coconut palm	Cocos nucifera	1	Good	Relocated	Relocated outside Rear UE
29	Podocarpus	Podocarpus macrophyllus	Hedge	Good	Existing	Existing to Remain - No Changes
30	Podocarpus	Podocarpus macrophyllus	Hedge	Good	Relocated	Relocated to provide coverage
31	Tamano	Calophyllum inophyllum	Hedge	Good	Existing	Existing to Remain - No Changes

D.B.H = measured at 4 1/2" from grade level

- NOTES:**
 1. QUALIFIED TREES AND SHRUBS TO SATISFY THE LANDSCAPE CODE REQUIREMENTS SHALL COMPLY WITH "SECTION 27-254(22)"
 2. FOR PLANTING DETAILS SEE SHEET L-003

PLANT MATERIAL:
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2 PROPOSED TREE DISPOSITION PLAN
 SCALE: 1/8" = 1'-0"

JOSE GONZALEZ, A.I.A.
 RA# 0008612
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 INTERIOR DESIGN
 DESIGN & CONSTRUCTION
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 e-mail: jgovi@bellsouth.net

PROPOSED EXTERIOR RENOVATION AT
 276 Bal Cross Dr. Bal Harbour, FL 33154

PROJECT
AS SHOWN
SCALE
CONSULTANT

JOSE GONZALEZ, R.A.
 #8612

REVISIONS	
DATE	DESCRIPTION
07/02/2024	1 BLDG. DPT. COMMENTS
08/02/2024	2 BLDG. DPT. COMMENTS

10/11/2024
 DATE

L-002
 DRAWING

PROPOSED PLANT LIST

EXISTING PLANT INVENTORY						
SYM	Common Name	Botanical Name	Quantity	Condition	Status	Comments
1	Sawtooth palm	Serenoa repens	1	Good	Existing	Existing to Remaing - No Changes
2	Sawtooth palm	Serenoa repens	1	Good	Existing	Existing to Remaing - No Changes
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13	Tamau	Calophyllum inophyllum	1	Good	Relocated	Relocated outside Rear UE
14	Coconut palm	Cocos nucifera	1	Good	Relocated	Relocated outside Rear UE
15	Miniature date palm	Phoenix roebelenii	1	Good	Existing	Existing to Remaing - No Changes
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D.B.H = measured at 4 1/2" from grade level

NOTES:
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2 RENDERED PROPOSED TREE DISPOSITION PLAN
 SCALE: 1/8" = 1'-0"



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**PROPOSED
 EXTERIOR
 RENOVATION
 AT**

276 Bal Cross Dr, Bal
 Harbour, FL 33154

PROJECT

AS SHOWN
 SCALE

CONSULTANT

JOSE GONZALEZ, R.A.
 #8612

REVISIONS	
DATE	DESCRIPTION

10/11/2024
 DATE

L-003

DRAWING

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D

C

B

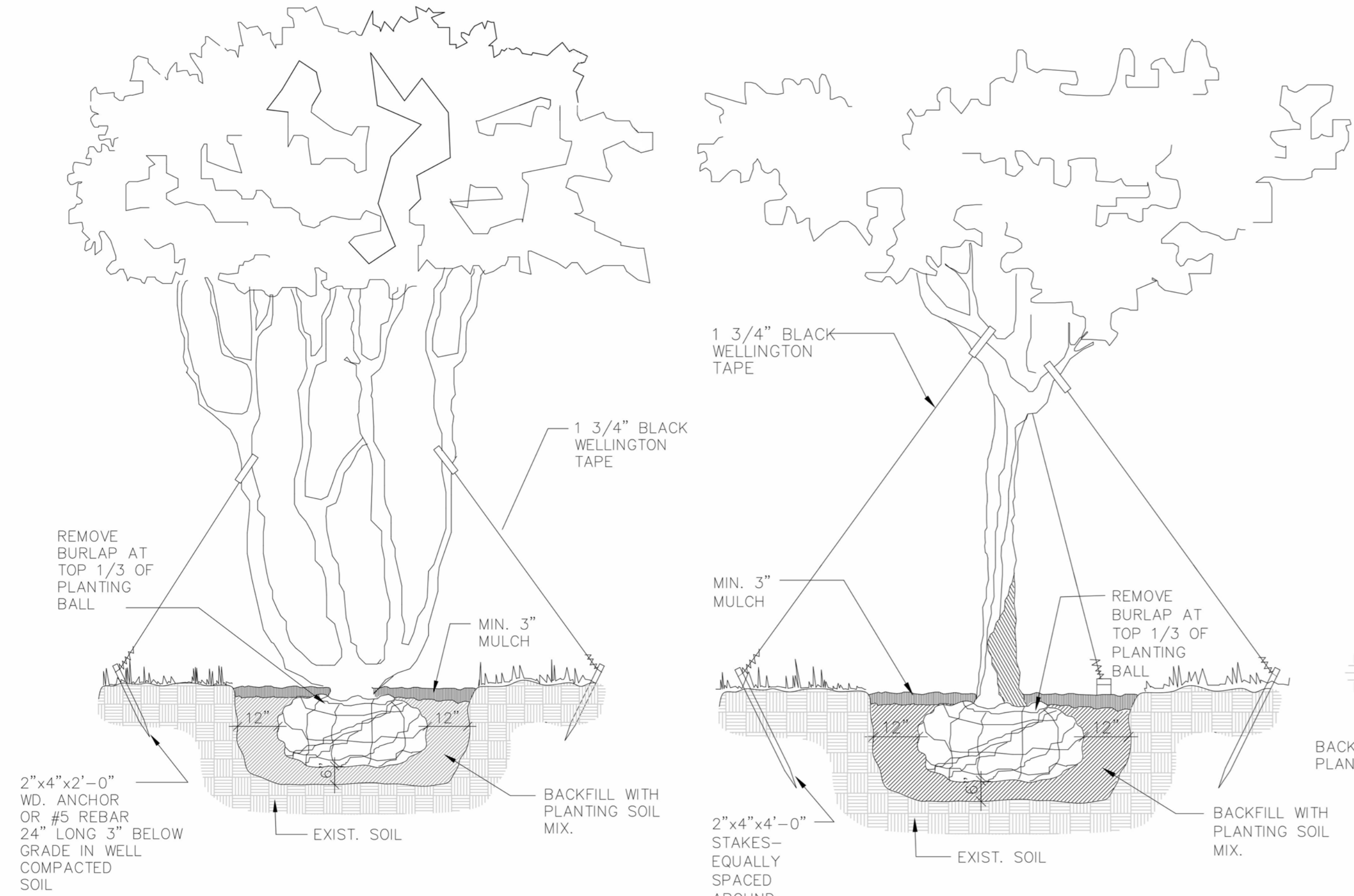
A

D

C

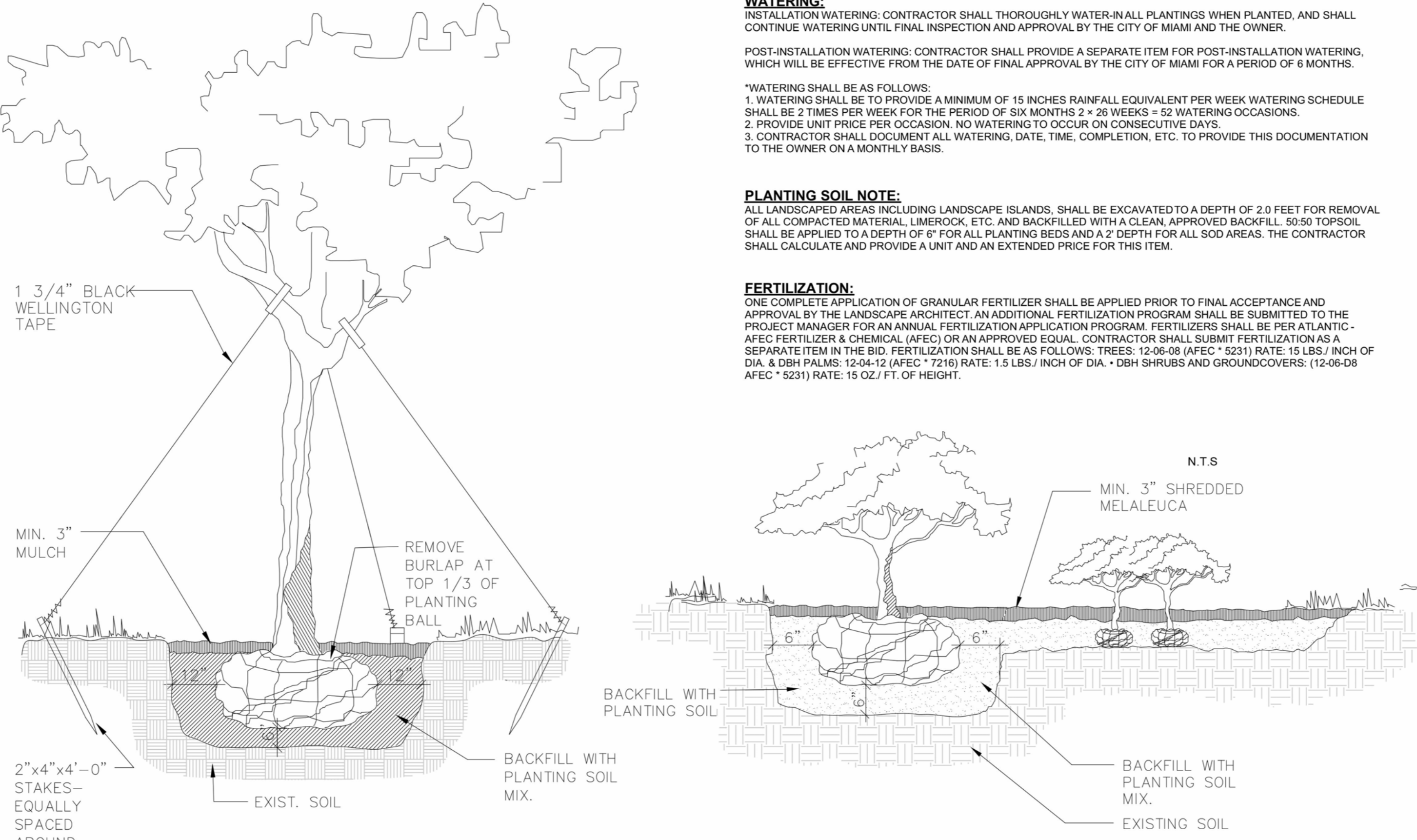
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A



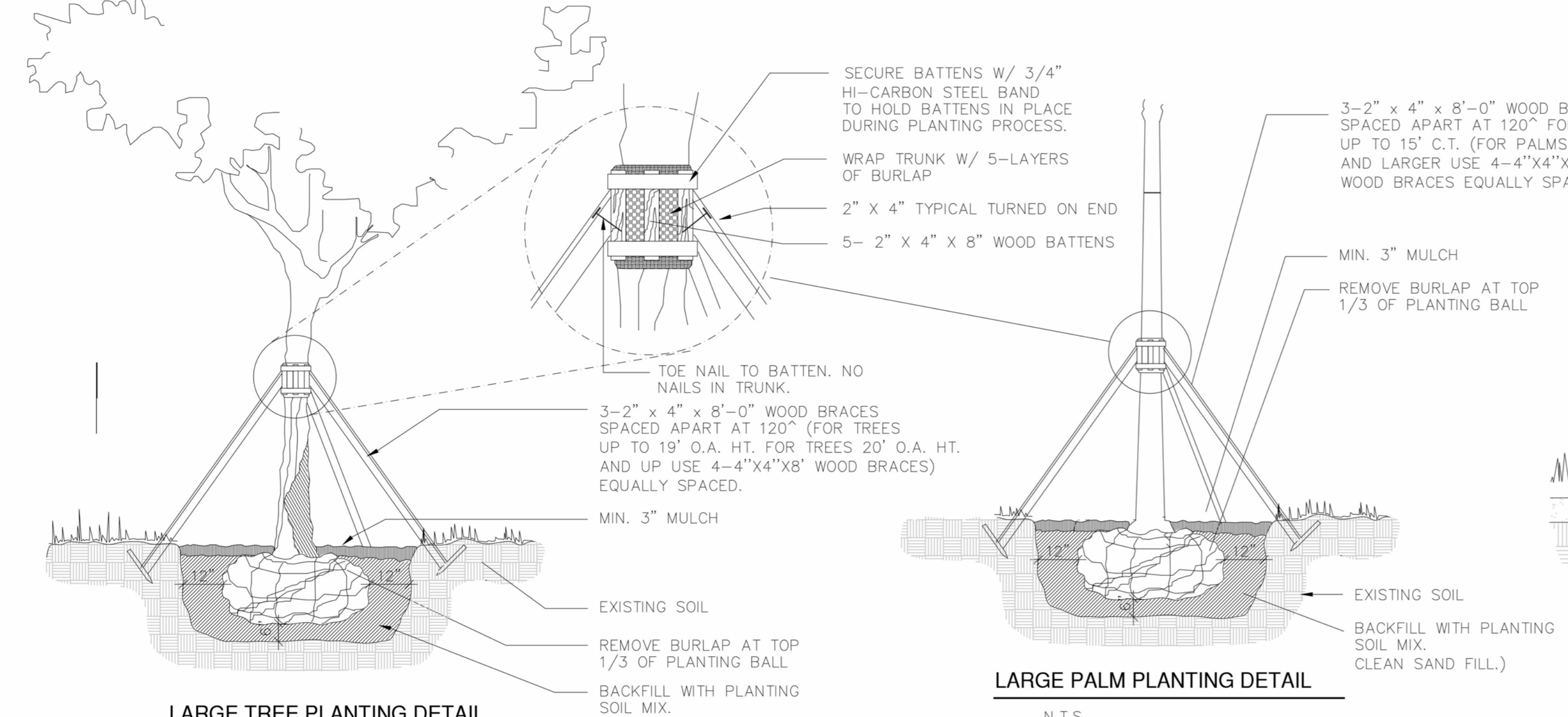
MULTI-TRUNK TREE PLANTING DETAIL

N.T.S.



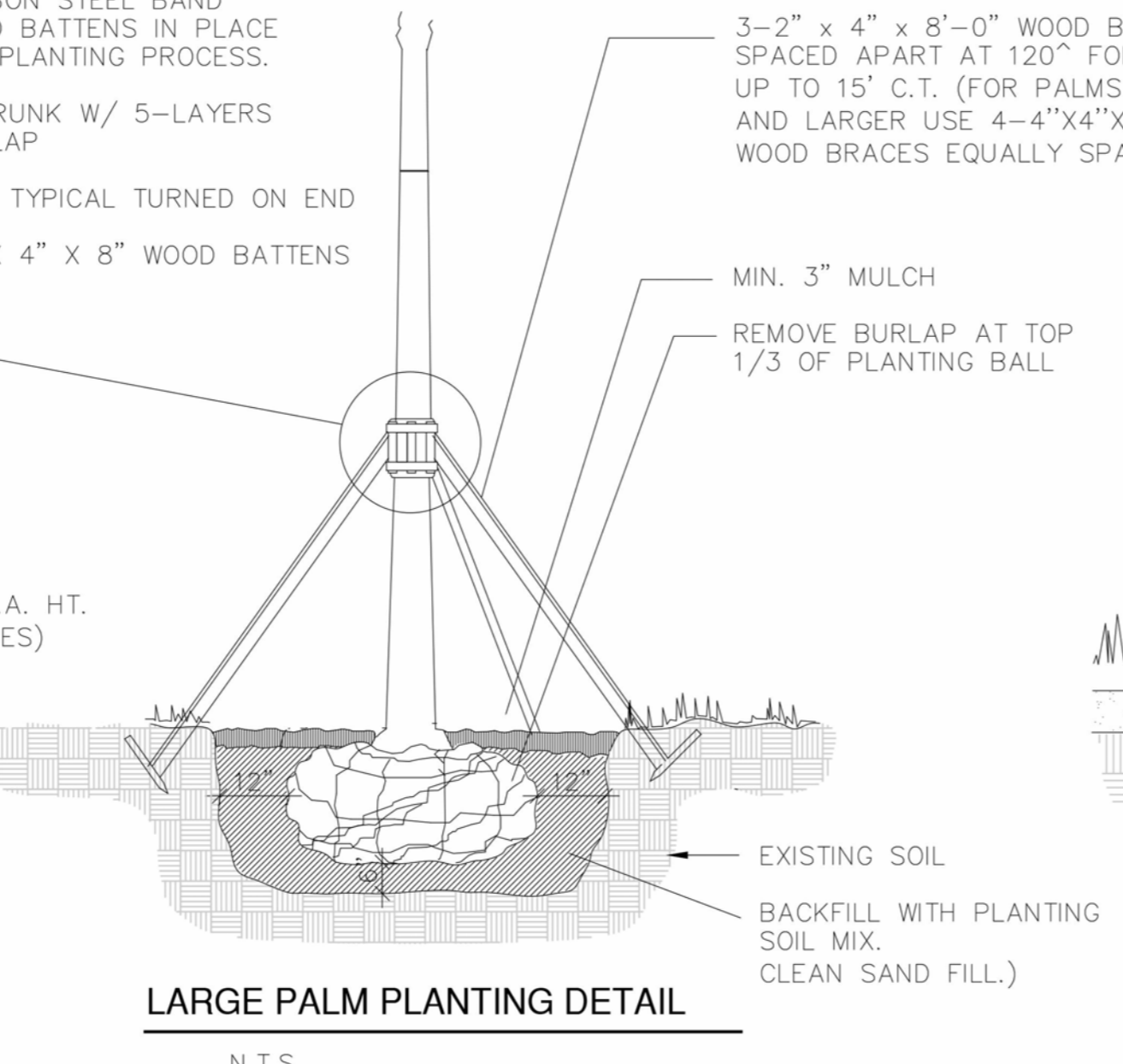
SHRUB AND GROUND COVER DETAIL

N.T.S.



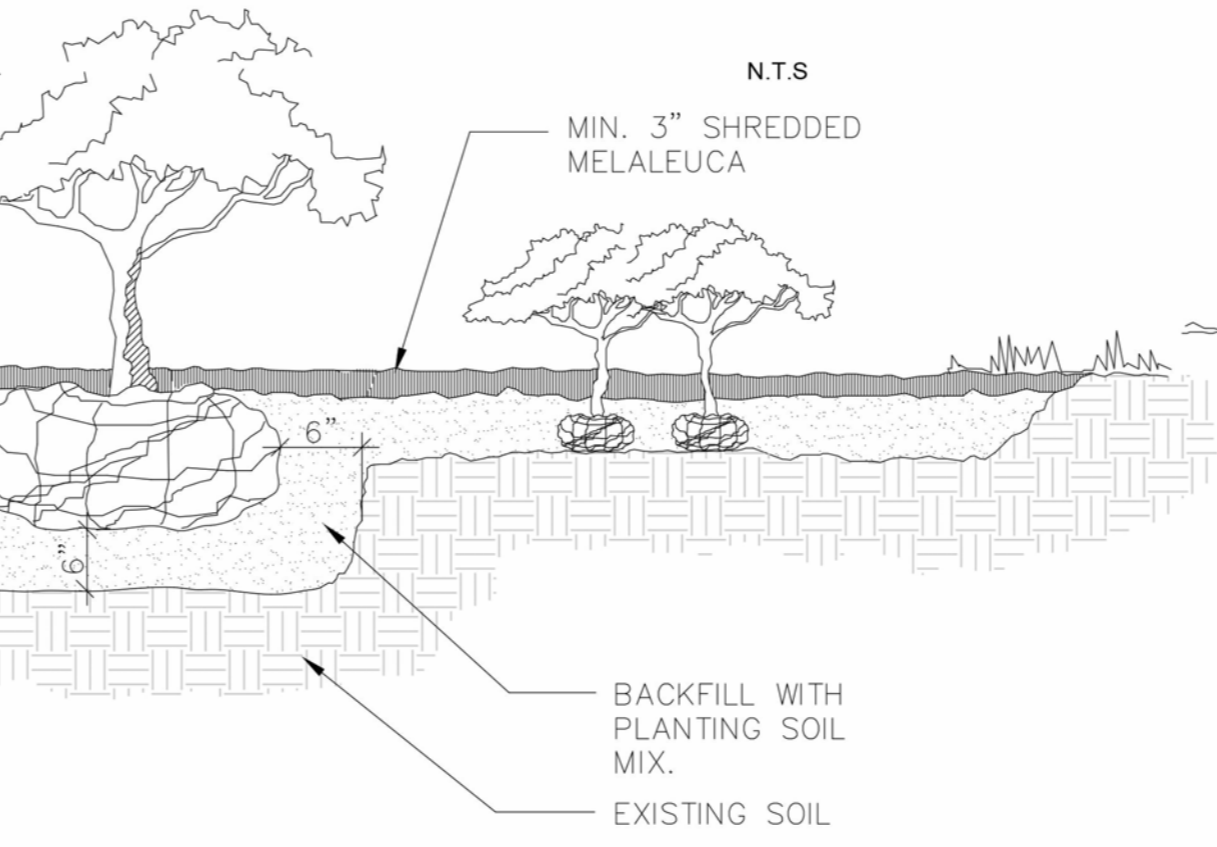
LARGE TREE PLANTING DETAIL

N.T.S.



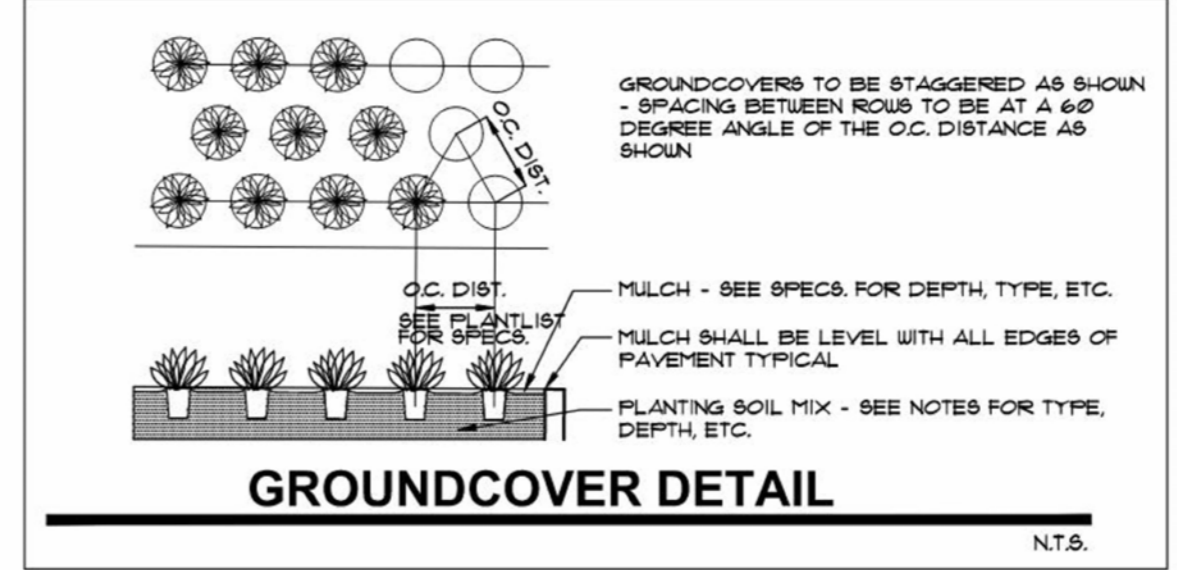
LARGE PALM PLANTING DETAIL

N.T.S.



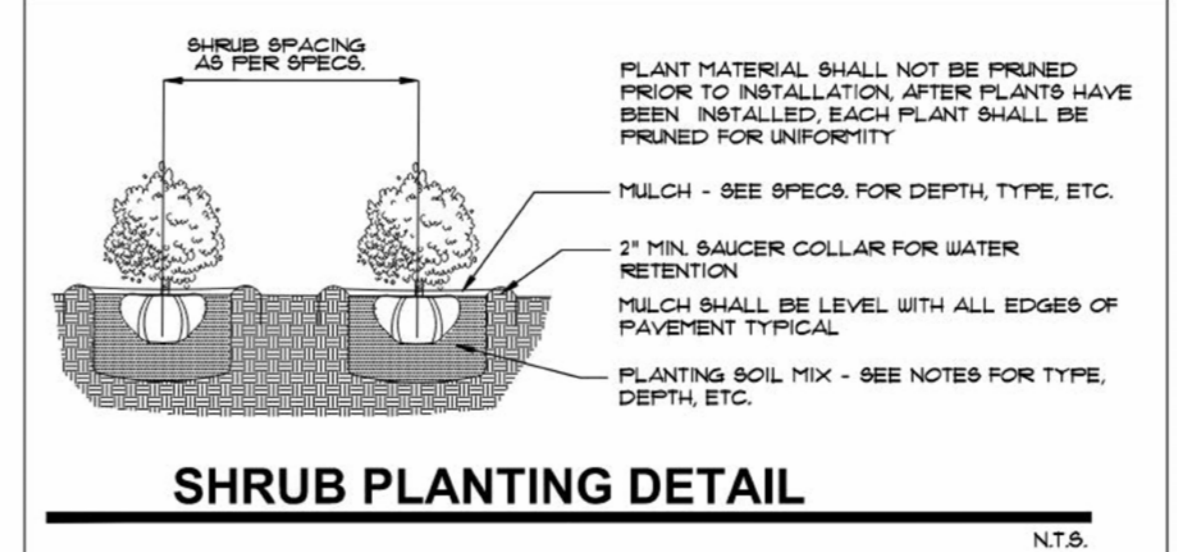
SOD INSTALLATION DETAIL (TYP.)

N.T.S.



GROUNDCOVER DETAIL

N.T.S.



SHRUB PLANTING DETAIL

N.T.S.

WATERING:
 INSTALLATION WATERING: CONTRACTOR SHALL THOROUGHLY WATER IN ALL PLANTINGS WHEN PLANTED, AND SHALL CONTINUE WATERING UNTIL FINAL INSPECTION AND APPROVAL BY THE CITY OF MIAMI AND THE OWNER.
 POST-INSTALLATION WATERING: CONTRACTOR SHALL PROVIDE A SEPARATE ITEM FOR POST-INSTALLATION WATERING, WHICH WILL BE EFFECTIVE FROM THE DATE OF FINAL APPROVAL BY THE CITY OF MIAMI FOR A PERIOD OF 6 MONTHS.

"WATERING SHALL BE AS FOLLOWS:
 1. WATERING SHALL BE TO PROVIDE A MINIMUM OF 15 INCHES RAINFALL EQUIVALENT PER WEEK WATERING SCHEDULE SHALL BE 2 TIMES PER WEEK FOR THE PERIOD OF SIX MONTHS 2 x 26 WEEKS = 52 WATERING OCCASIONS.
 2. PROVIDE UNIT PRICE PER OCCASION, NO WATERING TO OCCUR ON CONSECUTIVE DAYS.
 3. CONTRACTOR SHALL DOCUMENT ALL WATERING, DATE, TIME, COMPLETION, ETC. TO PROVIDE THIS DOCUMENTATION TO THE OWNER ON A MONTHLY BASIS.

PLANTING SOIL NOTE:
 ALL LANDSCAPED AREAS INCLUDING LANDSCAPE ISLANDS, SHALL BE EXCAVATED TO A DEPTH OF 2.0 FEET FOR REMOVAL OF ALL COMPACTED MATERIAL, LIMEROCK, ETC. AND BACKFILLED WITH A CLEAN, APPROVED BACKFILL. 50:50 TOPSOIL SHALL BE APPLIED TO A DEPTH OF 8" FOR ALL PLANTING BEDS AND A 2" DEPTH FOR ALL SOD AREAS. THE CONTRACTOR SHALL CALCULATE AND PROVIDE A UNIT AND AN EXTENDED PRICE FOR THIS ITEM.

FERTILIZATION:
 ONE COMPLETE APPLICATION OF GRANULAR FERTILIZER SHALL BE APPLIED PRIOR TO FINAL ACCEPTANCE AND APPROVAL BY THE LANDSCAPE ARCHITECT. AN ADDITIONAL FERTILIZATION PROGRAM SHALL BE SUBMITTED TO THE PROJECT MANAGER FOR AN ANNUAL FERTILIZATION APPLICATION PROGRAM. FERTILIZERS SHALL BE PER ATLANTIC - AFEC FERTILIZER & CHEMICAL (AFEC) OR AN APPROVED EQUAL. CONTRACTOR SHALL SUBMIT FERTILIZATION AS A SEPARATE ITEM IN THE BID. FERTILIZATION SHALL BE AS FOLLOWS: TREES: 12-06-08 (AFEC * 5231) RATE: 15 LBS/ INCH DIA. & DBH PALMS: 12-04-12 (AFEC * 7216) RATE: 1.5 LBS/ INCH OF DIA. • DBH SHRUBS AND GROUNDCOVERS: (12-06-08 AFEC * 5231) RATE: 15 OZ/ FT. OF HEIGHT.

LANDSCAPE NOTES:

- ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 GRADE OR BETTER.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION OF AND AVOID AND PROTECT UTILITY LINES, BURIED CABLES, AND OTHER UTILITIES.
- TREE PALM ACCENT AND BED LINES ARE TO BE LOCATED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANTING SOIL SHALL BE 50:50 TOPSOIL, SAND MIX, FREE OF CLAY, STONES, ROCKS, OR OTHER FOREIGN MATTER. THIS SPECIFICATION INCLUDES ALL BACKFILL FOR BERMS AND OTHER LANDSCAPE AREAS.
 SODDED - LAWN AREAS:
 2" DEPTH PLANTING SOIL SPREAD IN PLACE - THROUGHOUT.
 GROUNDCOVER PLANTING BEDS:
 6" DEPTH PLANTING SOIL SPREAD IN PLACE - THROUGHOUT.
 SHRUB AND HEDGE PLANTING AREAS:
 12" DEPTH PLANTING SOIL SPREAD IN PLACE - THROUGHOUT.
 TREES, PALMS, SPECIMEN PLANT MATERIAL:
 24" DEPTH PLANTING SOIL SPREAD IN PLACE OR TO THE DEPTH OF THE ROOTBALL OR CONTAINER WHICHEVER IS GREATEST.
 LANDSCAPE ISLANDS AND BUILDING FOUNDATIONS:
 EXCAVATE AND REMOVE ALL LIMEROCK ROCKS, DEBRIS, ETC. TO A DEPTH OF 12" AND BACKFILL W/ 50:50 TOPSOIL SAND MIX.
 BUILDING FOUNDATIONS SHALL BE THE SAME DEPTH WIDTH OF 36" FROM THE BUILDING BASE.
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO WITHIN 2" OF FINAL GRADES. THIS SHALL INCLUDE A 2" APPLICATION OF 50:50 TOPSOIL, SAND MIX FOR ALL LANDSCAPE AND AREAS TO BE SODDED.
- THE LANDSCAPE CONTRACTOR SHALL CALCULATE AND SUBMIT AN ITEMIZED PRICE FOR THE 2" APPLICATION OF 50:50 MIX FOR ALL SOD AREAS AS A REFERENCE IN THE CASE THAT THERE WOULD BE A DISCREPANCY BETWEEN SITE AND LANDSCAPE CONTRACTORS AND NOTIFY THE SITE CONTRACTOR OR PROJECT SUPERINTENDENT AS TO THIS DISCREPANCY. IT WILL THEN BE DETERMINED WHICH PARTY WILL PROVIDE THIS 2" TOPSOIL SAND APPLICATION AND SUBSEQUENT PAYMENT. OTHER PLANTING SOIL MIXES TO BE ADDED, I.E. FOR TREES, PALMS, SPECIMEN PLANTS, SHRUBS AND GROUNDCOVERS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AND BE INCLUSIVE WITH THE LANDSCAPE BID.
- CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AND LEAVE PROVISIONS FOR ALL, INCLUDING UNDERGROUND UTILITY LINE LOCATIONS DIAL 811 "NO CUTS" AS REQUIRED BY LAW. 8. ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 3" WITH AN APPROVED RECYCLED MULCH BY THE PRESIDING GOVERNING AGENCY. NO HEAVY METALS, I.E. ARSENIC, LEAD, ETC. ARE TO BE CONTAINED IN THE MULCH AND THE CONTRACTOR SHALL PROVIDE CERTIFICATION OR PROOF THAT ALL MULCH IS FREE OF HEAVY METALS OR SIMILAR ENVIRONMENTAL CONTAMINANTS.
- SOD SHALL BE STRONGLY ROOTED, FREE FROM WEED, FUNGUS, INSECTS AND DISEASE. CONTRACTOR SHALL SOD ALL AREAS AS INDICATED ON THE PLAN OR AS DIRECTED. PAYMENT SHALL BE DETERMINED BY THE TOTAL MEASURED SODDED AREAS X THE UNIT PRICE SUBMITTED AND FIELD VERIFIED.
- SOD SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AS DEFINED BY FDOT. SOD SHALL CARRY A 5-MONTH WARRANTY.
- ALL TREES, PALMS, SHRUBS AND GROUNDCOVERS SHALL CARRY A ONE-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.
- ALL TREES AND PALMS SHALL BE STAKED PER ACCEPTED STANDARDS BY THE FLORIDA NURSERYMEN + GROWERS LANDSCAPE ASSOCIATION (FNGLA). THERE SHALL BE ONE FINAL INSPECTION FOR APPROVAL BY THE PRESIDING GOVERNING AGENCY. CONTRACTOR SHALL INSURE THAT THE PLANS, DETAILS, SPECIFICATIONS AND NOTES HAVE BEEN ADHERED TO AND THAT THE LANDSCAPE AND IRRIGATION INSTALLATION IS COMPLIANT TO ALL ITEMS AS DIRECTED ON THE PLANS PRIOR TO SCHEDULING OF THE FINAL INSPECTION.
- THE PLANT LIST IS INTENDED ONLY AS AN AID TO BIDDING. ANY DISCREPANCIES FOUND BETWEEN THE QUANTITIES ON THE PLAN AND PLANT LIST, THE QUANTITIES ON THE PLAN SHALL BE HELD VALID.
- IRRIGATION SHALL PROVIDE FOR A 100% COVERAGE WITH A 100% OVERLAP. AUTOMATIC SYSTEM W/ RAIN MOISTURE SENSOR ATTACHED TO CONTROLLER ALL FLORIDA BUILDING CODE APPENDIX F IRRIGATION REQUIREMENTS SHALL BE STRICTLY ADHERED TO FOR INSTALLATION AND PREVAILING WATER MANAGEMENT DISTRICT RESTRICTIONS AND REGULATIONS SHALL BE IN COMPLIANCE FOR POST-INSTALLATION WATERING SCHEDULES.
- EXISTING IRRIGATION SYSTEM (IF APPLICABLE) SHALL BE RETROFITTED TO COMPLY WITH THOSE SPECIFICATIONS AS OUTLINED ABOVE.
- CONTRACTOR SHALL PROVIDE A WATER TRUCK DURING PLANTING TO INSURE PROPER WATERING IN DURING INSTALLATION AND WILL BE RESPONSIBLE FOR CONTINUAL WATERING UNTIL FINAL ACCEPTANCE BY THE OWNER.
- ALL EXISTING TREES, PALMS AND PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. CONTRACTOR SHALL INSTALL PROTECTIVE BARRIERS SUCH AS TENAX PROTECTIVE FENCING OR AS SHOWN ON THE DETAILS TO BE INSTALLED AT THE BEGINNING OF THE PROJECT. BARRIERS SHALL BE LOCATED TO INCLUDE THE DRUMLINE OF THE TREES, PALMS AND PLANT MATERIAL WHERE POSSIBLE. THE CONTRACTOR SHALL TAKE EXTRA CAUTION TO PREVENT ANY DAMAGE TO THE TRUNK, BRANCHES, ROOTS, ROOT ZONE AREAS AND ADJACENT GRADES.
- EXISTING TREES AND PALMS TO REMAIN SHALL BE TRIMMED PER ANSI-300 STANDARDS. SUPERVISION OF THE TRIMMING SHALL BE PERFORMED BY AN ISA-CERTIFIED ARBORIST.
- ALL EXISTING TREES AND PALMS SHALL BE "LIFTED AND THINNED" TO PROVIDE FOR AN 8' MINIMUM CLEARANCE FOR SIDEWALKS AND PEDESTRIAN WALKWAYS AND A 14' MINIMUM CLEARANCE FOR ROADWAYS, DRIVEWAYS, AND ALL VEHICULAR USE AREAS.
- REMOVAL OF ANY TREES OR PALMS WILL REQUIRE A WRITTEN "TREE REMOVAL PERMIT" FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL.
- ALL PLANTINGS IN NON-IRRIGATED AREAS, I.E. RIGHTS OF WAYS, SWALES, ETC. SHALL BE WATERED IN THOROUGHLY AND CONTINUED TO BE WATERED THROUGHOUT UNTIL C.O. ACCEPTANCE. COORDINATE WITH OWNER AND PROJECT MANAGER TO PROVIDE POST C.O. WATERING TO INSURE PLANT ESTABLISHMENT FOR A MINIMUM OF ONE YEAR AFTER CERTIFICATE OF OCCUPANCY ACCEPTANCE.



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PROPOSED EXTERIOR RENOVATION AT

276 Bal Cross Dr, Bal Harbour, FL 33154

PROJECT

AS SHOWN

SCALE

CONSULTANT

JOSE GONZALEZ, R.A.
 #8612

REVISIONS	
DATE	DESCRIPTION

10/11/2024

DATE

L-004

DRAWING

GENERAL NOTES:

1. A COPY OF THIS STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND THE NOTICE THE INTENT (N.I.O.) SHALL BE POSTED AT THE CONSTRUCTED SITE IN A PROMINENT PLACE FOR PUBLIC VIEWING.
2. CONTRACTOR SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF THE U.S. ENVIRONMENTAL PROTECTION AGENCY (EPA) NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT. IN PARTICULAR, SEDIMENT AND EROSION CONTROLS AND STORM WATER MANAGEMENT MEASURES SHALL BE STRICTLY FOLLOWED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION, SEDIMENTATION AND STORM WATER MANAGEMENT MEASURES FOR THE DURATION OF THE PROJECT. ONCE THE PROJECT HAS BEEN COMPLETED, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY STORM WATER MANAGEMENT MEASURES AND SHALL DISPOSE THEM ACCORDING TO CODE.

MAINTENANCE AND INSPECTION PROCEDURES:

1. THE GENERAL CONTRACTOR'S SITE SUPERINTENDENT SHALL SELECT THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION MAINTENANCE REPORT. PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES SHALL RECEIVE PROPER TRAINING IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER.
2. ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE INSPECTED EVERY 7 DAYS OR WITHIN 24 HOURS OF A STORM OF 0.5 INCHES OR MORE IN DEPTH. ALL CONTROLS MUST BE IN GOOD OPERATING CONDITION UNTIL THE AREA THEY PROTECT HAS BEEN COMPLETELY STABILIZED AND THE CONSTRUCTION IS COMPLETE.
3. BUILT UP SEDIMENT WILL BE REMOVED FROM THE SILT FENCE WHEN IT HAS REACHED ONE THIRD OF THE HEIGHT OF THE FENCE.
4. SILT FENCE SHALL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, IF FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND IF FENCE POSTS ARE FIRMLY IN THE GROUND.
5. TEMPORARY AND PERMANENT SEEDING AND PLANTING SHALL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.
6. THE INSPECTOR SHALL RECORD ANY DAMAGES OR DEFICIENCIES IN THE CONTROL MEASURES ON AN INSPECTION REPORT FORM PROVIDED FOR THIS PURPOSE. THESE REPORTS SHALL DOCUMENT THE INSPECTION OF ALL POLLUTION PREVENTION MEASURES AND SHALL ALSO BE USED TO REQUEST MAINTENANCE AND REPAIR. THE CONTRACTOR SHALL CORRECT DAMAGE OR PROVIDE MAINTENANCE AS RECOMMENDED BY REPORT AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN 7 DAYS AFTER THE INSPECTION. FAILURE TO DO SO SHALL BE REPORTED TO THE DEP.

EROSION AND SEDIMENTATION CONTROLS:

1. CONTRACTOR SHALL INSTALL A TYPE III SILT FENCE, AS PER FDOT STANDARD INDEX NO. 102, AROUND THE LIMITS OF CONSTRUCTION PRIOR TO ANY DEMOLITION, FILLING OR GRADING OF ANY PORTIONS OF THE SITE.
2. PROPOSED INLETS, ONCE INSTALLED, SHALL BE PROTECTED FROM EROSION AND SEDIMENT RUNOFF BY THE USE OF SYNTHETIC BALES AS PER FDOT STANDARD INDEX NO. 102.
3. A GRAVEL ACCESS ROAD SHALL BE CONSTRUCTED TO MINIMIZE THE EFFECTS OF TRUCK TRAFFIC AND SEDIMENTATION TRACKING BOTH ON AND OFF OF THE SITE.
4. TOP OF SOIL PILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 14 DAYS SHALL BE STABILIZED WITH SEED AND MULCH NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE SEEDING SHALL BE RYE (GRAIN) APPLIED AT THE RATE OF 120 POUNDS PER ACRE. AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 4,000 POUNDS OF STRAW PER ACRE.
5. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. SEEDING SHALL BE THE SAME AS IN TEMPORARY SEEDING.

SEQUENCE OF MAJOR ACTIVITIES:

1. INSTALL TYPE III SILT FENCE AT BOUNDARIES OF PROPOSED CONSTRUCTION. AND INSTALL CONSTRUCTION ENTRANCE.
2. COMMENCE SITE CONSTRUCTION ACTIVITIES.
3. AS PROPOSED INLETS ARE CONSTRUCTED, INSTALL HAY BALE SILT BARRIER.
4. INSTALL TEMPORARY SEED AND MULCH IN AREAS WHERE CONSTRUCTION TEMPORARILY CEASES FOR AT LEAST 7 DAYS NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITIES.
5. INSTALL PERMANENT SEEDING AND PLANTING IN AREAS WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY VEASED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITIES.
6. REMOVE ACCUMULATED SEDIMENT.
7. REMOVE TEMPORARY POLLUTION PREVENTION MEASURES AFTER ALL CONSTRUCTION ON SITE HAS BEEN COMPLETED AND DISPOSE OF ACCORDING TO CODE.

OTHER CONTROLS:

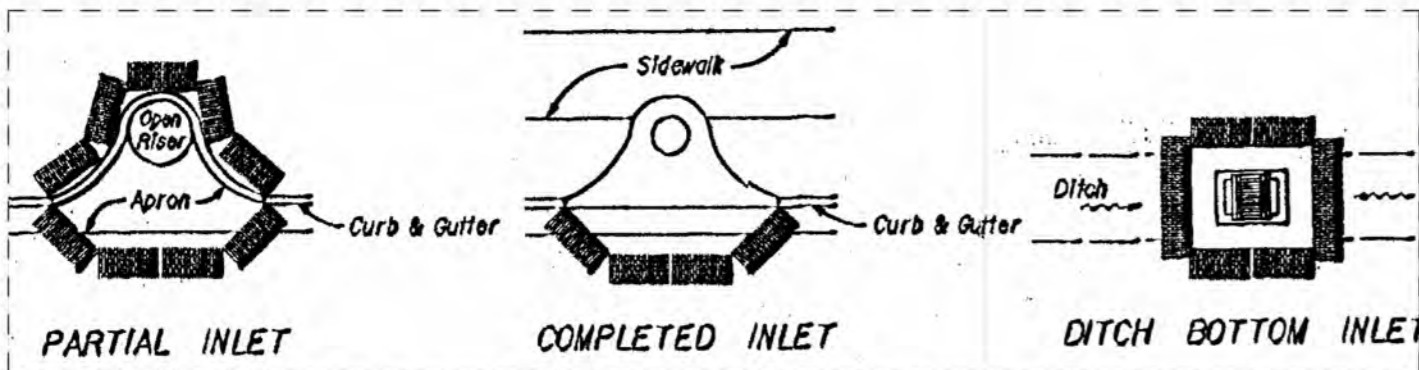
1. ALL CONSTRUCTION WASTE MATERIAL SHALL BE COLLECTED AND STORED IN A SECURELY METAL DUMPSTER RENTED FROM A LOCAL WASTE MANAGEMENT COMPANY. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURES FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES SHALL BE POSTED IN THE OFFICE TRAILER AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.
2. ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR, AS REQUIRED BY LOCAL REGULATIONS.
3. DUMP TRUCKS IMPORTING FILL MATERIALS TO THE SITE SHALL COVER THEIR LOADS WITH A TARPULIN TO AVOID UNNECESSARY GENERATION OF DUST.
4. ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF AS PER LOCAL AND/OR STATE REGULATIONS OR AS RECOMMENDED BY THE MANUFACTURER. SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.
5. A STABILIZED CONSTRUCTION ENTRANCE HAS BEEN PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE SHALL BE SWEEPED DAILY TO REMOVE ANY EXCESS OF MUD, DIRT, OR ROCK TRACKED FROM THE SITE.



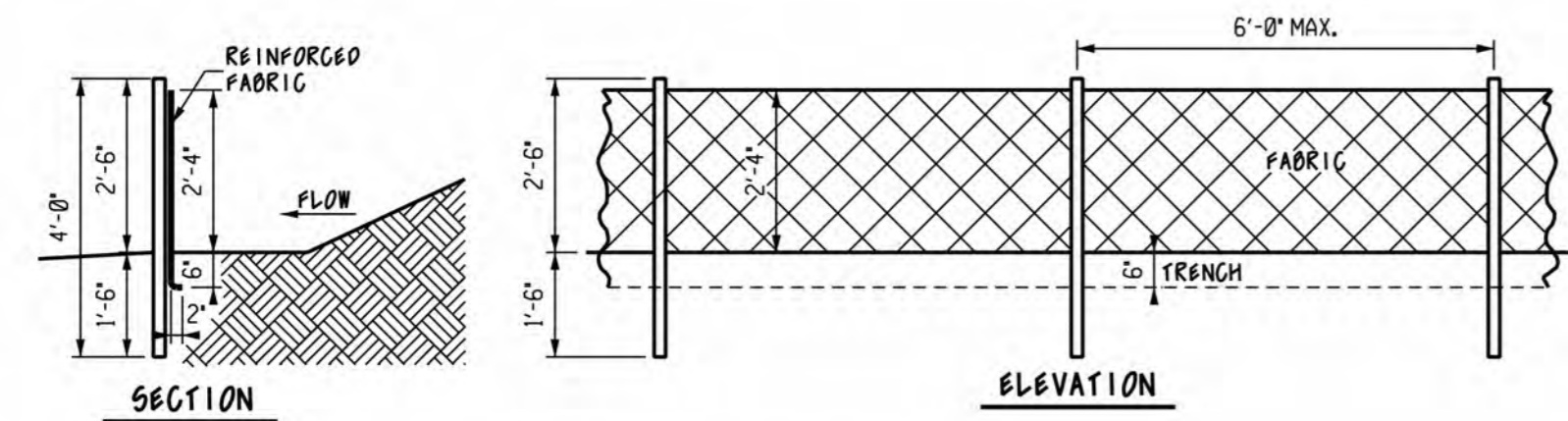
SILT FENCE SAMPLE PROPERTY LINE PROTECTION SAMPLE



GRAVEL DRIVEWAY SAMPLE INLET / CATCH BASIN PROTECTION SAMPLE



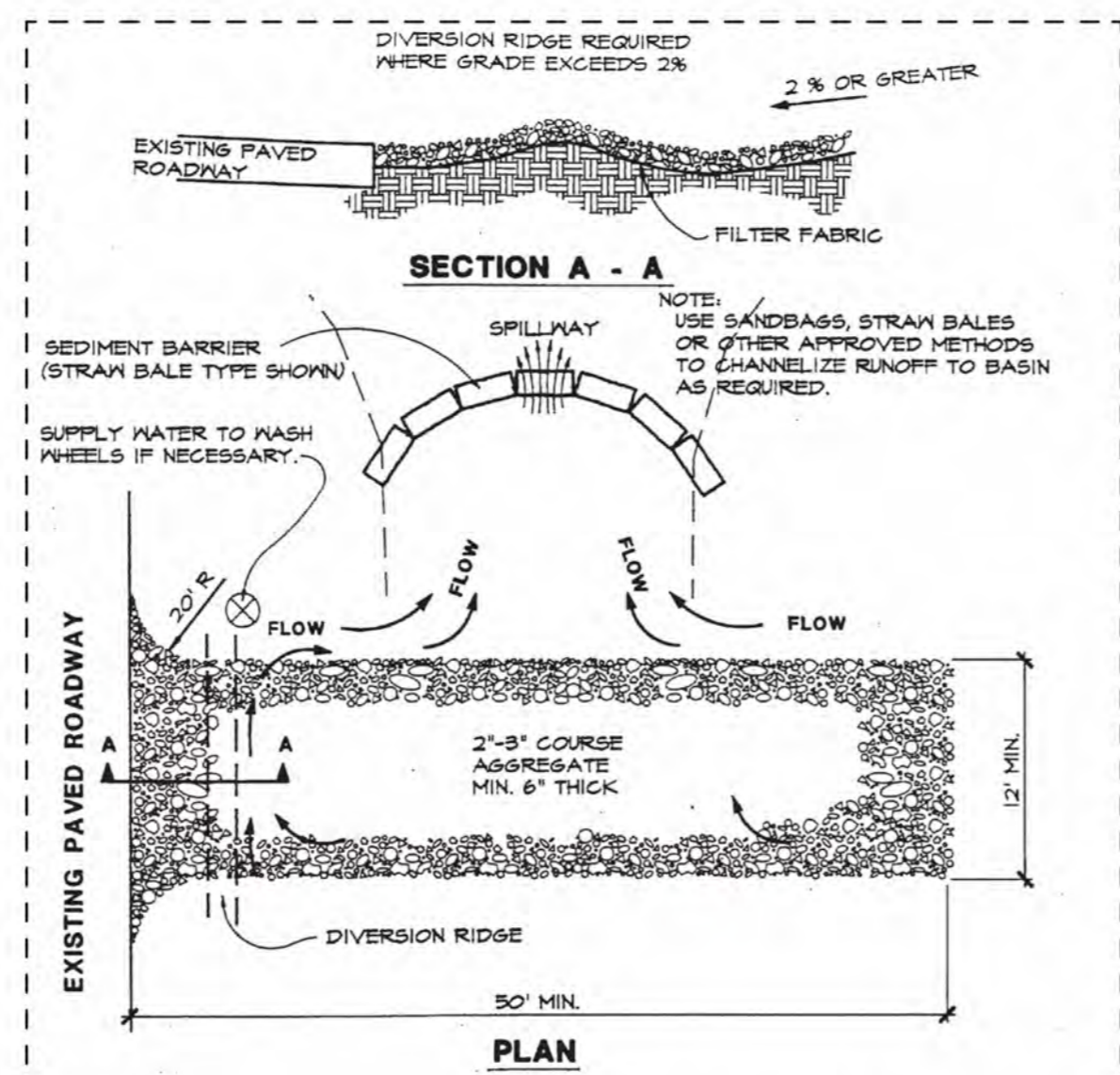
4 PROTECTION AROUND INLETS OR SIMILAR STRUCTURES NOT TO SCALE



2 TEMPORARY SEDIMENT BARRIER - SILT BARRIER NOT TO SCALE

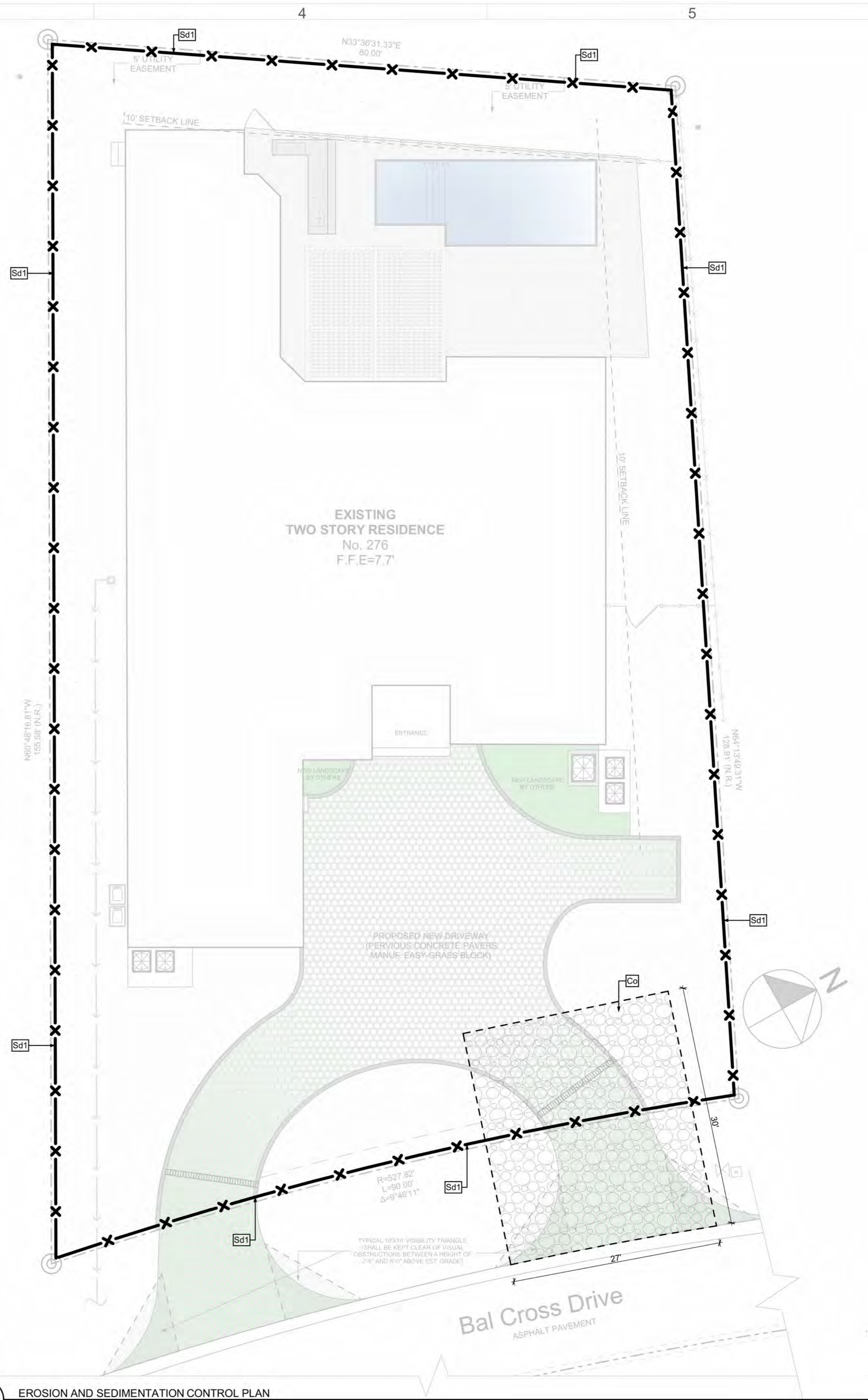
STRUCTURAL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Co	CONSTRUCTION EXIT			A crushed stone pad located at the construction site exit to provide a place for removing mud from tires, thereby protecting public streets.
Sd1	SEDIMENT BARRIER			A barrier to prevent sediment from leaving the construction site. It may be sandbags, bales of straw or hay, brush, logs and poles, gravel, or a sediment fence. The barriers are usually temporary and inexpensive.



NOTES:
 1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

3 GRAVEL CONSTRUCTION ENTRANCE DETAIL (FSESCI Manual) NOT TO SCALE



1 EROSION AND SEDIMENTATION CONTROL PLAN SCALE: 1/8" = 1'-0"



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PROPOSED EXTERIOR RENOVATION AT

276 Bal Cross Dr, Bal Harbour, FL 33154

PROJECT

AS SHOWN

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CONSULTANT

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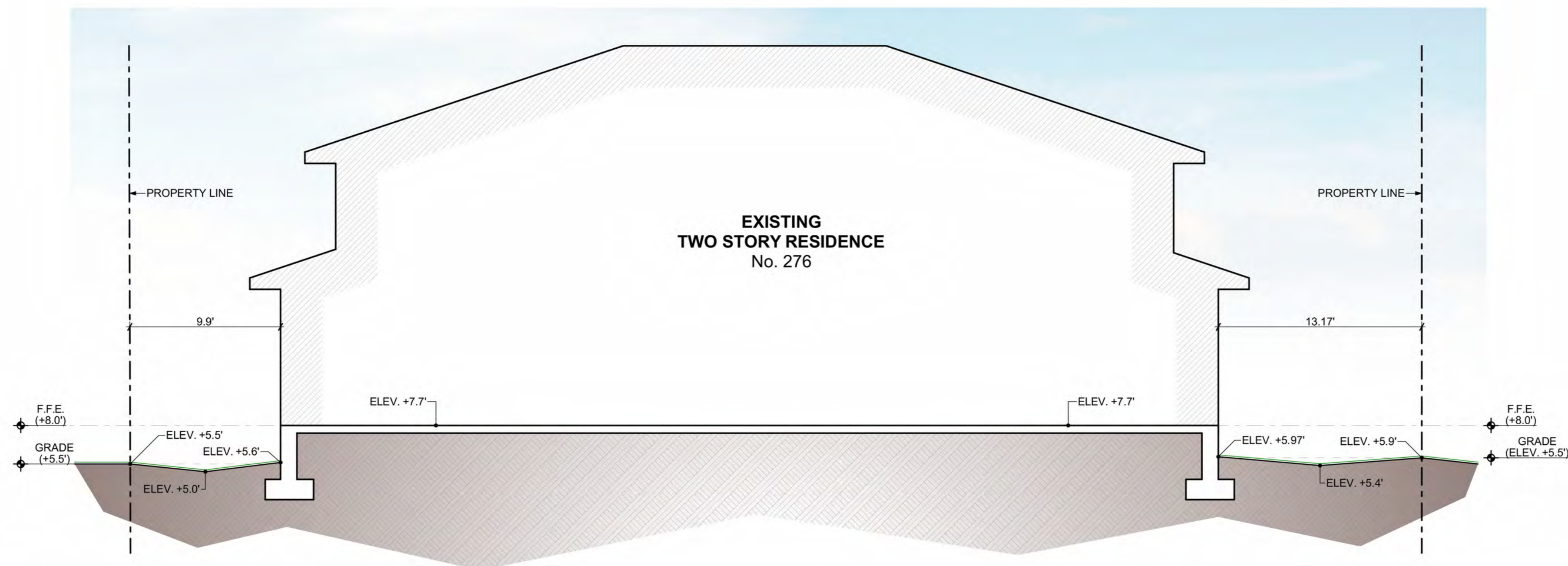
REVISIONS	
DATE	DESCRIPTION
07/02/2024	1 BLDG. DPT. COMMENTS
08/02/2024	2 BLDG. DPT. COMMENTS

10/11/2024

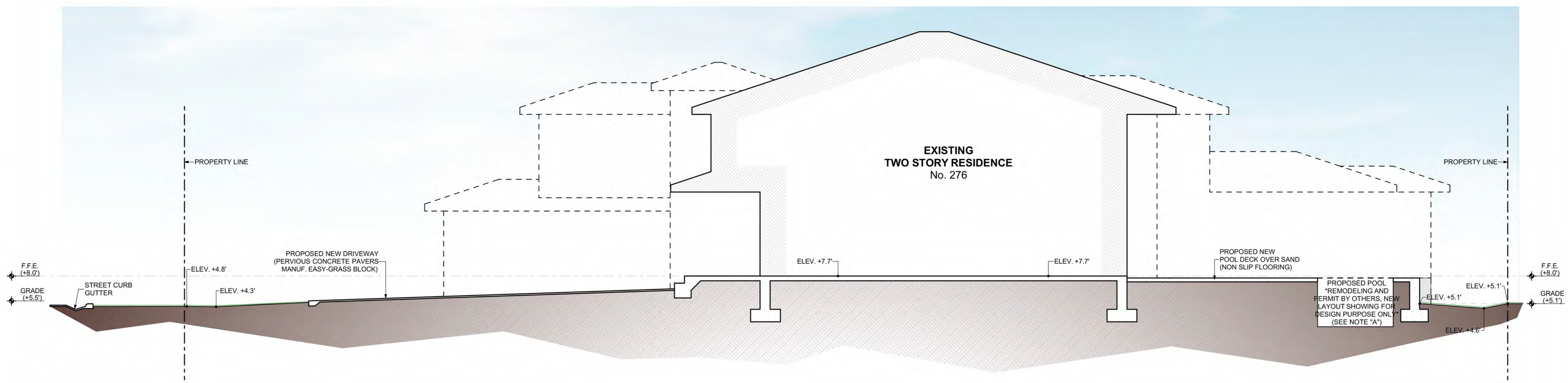
DATE

C-001

DRAWING



1 PROFILE SECTION 1
SCALE: 3/16" = 1'-0"



2 PROFILE SECTION 2
SCALE: 3/16" = 1'-0"

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**PROPOSED
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276 Bal Cross Dr. Bal
Harbour, FL 33154

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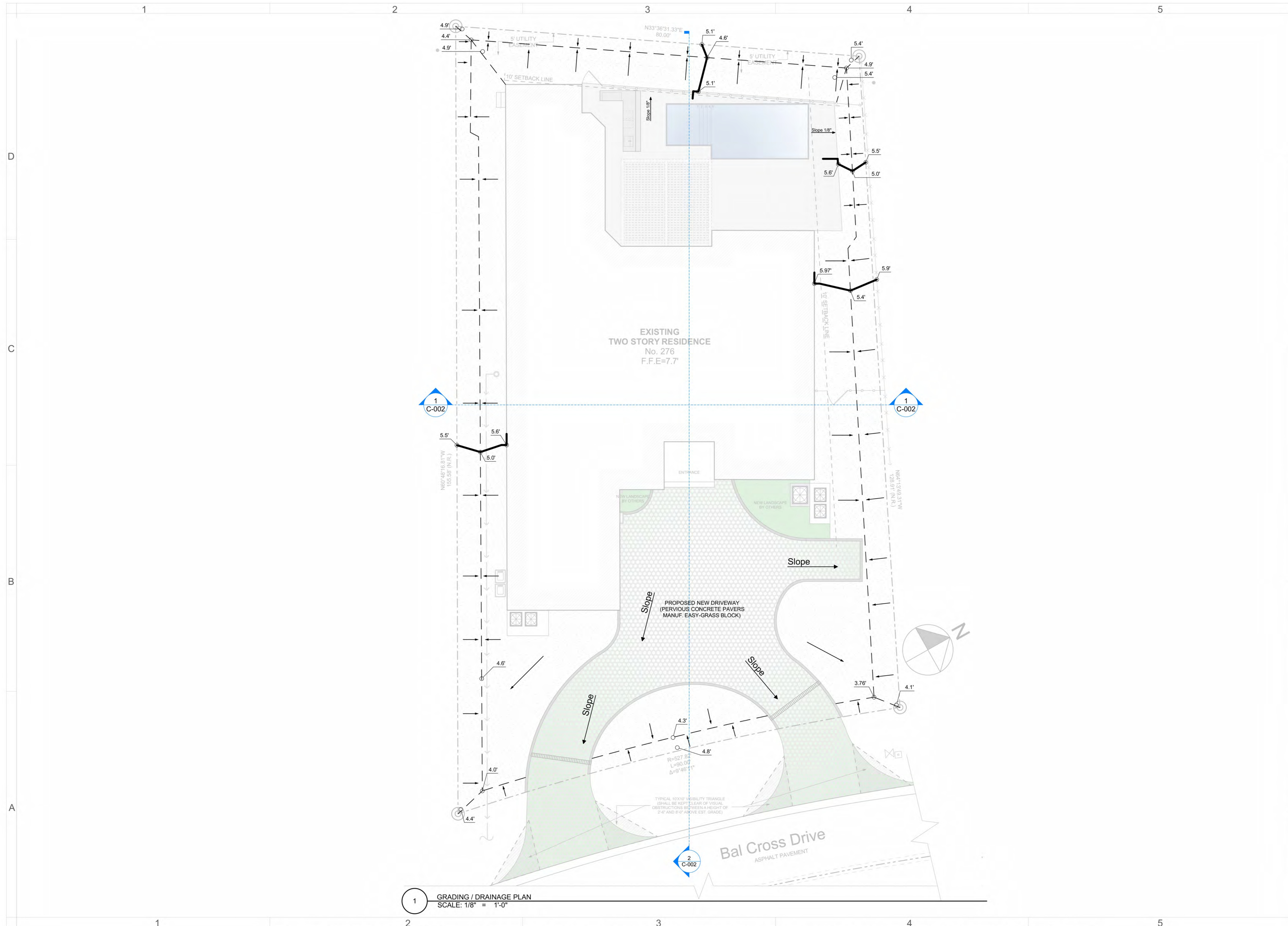
JOSE GONZALEZ, R.A.
#8612

REVISIONS	
DATE	DESCRIPTION
07/02/2024	1 BLDG. DPT. COMMENTS

10/11/2024
DATE

C-002
DRAWING

NOTE: CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION AND SHALL NOTIFY JOSE GONZALEZ, R.A. OF ANY DISCREPANCIES. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS SHALL GOVERN. DRAWINGS/ MAGNETIC MEDIA ARE THE PROPERTY OF ARCHITECT/JOSE GONZALEZ, R.A. AND SHALL NOT BE USED WITHOUT EXPRESSED WRITTEN CONSENT.



1 GRADING / DRAINAGE PLAN
SCALE: 1/8" = 1'-0"



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**PROPOSED
EXTERIOR
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AT**

276 Bal Cross Dr. Bal
Harbour, FL 33154

PROJECT

AS SHOWN
SCALE

CONSULTANT

JOSE GONZALEZ, R.A.
#8612

REVISIONS	
DATE	DESCRIPTION
08/02/2024	2 BLDG. DPT. COMMENTS

10/11/2024
DATE

C-003

DRAWING

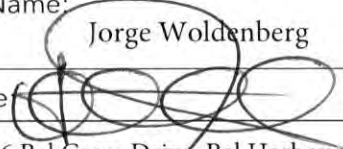

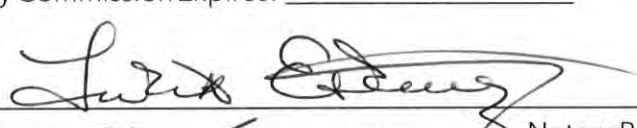
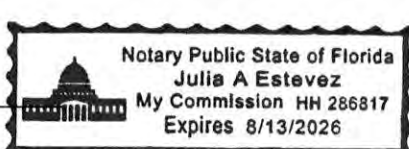
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Applicant / Owner / Architect / Engineer/ Affirmation and Consent

I acknowledge, affirm, and certify to all of the following:

1. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Plan and Code of Ordinances of Bal Harbour Village unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
2. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
3. Understand that the application, all attachments and fees become a part of the official records of Bal Harbour Village and are not returnable.
4. All application representatives have registered with and completed lobbyist forms for the Bal Harbour Village City Clerk's office.
5. Understand that under Florida Law, all the information submitted as part of the application are public records.
6. Failure to provide the information required for submittal/necessary for review by the Architectural Review Board may cause the application to be deferred without review.
7. That applications for Architectural Review Board review require the presence of the applicant and/or architect/engineer at the meeting unless otherwise notified.
8. All fees shall be paid at the time of submittal.
9. A written narrative explaining the architectural style of the proposed building or alteration
10. I have received consent from the owner of the property to file this application.

NOTE: ONLY ONE SIGNATURE OR AFFIRMATION/CONSENT IS REQUIRED

Owner Printed Name: <u>Jorge Woldenberg</u>		
Owner Signature: 		
Address: <u>276 Bal Cross Drive, Bal Harbour, FL 33154</u>		
Telephone: <u>786-546-6407</u>	Fax: <u>305-918-0570</u>	Email: <u>jwoldenberg@corpacgroup.com</u>
Architect(s)/Engineer(s) Print Name: <u>Jose Gonzalez</u>		Architect(s)/Engineer(s) Signature:
Address: <u>415 NE 114 St Miami FL 33161</u>		
Telephone: <u>305-891-3038</u>		Fax:
Email: <u>jogovi7191@gmail.com</u>		
		
<p>NOTARIZATION</p> <p>STATE OF FLORIDA COUNTY OF MIAMI-DADE</p> <p>Sworn to or affirm and subscribed before me this <u>1st</u> day of <u>April</u> in the year <u>2024</u> by <u>Jorge Woldenberg</u> who has taken an oath and is personally <u>known to me</u>, or has produced _____ as identification.</p> <p>My Commission Expires: <u>08/13/2026</u></p> <p> <u>JULIA ESTEVEZ</u> Notary Public</p> 		

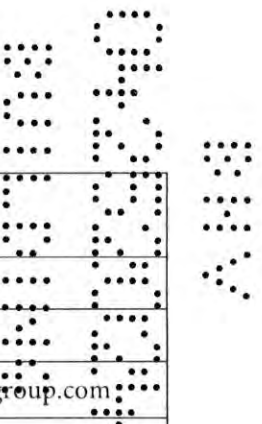


EXHIBIT E

REQUEST FOR ADMINISTRATIVE REVIEW OF REVISIONS TO APPROVED ARB SUBMITTAL

E-1: BUILDING OR STRUCTURE REVISION TO ARB

To qualify for an administrative review the proposed revision to the external architectural features must not be a material deviation from the approved ARB plans, specifications, drawings, materials and conditions of approval. The External Architectural features as defined in Section 5.5-2(b)(1) is defined as follows:

The architectural style and general arrangement of such portion of a building or structure as is designated to be open to view from a public street, place or way, including the kind, color, and texture of the building material of such portion and type of window, doors and lights attached or ground signs, and other fixtures appurtenant to such portion.

The Building Official determines whether the deviation is material. See 5.5-2(d)(2)

Submittal Requirements for Administrative Review for Revisions to Approved Building or Structure:

Architect to submit a signed and sealed narrative explaining the architectural revisions and reason for the revision.

Architect to submit the previously approved ARB project and the proposed revised plans with the revisions bubbled in.

Architect to explain in the narrative how or why the revision is not a material deviation to the architectural design elements as shown in the approved plans.

If the proposed revision involves architectural elements that can be seen from the public ROW they must be minor in nature and not consist of a material deviation from the plans approved by the ARB.

Architect to request meeting with Building Official to present revision and obtain administrative approval.

Approved : _____ Denied: _____ see attached Deficiency

Building Official Approval Signature: _____ Date of Approval: _____

E-2: LANDSCAPE REVISION TO ARB



Request for Administrative Review of Revisions to Approved ARB Submittal Landscape Plans

To qualify for an administrative review the proposed revision to the external architectural features must not be a material deviation from the approved ARB plans, specifications, drawings, materials and conditions of approval. The External Architectural features as defined in Section 5.5-2(b)(1) is defined as follows:

The architectural style and general arrangement of such portion of a building or structure as is designated to be open to view from a public street, place or way, including the kind, color, and texture of the building material of such portion and type of window, doors and lights attached or ground signs, and other fixtures appurtenant to such portion.

The Building Official determines whether the deviation is material. See 5.5-2(d)(2)

Landscape Architect to submit a signed and sealed narrative explaining the landscape revisions and reasons for the revision. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.

Landscape Architect to submit the previously approved ARB landscape plan and proposed revised plans with the revisions bubbled in.

Landscape Architect to explain in the narrative why the revision to the external landscape architectural features is not a material deviation from the approved ARB plans, specifications, drawings, materials and conditions of approval.

Landscape Architect to request meeting with Building Official and Parks & Public Spaces Director to present revision and obtain administrative approval.

Approved: _____ Denied: _____ see attached Deficiency

Building Official Approval Signature: _____ Date of Approval: _____

E-3: MINOR ARB APPLICATION

To qualify for an administrative review the proposed minor scope of work as listed on pages 7 thru 9 of the Minor Application Requirements to the external architectural features must not be a material deviation from the existing design of the building or structure.

The External Architectural features as defined in Section 5.5-2(b)(11) is defined as follows:

The architectural style and general arrangement of such portion of a building or structure as is designated to be open to view from a public street, place or way, including the kind, color, and texture of the building material of such portion and type of window, doors and lights attached or ground signs, and other fixtures appurtenant to such portion.

The Building Official determines whether the deviation is material. See 5.5-2(d)(2)

Submittal Requirements for Administrative Review for Revisions to Approved Building or Structure:

Owner to Architect to submit narrative explaining the architectural revisions and reason for the revision.

If the proposed minor work involves architectural elements that can be seen from the public ROW they must be minor in nature and not consist of a material deviation from the design of the existing building or structure.

Architect to request meeting with Building Official to present revision and obtain administrative approval.

Approved: _____ Denied: _____ see attached Deficiency

Building Official Approval Signature: _____ Date of Approval: _____

EXHIBIT B

This instrument prepared by:

Maria V. Currais, Esq.
Weiss Serota Helfman Cole & Bierman, P.L.
2525 Ponce de Leon Blvd, Suite 700
Coral Gables, Florida 33134
(305) 854-0800

Folio Number 12-2226-002-2050

HOLD HARMLESS AGREEMENT

THIS HOLD HARMLESS AGREEMENT ("Hold Harmless Agreement") dated April 4, 2024, is made by Jorge Woldenberg (collectively, "**Owner**") in favor of BAL HARBOUR VILLAGE, a Florida municipal corporation ("**Village**").

RECITALS:

- A. Owner is the owner of the following described real property located at 276 Bal Cross Dr., in Bal Harbour Village, Miami-Dade County, Florida (the "**Property**");
Lot 14, Block 11, RESIDENTIAL SECTION OF BAL HARBOUR, according to the Plat thereof recorded in Plat Book 44, at Page 98 of the Public Records of Miami-Dade County, Florida (Folio # 12-2226-002-2050).
- B. Simultaneously herewith the Village has granted the Owner Permit Number # BLR2024-0327 (the "**Permit**") for the following work Exterior Renovations (the "**Permitted Work**"). The Permitted Work will be located within the current five foot easement located in the rear and, if a corner lot, on the side of the Property ("**Rear Utility Easement**").
- C. In connection with and as consideration for granting of the Permit, the Owner and Owner's successors or assigns hereby agree to hold the Village harmless against any and all claims, demands, damages or suits by any utility providers or other third party that may arise due to the Owner's use of the Rear Utility Easement area.

AGREEMENT:

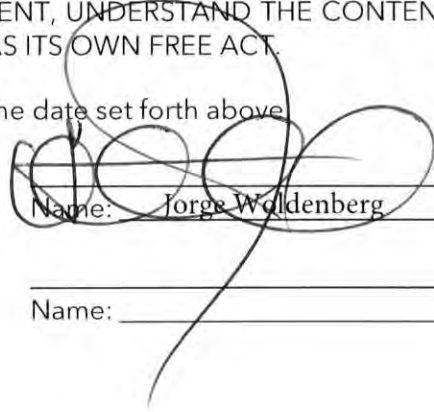
NOW, THEREFORE, in consideration for granting of the Permit, and for other good and valuable consideration, the receipt and sufficiency of which is acknowledged, the Owner, on behalf of itself and on behalf of any of its successors or assigns, hereby agrees as follows:

1. Owner acknowledges that the Village does not have the authority to alter or terminate the easement rights of any utility providers or other third party which has the right to use the Rear Easement Area; therefore, such entities may object to the use of the Rear Utility Easement by the Owner in the manner set forth in the Permit and may require Owner to permanently or temporarily remove any or all of the Permitted Work.
2. Owner agrees to indemnify, defend and hold harmless and forever release and discharge the Village and its employees, officers, agents and authorized personnel from any and all claims, actions, damages or liability, including the costs of any suit, attorneys' fees at trial and on appeal, and any other expenses in connection therewith that may arise out of, or in connection with, any utility providers or other third party

using and accessing the Rear Utility Easement and requiring the removal of any Permitted Work in the Rear Easement Area as provided forth herein.


3. Owner acknowledges that this Hold Harmless Agreement is a complete estoppel on Owner and Owner's successors and assigns as to any rights, real, apparent or otherwise, that they, individually or jointly, may have to challenge the efficacy of any conditions of this Hold Harmless Agreement.
4. Owner expressly agrees that this Hold Harmless Agreement is intended to be as broad and as inclusive as permitted by the laws of the State of Florida, and that if any portion of this Hold Harmless Agreement is held to be invalid, the balance of the Hold Harmless Agreement shall continue in full force and effect.
5. In consideration for this Hold Harmless Agreement, the Village has issued the Permit for the Permitted Work.
6. Prior to installing any other component in the Rear Utility Easement, Owner shall obtain any and all required permits and approvals from the Village and any other necessary party to install such component in the Rear Utility Easement. In connection with any other issued permit, the Village may require a new hold harmless agreement.
7. Owner agrees that this Hold Harmless Agreement may be recorded by the Village in the Public Records of Miami-Dade County at Owner's cost and expense and will be binding on Owner's successors and assigns.
8. OWNER HEREBY ACKNOWLEDGES AND AGREES THAT IT HAS CAREFULLY READ THIS HOLD HARMLESS AGREEMENT, UNDERSTAND THE CONTENTS HEREOF, AND HAS SIGNED THIS DOCUMENT AS ITS OWN FREE ACT.

Signed and delivered by the Owner on the date set forth above


 Name: Jorge Woldenberg
 Name: _____

STATE OF FLORIDA)
) ss:
 COUNTY OF Miami-Dade)

The foregoing instrument was acknowledged before me by means of physical presence or online notarization on 1st of April 2024 by Jorge Woldenberg, who (check one) are personally known to me or [] have produced Florida drivers' license as identification.


 Notary Public, State of Florida
 Print name: Julia Estevez
 My commission expires: 08/13/2026

SEAL

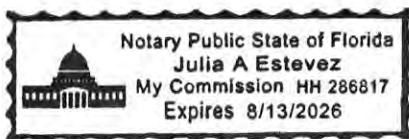


EXHIBIT C

This instrument prepared by:

Maria V Currais, Esq.
Weiss Serota Helfman Cole & Bierman P.L.
2525 Ponce de Leon Blvd., Suite 700
Coral Gables, Florida 33134
Telephone: 305.854.0800

Folio Number 12-2226-002-2050

GRANT OF UNDERGROUND EASEMENT ON RESIDENTIAL PARCELS

THIS GRANT OF UNDERGROUND EASEMENT dated April 4, 2024,
is made by Jose Woldenberg ("Grantor"), whose mailing address is 276 Bal
Cross Dr., and **BAL HARBOUR VILLAGE**, a Florida municipal
corporation ("Village"), whose mailing address is 655-96th Street Bal Harbour, Florida 33154.

RECITALS

Grantor is the sole owner and holder of the underlying fee title to certain real property located at 276 Bal Cross Dr. in Bal Harbour Village, Miami-Dade County, Florida, and more particularly described in **Exhibit A** attached to and made a part of this Grant of Underground Easement (the "**Property**").

The Property includes a private street as shown in the RESIDENTIAL SECTION OF BAL HARBOUR, according to the Plat thereof recorded in Plat Book 44, Page 98, of the Public Records of Miami-Dade County.

Under Florida law, Grantor is the owner and holder of the underlying fee title to the portions of the street abutting the Property, up to the centerline of the street.

Grantor has agreed to grant to Village a perpetual underground easement on, over, across and under the street portion of the Property, as more particularly described in attached **Exhibit B** (the "**Underground Easement Parcel**") for the construction, installation, maintenance, repair, removal and replacement of all utility facilities and related accessory uses ("**Underground Facilities**") owned, operated, or maintained by Village now or at any time in the future.

AGREEMENT

1. **Grant of Underground Easement.** Subject to the restrictions and limitations set forth herein and for Ten Dollars and other good and valuable consideration, the receipt of which is acknowledged by Grantor, Grantor hereby grants to Village a perpetual non-exclusive easement ("**Easement**") upon, over, across, and under the Underground Easement Parcel solely for the underground construction, installation, inspection, operation, maintenance, repair, replacement, and removal of Underground Facilities. Grantor acknowledges that the Easement will be utilized by Village and its employees, agents, contractors, successors and assigns.
2. **Ingress and Egress.** The Easement hereby granted includes a right of ingress and egress, and grants to Village and its employees, agents, contractors, successors and

assigns, full right and authority to enter upon and excavate the Underground Easement Parcel for the purposes set forth in this instrument.

3. **Temporary License.** Grantor also grants Village a license to temporarily locate equipment on portions of the Property adjacent to the Easement Area to the extent reasonably necessary for Village to carry out the construction, installation, inspection, operation, maintenance, repair, replacement, and removal of Underground Facilities. Village shall only use the temporary license hereby granted in a manner that does not adversely impact Grantor's access to or use and enjoyment of its property.
4. **Village's Use of Easement.** Village shall have the right to do all things necessary, useful or convenient for the maintenance of the Easement and for the construction, installation, inspection, operation, maintenance, repair, replacement, and removal of Underground Facilities in the Easement so long as those activities do not unreasonably interfere with Grantor's access to or use of its property.
5. **Quiet Enjoyment of Easement.** Grantor represents that it is lawfully seized and possessed of the Underground Easement Parcel, and that Grantor has the right to enter into and convey the Easement. Grantor covenants that Village shall have quiet and peaceful possession, use and enjoyment of the Easement.
6. **Restoration of Underground Easement Parcel.** Upon completion of any work by Village in the Underground Easement Parcel, Village shall restore the Underground Easement Parcel and any affected portions of the Property to the condition existing prior to the utility work, at no cost or expense to Grantor, unless such restoration is required due to the acts or omissions of Grantor. In exercising its rights hereunder, Village will use reasonable efforts to minimize any impacts to Grantor's ongoing activities on the Property. At no time will the Village's activities on the Underground Easement Parcel interfere with ingress or egress to and from the Property by residents, guests, employees and invitees.
7. **Indemnification.** To the extent permitted by law, Village agrees to indemnify and hold Grantor harmless from and against any and all damages, liabilities, fees and costs arising out of the exercise of Village's rights under this Grant of Underground Easement.
8. **Services in the Underground Easement Parcel.** The Underground Easement hereby granted is intended to include all mechanical, electronic, energy, water and sewer services which may now or in the future be considered utilities.
9. **Covenant Running with the Land.** This Grant of Underground Easement is a covenant running with the land and is binding upon and inures to the benefit of Grantor and Village and their respective successors and assigns.
10. **Rights Reserved.** The easement rights and temporary license granted herein are non-exclusive in nature and are subject to all matters of record. Grantor shall have the right to use the Property, or any portion thereof, or any property of Grantor adjoining the Property for any purpose not inconsistent with the full use and enjoyment of the rights granted herein in favor of Village.

11. **Amendment or Termination.** This Grant of Underground Easement may be amended, modified or terminated only by a written instrument signed by both parties or their respective successors and assigns, which instrument will only become effective when recorded in the Public Records of Miami-Dade County, Florida.
12. **Governing Laws.** The laws of the State of Florida will govern the interpretation, validity, performance and enforcement of this Grant of Underground Easement. Venue for any action brought under this Grant of Underground Easement will be in Miami-Dade County, Florida.
13. **Above Ground Structures.** No building, structures, barriers, or other above ground improvements may be built by the Village across the Underground Easement Parcel; provided however, nothing in this Grant of Underground Easement shall be construed as prohibiting the installation of meters, manhole covers, and other ancillary structures needed for the operation, access, or maintenance of any of the Underground Facilities all of which are specifically allowed to be installed and located on the surface area above the Underground Easement Parcel.
14. **Use of the Above Ground Area.** Grantor may continue to use the surface area above the Underground Easement Parcel which is not presently being used as a street for driveway and landscaping (e.g., planters) as exists on the date of this Grant of Underground Easement so long as such uses do not interfere with the Village's access and use of the Underground Easement Parcel.
15. **Insurance of Underground Facilities.** Village shall at all times insure all Underground Facilities in the same manner as it presently does for any other underground facilities installed by the Village. The Village shall maintain the Underground Easement Parcel in good condition; provided however the Village shall not be responsible to maintain or repair any driveways, landscape areas, or such other items Grantor has installed, constructed or placed on the surface of the Underground Easement Parcel.
16. **Mineral Rights.** This Grant of Underground Easement does not hereby convey unto the Village the right to any mineral rights located on, in or under the Underground Easement Parcel unless such rights are already held by the Village in which case the Village retains such rights.
17. **Public Rights to the Underground Easement Parcel.** Although the Underground Facilities will provide service to more individuals than just the Grantor, nothing contained in this Grant of Underground Easement is intended to evidence of be, or shall ever be construed or interpreted as, a dedication of any right or interest in or to the public, nor give any member of the public any rights of interest whatsoever under this Grant of Underground Easement.
18. **Matters of Record.** This Grant of Underground Easement is subject to all matters of record affecting the Underground Easement Parcel as of the date hereof none of which

are sought to be reimposed. In no event shall the Underground Easement Parcel or any part thereof be used by the Village for any purpose in violation of applicable ordinances, laws, or regulations.

19. **Assignment by Village.** Grantor hereby confirms that the Village may partially assign its rights hereunder to third party providers of utilities (the "**Private Providers**"). The Private Providers shall have the right to use the Underground Easement Parcel for the construction, installation, maintenance, repair, removal and replacement of utility facilities and related accessory uses ("**Private Provider Facilities**") in the same manner as the Village. The Private Providers use of the Underground Easement Parcel is subject to their compliance with all of the Village's obligations under this Grant of Underground Easement including, but not limited to, restoration of the Underground Easement Parcel set forth in paragraph 6. The Village hereby agrees that it will notify the Owner of any assignment of the Village's rights and obligations to a Private Provider. Any Private Provider that has been assigned rights hereunder shall, to the extent permitted by law, indemnify and hold Grantor and the Village harmless from and against any and all damages, liabilities, fees and costs arising out of the exercise of Private Provider's rights under this Grant of Underground Easement.

[SIGNATURE BLOCKS ON FOLLOWING PAGES]

EXHIBIT 1 of C
LEGAL DESCRIPTION OF PROPERTY

Lot ____, Block ____, RESIDENTIAL SECTION OF BAL HARBOUR, according to the Plat thereof recorded in Plat Book 44, Page 98, of the Public Records of Miami-Dade County.

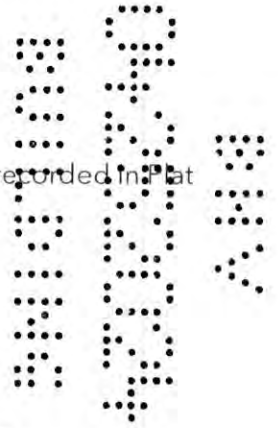
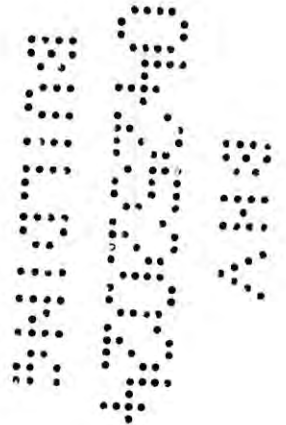


EXHIBIT 2 of C
LEGAL DESCRIPTION AND SURVEY OF UNDERGROUND EASEMENT PARCEL



JOSE GONZALEZ, R.A.
ARCHITECTURE
ENGINEERING
CONSTRUCTION MANAGEMENT



03-28-24

Bal Harbour Village Building Department

655 96th Street,
Bal Harbour, Florida, 33154

**Project Name: Proposed Exterior Renovation at:
276 Bal Cross Dr. Bal Harbour, FL, 33154**

Dear Building Official:

The followings are the scope of work for the above reference project:

1.- Driveway:

- Removal of existing pavers and replace them with new pervious pavers including approach.
- Removal of existing planters at front wall entry.

2.- Pool Deck:

- Remove existing pavers and replace them with new pervious pavers.

3.- Pool:

- The existing pool to be remodeled for a new square shape.

4.- Summer Kitchen:

- Existing summer kitchen to be remodeled, replace existing all equipment, Counter, sink and BBQ.

5.- Roof:

- Replace the complete roof with flat tiles.

6.- Trellis:

- New Aluminum Louvered Trellis at rear of property.

Should you have any questions or need any additional information, please do not hesitate to contact me.

Sincerely yours

Jose Gonzalez AIA
Architect



03-28-24



OFFICE OF THE PROPERTY APPRAISER

Detailed Report

Generated On: 10/08/2024

PROPERTY INFORMATION	
Folio	12-2226-002-2050
Property Address	276 BAL CROSS DR BAL HARBOUR, FL 33154-1371
Owner	JORGE WOLDENBERG & W FRIEDA
Mailing Address	276 BAL CROSS DR BAL HARBOUR, FL 33154-1371
Primary Zone	0800 SGL FAMILY - 1701-1900 SQ
Primary Land Use	0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT
Beds / Baths / Half	6 / 8 / 1
Floors	2
Living Units	1
Actual Area	6,957 Sq.Ft
Living Area	6,269 Sq.Ft
Adjusted Area	6,127 Sq.Ft
Lot Size	12,070 Sq.Ft
Year Built	1999



ASSESSMENT INFORMATION			
Year	2024	2023	2022
Land Value	\$4,586,197	\$4,586,197	\$1,961,348
Building Value	\$1,708,208	\$1,729,039	\$1,749,871
Extra Feature Value	\$40,337	\$40,769	\$41,200
Market Value	\$6,334,742	\$6,356,005	\$3,752,419
Assessed Value	\$2,291,611	\$2,224,866	\$2,160,065

BENEFITS INFORMATION				
Benefit	Type	2024	2023	2022
Save Our Homes Cap	Assessment Reduction	\$4,043,131	\$4,131,139	\$1,592,354
Homestead	Exemption	\$25,000	\$25,000	\$25,000
Second Homestead	Exemption	\$25,000	\$25,000	\$25,000

Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).

TAXABLE VALUE INFORMATION			
Year	2024	2023	2022
COUNTY			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$2,241,611	\$2,174,866	\$2,110,065
SCHOOL BOARD			
Exemption Value	\$25,000	\$25,000	\$25,000
Taxable Value	\$2,266,611	\$2,199,866	\$2,135,065
CITY			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$2,241,611	\$2,174,866	\$2,110,065
REGIONAL			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$2,241,611	\$2,174,866	\$2,110,065

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>



OFFICE OF THE PROPERTY APPRAISER

Generated On: 10/08/2024

Property Information

Folio: 12-2226-002-2050

Property Address: 276 BAL CROSS DR

Roll Year 2024 Land, Building and Extra-Feature Details

LAND INFORMATION						
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value	
GENERAL	R-2	0800	Front Ft.	85.00	\$4,586,197	
BUILDING INFORMATION						
Building Number	Sub Area	Year Built	Actual Sq.Ft.	Living Sq.Ft.	Adj Sq.Ft.	Calc Value
1	1	1999	6,957	6,269	6,127	\$1,708,208
EXTRA FEATURES						
Description			Year Built	Units	Calc Value	
Wall - CBS 4 to 8 in, reinforced			1999	255	\$1,591	
Pool 6' res BETTER 3-8' dpth, tile 250-649 sf			2017	1	\$28,200	
Patio - Brick, Tile, Flagstone			2017	720	\$7,445	
Aluminum Modular Fence			2017	95	\$3,101	

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Property Information

Folio: 12-2226-002-2050

Property Address: 276 BAL CROSS DR

Roll Year 2023 Land, Building and Extra-Feature Details

LAND INFORMATION						
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value	
GENERAL	R-2	0800	Front Ft.	85.00	\$4,586,197	
BUILDING INFORMATION						
Building Number	Sub Area	Year Built	Actual Sq.Ft.	Living Sq.Ft.	Adj Sq.Ft.	Calc Value
1	1	1999	6,957	6,269	6,127	\$1,729,039
EXTRA FEATURES						
Description			Year Built	Units	Calc Value	
Wall - CBS 4 to 8 in, reinforced			1999	255	\$1,612	
Pool 6' res BETTER 3-8' dpth, tile 250-649 sf			2017	1	\$28,500	
Patio - Brick, Tile, Flagstone			2017	720	\$7,524	
Aluminum Modular Fence			2017	95	\$3,133	

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OFFICE OF THE PROPERTY APPRAISER

Generated On: 10/08/2024

Property Information

Folio: 12-2226-002-2050

Property Address: 276 BAL CROSS DR

Roll Year 2022 Land, Building and Extra-Feature Details

LAND INFORMATION						
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value	
GENERAL	R-2	0800	Front Ft.	85.00	\$1,961,348	
BUILDING INFORMATION						
Building Number	Sub Area	Year Built	Actual Sq.Ft.	Living Sq.Ft.	Adj Sq.Ft.	Calc Value
1	1	1999	6,957	6,269	6,127	\$1,749,871
EXTRA FEATURES						
Description			Year Built	Units	Calc Value	
Wall - CBS 4 to 8 in, reinforced			1999	255	\$1,632	
Pool 6' res BETTER 3-8' dpth, tile 250-649 sf			2017	1	\$28,800	
Patio - Brick, Tile, Flagstone			2017	720	\$7,603	
Aluminum Modular Fence			2017	95	\$3,165	

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OFFICE OF THE PROPERTY APPRAISER

Generated On: 10/08/2024

Property Information

Folio: 12-2226-002-2050

Property Address: 276 BAL CROSS DR

FULL LEGAL DESCRIPTION

26-27 52 42 PB 44-98
BAL HARBOUR RESIDENTIAL SEC
LOT 14 BLK 11
AND PROP INT IN & TO COMMON
ELEMENTS NOT DEDICATED TO PUBLIC
LOT SIZE 85.000 X 142
OR 19894-3254 09 2001 1

SALES INFORMATION

Previous Sale	Price	OR Book-Page	Qualification Description
09/01/2001	\$1,731,500	19894-3254	Sales which are qualified
04/01/1999	\$1,000,000	18606-1586	Sales which are qualified
07/01/1997	\$260,000	17731-0944	Sales which are qualified

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BAL HARBOUR

- V I L L A G E -

ARCHITECTURAL REVIEW BOARD MEMORANDUM

TO: Architectural Review Board Members
FROM: Eliezer Palacio, Building Director
DATE: 11/07/2024
SUBJECT: 42 Camden Dr
New Single-Family Residence



BACKGROUND

The Village of Bal Harbour (the “Village”) received an Architectural Review Board (ARB) application on July 8, 2024, for the development of a new two-story single-family residence located at 42 Camden Dr (the “Property”).

The lot sits on Lot 5, Block 2, and is located in the R-2 single family zoning district of the Bal Harbour Village Residential Section. The lot is 11,856 square feet and the Applicant is proposing a new two-story single-family residence, with 6704 square feet of conditioned interior space and 3913 un-conditioned space for an overall total of 10,671 square feet.

The entrance to the residence faces East and the proposed garage entry does not face the street.

This home is located in the AE-8 N.G.V.D. Base Flood Elevation Zone and the Applicant is constructing the proposed single-family home at or above 9.67’ N.G.V.D. as required by the Florida Building Code (F.B.C.) for AE zones.

THE PROJECT (AE Description)

Included in this submittal is a proposed addition to an existing residence at the above-listed address. The scope of work is listed below:

The home is designed on a contemporary architectural style, with clean and simple volumetric elements that crate a direct relationship and integration between the exterior and interior of the home. The main façade of the house is defined by the use of glass and wood cladding, encased on a concrete structure to create a very light, clean, horizontal and transparent design.

The second level is a rectangular volume that projects and cantilevers over the front entrance to provide protection and coverage, and at the same time, generates a wide balcony through the entire width of the façade, emphasizing the horizontal and clean design intent, accentuated even more with a continuous glass back drop creating a strong and simple horizontal concept. The volume created for the second level rests on top of wood clad walls on the first level that have been placed over a platform raised from the ground to evoke a light a floating concept with stairs defining the main access.

The use of balconies and glass sliding doors throughout the entire façade offers fenestrations and integrates the interior with the exterior of the home by offering areas to enjoy the great views.

The rear façade and floor plan has been designed to allow for a full integration on the back yard with the interior social area by creating a horizontal continuous sliding doors that open the entire of the open plan

layout toward the back patio, creating a seamless relationship between the exterior and interior of the home. The back patio has a cantilevered continuous structure that provides cover for the outside kitchen and serves as a welcoming platform to the pool and back yard.

The home has been designed with the intention of transparency, to allow interaction with the exterior areas and the building has been located toward the front of the lot to create a bigger back yard. The integration with the exterior is a paramount element of design for which a roof top terrace is been proposed. The access to the terrace is provided by an exterior stair located on 2nd story balcony. The terrace utilizes 60% of the roof and provides views toward the neighborhood and down into the back yard, with a shaded area and utilization of wood and synthetic gras for floor material giving another important space for the interaction with the exterior elements.

RECOMMENDATION

It is the opinion of this writer that the proposed new addition to an existing two-story single-family residence follows the Village's Appearance Code and Zoning Ordinance. The Village Planning and Zoning Consultant and the Park's and Public Spaces Department has reviewed the plans and concur that the plans comply.

I recommend that the Board review the submittal for compliance and if they concur with my recommendation, issue a Certificate of Appropriateness.

If approved, the following conditions should be added to the motion:

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences and landscape plantings.
4. Any new hedge must be planted at least 10' from the edge of the curb (existing hedge may remain).
5. Any new trees must be planted at least 10' from the edge of the curb (existing trees/palms may remain).
6. All Electrical, Mechanical and Plumbing equipment are required to be 1.0 foot above B.F.E. (Base Flood Elevation) per F.B.C. & A.S.C.E. 24 and cannot infringe upon the building setbacks.
7. Flood Design Data is required to be in accordance to F.B.C. 2023, Section 1603.1.7. & A.S.C.E. 24.
8. Architect to provide an Elevation Certificate FEMA Form 086-0-33, for proposed construction that complies with F.B.C. 322 & A.S.C.E. 24.
9. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.

10. The Project shall comply with Section 21-127, a, b, and c regarding setbacks in the R-2 Zoning District.
11. The Project shall comply with Section 21-12, maximum building height of 30 ft. in the R-2 Zoning District.
12. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
13. If any portion of the landscaping, fence, or any other permitted item will be located within the five-foot easement at the front or side of the property, then prior to the issuance of a required permit or permit revision to the master building permit, the Owner of the Project described herein shall execute "Hold Harmless Agreement" as a condition precedent to permit issuance.
14. If the proposed landscape and hardscape design is in conflict with the Village's stormwater infrastructure system, the Architect and Civil Engineer are required to resolve prior to permit issuance. Any revisions required to the hardscape or landscape shall be bought before the ARB, if applicable, or be administratively approved prior to permit.
15. Perimeter landscaping required by the certificate of appropriateness must be maintained by the property owner in accordance with the standards of the code.
16. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
17. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
18. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.



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 ARCHITECTURE
 SPACE PLANNING
 INTERIOR DESIGN
 PLANNING/ZONING
 1000 AVENUE 80
 MANALAY, FL 33643
 TEL: 813-233-7811
 FAX: 813-277-1731
 Email: info@ad-architecture.com
 www.ad-architecture.com

REGISTERED STATE
 NOT VALID OUTSIDE OF FLORIDA AND
 SPECIAL CONTRACTS MUST BE
 REVIEWED BEFORE SIGNATURE.

OSCAR CABEZA
ARCHITECT
 No. AH96758

RENDERING IS KEROG - NOT A FINAL CONTRACT
 REVISIONS OR CHANGES TO CONTRACT
 AND OTHER PROPERTY RIGHTS ARE TO BE
 MADE. THE OWNER HAS AGREED TO
 HOLD THE ARCHITECT HARMLESS FROM
 LIABILITY TO BE REPRESENTED, COVERED AND
 DEFENDED IN ANY FORM OF ACTION, SUIT
 OR LEGAL PROCEEDING, IN ANY MANNER
 WITHOUT FIRST OBTAINING THE WRITTEN
 CONSENT OF THE ARCHITECT AND OWNER OF
 OSCAR CABEZA.

PROJECT: SHARON RESIDENCE
 ADDRESS: 42 CAMDEN DRIVE
 BAL HARBOUR, FLORIDA 33154
 OWNER: FLAD, SHARON

PROJECT NUMBER: 24-1395

DATE: 10.15.24

REV.1

REV.2

REV.3

SHEET TITLE
**EXTERIOR
 RENDERS**

SCALE: AS NOTED

SHEET NO.
A.100

CODE IN EFFECT: 2023 Florida Building Code - 8th. Edition



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 2025 JAMES BEE
 MARSHALL, FL 32083
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 Email: info@ad-architecture.com
 www.ad-architecture.com

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 NOTARIZED SEAL.

OSCAR CABEZA
ARCHITECT
 No. #098758

ARTICLES OF ASSOCIATION (A.A.) AND BYLAWS
 REQUIRED FOR COMMON LAW CORPORATIONS
 AND OTHER PROPERTY RIGHTS 1-3-20
 PLEASE SEE SPECIAL ACTS REGARDING
 WHETHER TO BE REPRODUCED, COPIED OR
 LOANED IN ANY FORM OR MANNER AND
 TO USE FOR ANY OTHER PURPOSE WITHOUT
 THE WRITTEN PERMISSION AND CONSENT OF
 OSCAR CABEZA

PROJECT: SHARON RESIDENCE
 ADDRESS: 42 CAMDEN BLVD.
 BAL HARBOUR, FLORIDA 33154
 OWNER: FLAD, SHARON

PROJECT NUMBER: 24-1393

DATE: 10.15.24

REV.1

REV.2

REV.3

SHEET TITLE
**EXTERIOR
 RENDERS**

SCALE: AS NOTED

SHEET NO.
A.102

CODE IN EFFECT: 2023 Florida Building Code - 8th. Edition

42 CAMDEN
 BAL HARBOUR, FL

EXTERIOR RENDERS



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 REGISTERED NUMBER.

OSCAR CABEZA
ARCHITECT
 No. AH96758

ARCHITECTS OF RECORD SHALL BE RESPONSIBLE FOR ALL PERMITS AND OTHER NECESSARY FEES AND COSTS. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

PROJECT: SHARON RESIDENCE
 ADDRESS: 42 CAMDEN DRIVE
 BAL HARBOUR, FLORIDA 33154
 OWNER: FLAD, SHARON

PROJECT NUMBER: 24-1395

DATE: 10.15.24

REV.1

REV.2

REV.3

SHEET TITLE
**EXTERIOR
 RENDERS**

SCALE: AS NOTED

SHEET NO.
A.103

CODE IN EFFECT: 2023 Florida Building Code - 8th. Edition

FINISH LEGEND	
TEXTURE	DESCRIPTION
	IRREGULAR STONE FINISH
	WOOD LOOK CLADDING
	5/8" STUCCO FINISH DARK GRAY PAINT - 1/2" REVEAL 24" O.C.
	GLASS
	ALUMINUM BRONZE FINISH

FLORIDA PRODUCT NUMBER	
NOA	DESCRIPTION
34006	OUTSWING FRENCH DOOR/ENTRY 12'
33666	DIRECT GLAZE
33585	MULTISLID DOOR
33565	MULTISLID DOOR
33694	GARAGE DOOR GLASS
33690	STOREFRONT 6-5/8" FRAME
22.0131.02	POSTLESS GLASS RAILING
34015	CASSETT WINDOW
29879	GLAZED OR OPAQUE WOOD PIVOT DOOR



FRONT FACADE / WEST



RIGHT SIDE FACADE / NORTH

PROJECT: SHARON RESIDENCE
 ADDRESS: 42 CAMDEN DRIVE
 BAL HARBOUR, FLORIDA 33754
 OWNER: ELAIO SHARON

PROJECT NUMBER: 24-1385

DATE: 10.15.24

REV.1

REV.2

REV.3

SHEET TITLE

SITE VIEWS

SCALE: AS NOTED

SHEET NO.

A.104

CODE IN EFFECT: 2023 Florida Building Code - 8th. Edition

FINISH LEGEND	
TEXTURE	DESCRIPTION
	IRREGULAR STONE FINISH
	WOOD LOOK CLADDING
	5/8" STUCCO FINISH DARK GRAY PAINT - 1/2" REVEAL 24" O.C.
	GLASS
	ALUMINUM BRONZE FINISH

FLORIDA PRODUCT NUMBER	
NOA	DESCRIPTION
34006	DJISWING FRENCH DOOR/ENTRY 12"
33666	DIRECT GLAZE
33585	MJ TSLIDR DOOR
33565	MJ TSLIDR DOOR
33694	GARAGE DOOR GLASS
33690	STORTRON 6-5/8" FRAME
22.0131.02	POSTLESS GLASS RAILING
34015	CASFVNT WINDOW
29879	GLAZED OS OPAQUE WOOD PIVOT DOOR



BACK FACADE / EAST



LEFT SIDE FACADE / SOUTH



OVER ALL CONTEXT AERIAL
N.T.S.



IMAGE KEY PLAN
N.T.S.



42 CAMDEN DR.



42 CAMDEN DR.

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 Fax: 305 770-1110
 Email: info@ad-architecture.com
 www.ad-architecture.com

ARCHITECT'S SEAL
 NO. 10348 AND STATE OF FLORIDA AN
 ORIGINAL SIGNATURE AND A
 REGISTERED PROFESSIONAL SEAL.

OSCAR GABEZA
ARCHITECT
 No. A198758

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 HARMLESS THE DESIGN PROFESSIONAL
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 CONTAINS IN ANY FORM OR MANNER AND
 TO BE USED FOR ANY PURPOSE IN ANY MANNER
 WITHOUT THE WRITTEN CONSENT OF
 OSCAR GABEZA.

PROJECT: SHARON RESIDENCE
 ADDRESS: 42 CAMDEN DR, BAL HARBOUR, FLORIDA 33154
 OWNER: ELAIO SHARON

PROJECT NUMBER: 24-1395

DATE: 10.15.24

REV.1

REV.2

REV.3

SHEET TITLE

**OVERALL
 CONTEXT PLAN**

SCALE: AS NOTED

SHEET NO.

A.106

CODE IN EFFECT: 2023 Florida Building Code - 8th. Edition



① 64 CAMDEN DR.



② 56 CAMDEN DR.



③ 53 CAMDEN DR.



④ 52 CAMDEN DR.



⑤ 39 CAMDEN DR.



⑥ 32 CAMDEN DR.

LEGAL DESCRIPTION:
 LOT 5, BLOCK 2 OF RESIDENTIAL SECTION OF BAL HARBOUR, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLATFORM 44, PAGE 99 OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA.

ZONING DATA:

ZONING DISTRICT	R-2	
REQUIRED/EXISTING	REQUIRED/EXISTING	PROPOSED
BASE FLOOD ELEVATION (FEWA)	5.00' NGVD	10.00' NGVD
FLOOD ZONE	AO	
GRADE	5.00' NGVD	10.00' NGVD
LOT AREA	N/A	11,806 SQ. FT.
LOT WIDTH	N/A	80'-0"
LOT DEPTH	N/A	150'-0"
MINIMUM SETBACKS:		
GROUND FLOOR		
FRONT	30'-0"	30'-0"
REAR	15'-0"	34'-4"
RIGHT SIDE	10'-0"	10'-0"
LEFT SIDE	10'-0"	10'-0"
SECOND STORY		
FRONT	30'-0"	30'-0"
REAR	15'-0"	34'-4"
RIGHT SIDE	20'-0"	20'-0"
LEFT SIDE	20'-0"	20'-0"
MAXIMUM BUILDING HEIGHT (FROM USE)	30'-0"	30'-0"
	(2 STORY HOME)	(2 STORY HOME)
MAX. LOT COVERAGE WITH STRUCTURE AND PERVIOUS AREA	5,528 SQ. FT. (50%)	5,895 SQ. FT. (50%)
MAX. LOT COVERAGE BY BUILDING	4,742 SQ. FT. (40%)	5,531 SQ. FT. (50%)
PARKING SPACE	3 PARKING SPACES	3 PARKING SPACES

FLOOD LEGEND

A. FLOOD ZONE	AF
B. BASE FLOOD ELEVATION	5.00' NGVD
C. DESIGN FLOOR ELEVATION	8.87' NGVD
D. 10% OF BOTTOM FLOOR (FINISH FLOOR ELEVATION (F1) + 1.0')	10.00' NGVD
E. TOP OF THE NEXT HIGHER FLOOR	N/A
F. BOTTOM OF THE LOWEST HORIZONTAL STRUCTURAL MEMBER (V ZONES ONLY)	N/A
G. ATTACHED GRADE (TOP OF SLAB)	7.80' NGVD
H. LOWEST ELEVATION OF MACHINERY OR EQUIPMENT SERVICING THE BUILDING	10.00' NGVD
I. LOWEST ADJACENT (FINISHED) GRADE NEXT TO BUILDING	5.80' NGVD
J. HIGHEST ADJACENT (FINISHED) GRADE NEXT TO BUILDING	9.30' NGVD
K. HIGHEST CROWN OF ROAD ELEVATION	4.80' NGVD
L. FIRM MAP PANEL NUMBER	120880244L
M. RISK CATEGORY	

ADDITIONAL SETBACK REQUIREMENTS:
 THE ADDITIONAL SETBACK REQUIREMENTS FOR THAT PORTION OF THE BUILDING OVER 18 FEET IN HEIGHT:
 REAR SETBACK
 SHALL NOT PROHIBIT UP TO 1/3 OF THE LENGTH OF THE OUTSIDE WALLS OF ANY BUILDING, REGARDLESS OF HEIGHT, ALONG THE REAR PROPERTY LINE FROM BEING SITUATED NOT LESS THAN 15 FEET FROM THE REAR PROPERTY LINE.
 SIDE SETBACK
 SHALL NOT PROHIBIT UP TO 1/3 OF THE LENGTH OF THE SIDE WALLS OF SUCH BUILDING FROM BEING SITUATED IN COMPLIANCE WITH THE MINIMUM TEN FOOT SIDE SETBACK, BUT NOT FULLY CONFORMING TO THE ADDITIONAL SETBACK REQUIREMENT.

SIDE 1 WEST	TOTAL LENGTH 77'-4"	REQUIRED/ALLOWED 25'-0" (1/3)	PROPOSED 22'-0"
SIDE 2 EAST	88'-0"	22'-0" (1/3)	22'-0"

PROJECT DATA:
 SCOPE OF WORK:
 NEW 2 STORY, ONE SINGLE FAMILY RESIDENCE
 R-2
 ZONING:
 CONSTRUCTION TYPE:
 TYPE V-B
 OCCUPANCY TYPE:
 SINGLE FAMILY RESIDENCE
 FLOOD PROTECTION CLASS:
 TYPE II
 RISK CATEGORY TYPE:
 TYPE II
 EXPOSURE CATEGORY D AS PER ASCT 7

AIR CONDITIONED AREAS:
 FIRST FLOOR 3,424.1 SQ. FT.
 SECOND FLOOR 3,280.3 SQ. FT.
 TOTAL AC AREA 6,704.4 SQ. FT.

UNCONDITIONED AREAS:
 BALCONIES 1,645 SQ. FT.
 TERRACE 2,218.8 SQ. FT.
 TOTAL UNCONDITIONED AREA 3,863.8 SQ. FT.

TERMITE PROTECTION NOTE
 TERMITE PROTECTION SHALL BE PROVIDED BY FLORIDA REGISTERED TERMITE TECHNICIANS OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION AS PER SECTION 1209.318.

APPLICABLE CODE NOTE
 APPLICABLE CODE: FBC 2023 RESIDENTIAL
 ALL PLANS AND CALCULATION HAVE BEEN PREPARED IN COMPLIANCE WITH FBC 2023 RESIDENTIAL.

FLOOD NOTE
 DESIGN FLOOD ELEVATION = BFE + 1.67 (9.57' NGVD)
 ALL UTILITIES AND EQUIPMENTS AND ACCESSORIES - ELECTRICAL, MECHANICAL AND PLUMBING SERVICING THE BUILDING SHALL BE INSTALLED ABOVE DESIGN FLOOD ELEVATION.

DRAINAGE NOTE
 ALL DRAINAGE SHALL BE CONTAINED ON PROPERTY AND SHALL NOT DRAIN ONTO NEIGHBORING PROPERTY.
 SLOPE GRADE AWAY FROM PROPERTY LINES
 SLOPE GRADE AWAY FROM NEW CONSTRUCTION

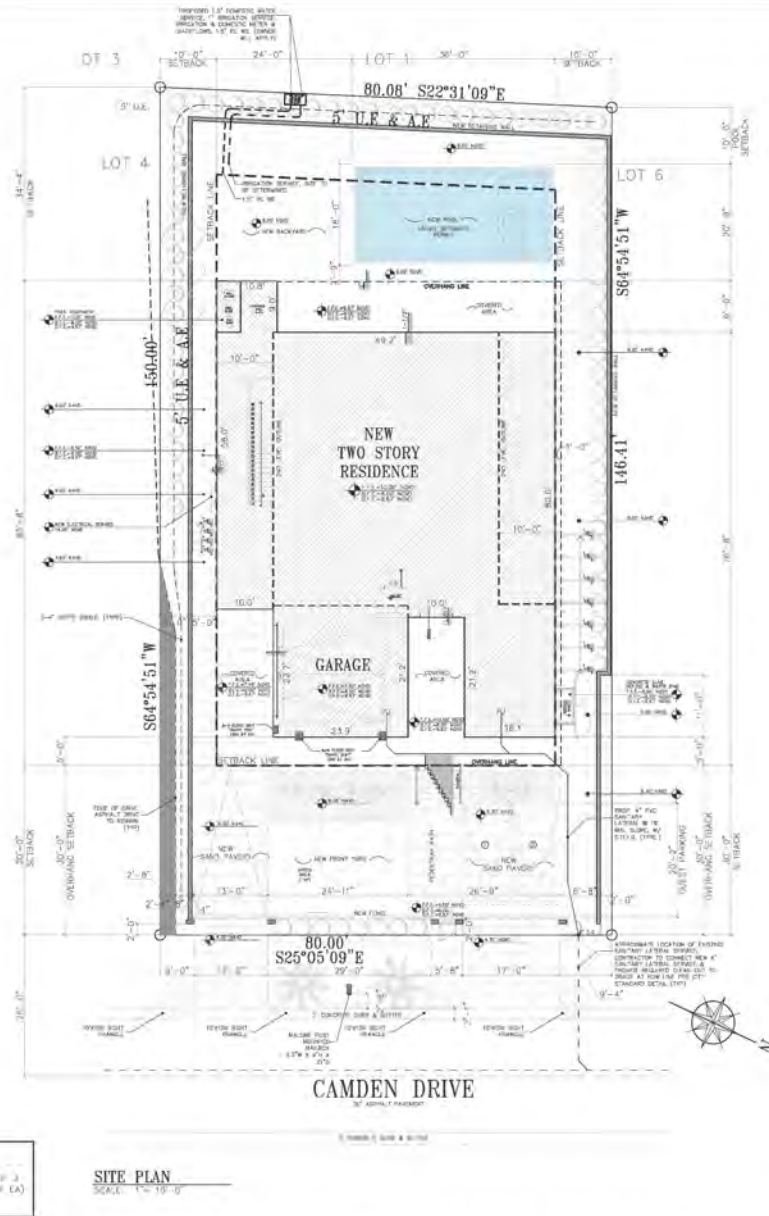
THE LOT SITS ON LOTS 3 BLOCK 2 AND IS LOCATED IN THE R-2 ZONING DISTRICT OF THE VILLAGE RESIDENTIAL SECTION. THE LOT IS 11,806 SQUARE FEET AND THE APPLICABLE IS PROPOSING A TWO-STORY HOME ON THE PROPERTY OF CAMDEN DR WITH 6,424 SQUARE FEET OF UNCONDITIONED INTERIOR SPACE AND 510 SQUARE FEET OF UNCONDITIONED OUTDOOR AREAS FOR A TOTAL SQUARE FOOTAGE OF 6,934.
 THE ENTRANCE TO THE SECOND FLOOR EAST AND THE PROPOSED GARAGE ENTRY DOES NOT FACE THE STREET.

COVERAGE AREA

PERMITTED COVERAGE	11,806 SQ. FT.
LOT AREA	11,806 SQ. FT.
TOTAL PERMITTED COVERAGE	3,209 SQ. FT.
STRUCTURES AND PERVIOUS COVERAGE	4,742.8 SQ. FT.
OTHER PERMITTED COVERAGE	1,805.65 SQ. FT.
PROPOSED COVERAGE	
TOTAL PERMITTED COVERAGE	5,310.3 SQ. FT.
STRUCTURES AND PERVIOUS COVERAGE	4,391.3 SQ. FT.
OTHER PERMITTED COVERAGE	819.0 SQ. FT.

FLOOD VENT LEGEND

1.000' MIN. FREE WALL TYPE OF 3 "SMALL VENT" #1X1" (240 SF EA) @ 5.887' BR

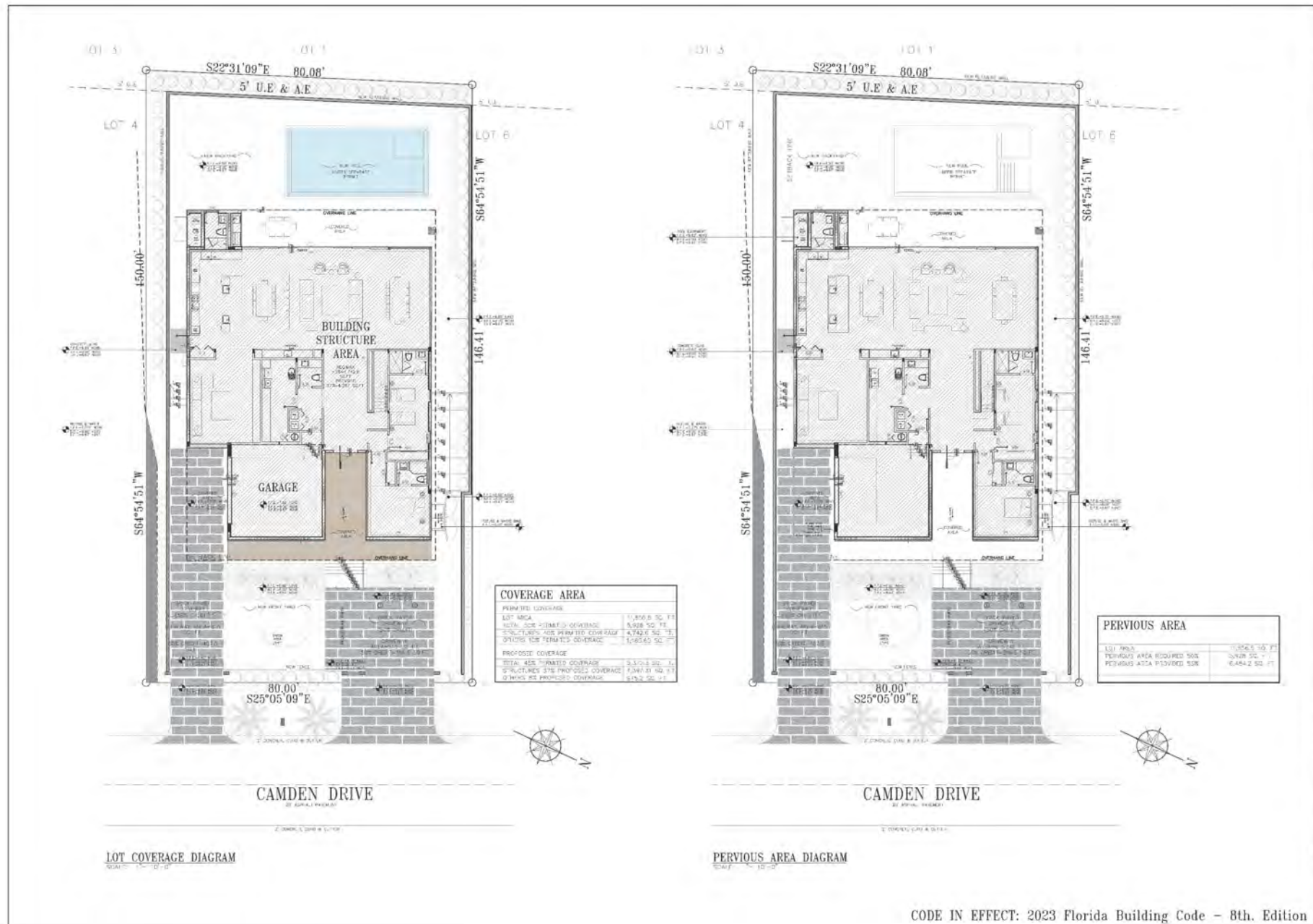


AD Architecture
 Architecture Developers, LLC
 AA2803308
 ARCHITECTURE
 SPACE PLANNING
 INTERIOR DESIGN
 PLANNING/ZONING

PROJECT: SHARON - RESIDENCE
 ADDRESS: 42 CAMDEN DRIVE, BAL HARBOUR, FLORIDA 33154
 OWNER: ELAIN SHARON

PROJECT NUMBER: 24-1183
 DATE: 10.15.24
 REV.1
 REV.2
 REV.3

SHEET TITLE: SITE PLAN
 SCALE: AS NOTED
 SHEET NO. A.108





Architecture
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LANDSCAPE ARCHITECTURE
INTERIOR DESIGN
GENERAL CONTRACTOR

10000 S.W. 15th Ave.
Suite 100
Miami, FL 33184
Tel: 305.774.1111
www.ad-architecture.com

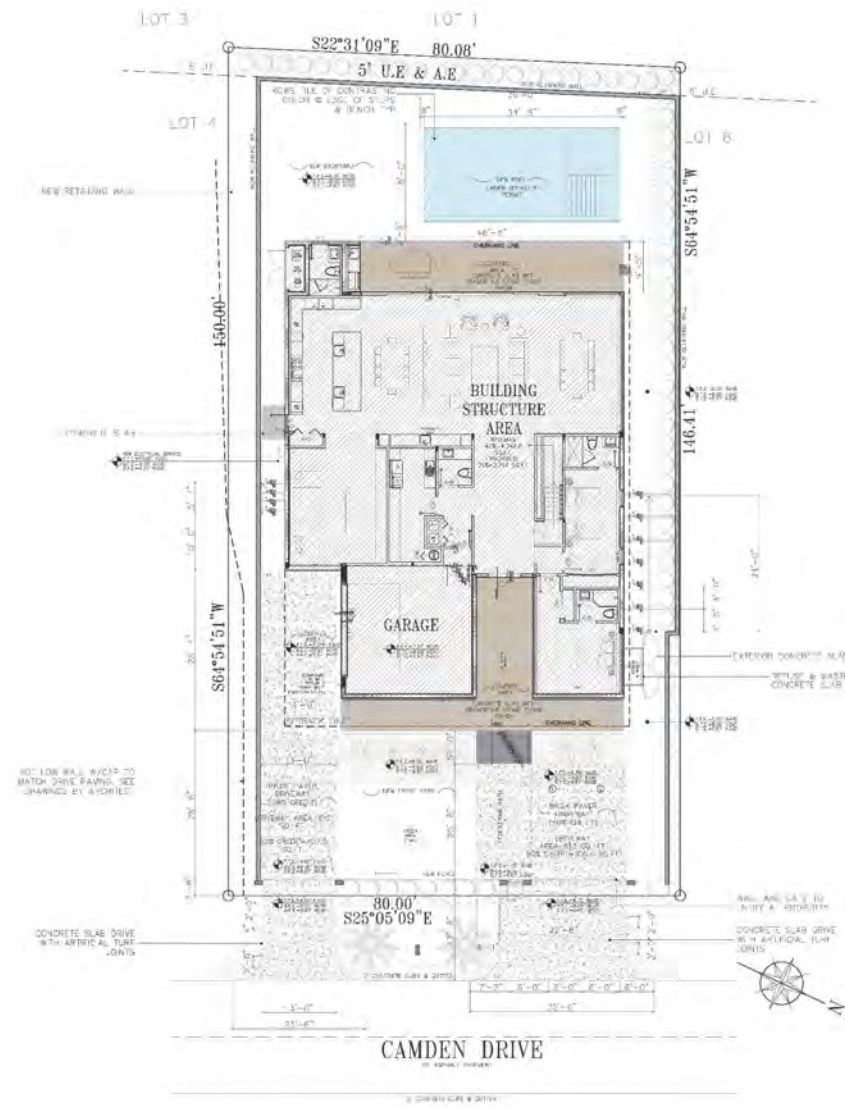
OSCAR CAHEZA
ARCHITECT
P.L.L.C.

REGISTERED PROFESSIONAL ARCHITECT
STATE OF FLORIDA
NO. 12487

PROJECT: SHARON RESIDENCE
ADDRESS: 42 CAMDEN DRIVE, LOT 03A 33154
OWNER: LAD SHARON

PROJECT NUMBER: 24-180
DATE: 10.15.24
REV.1
REV.2
REV.3

SHEET NO.
A.109



TEXTURE	FINISH LEGEND DESCRIPTION
[Pattern]	HEAVY-THEE STONE FINISH
[Pattern]	WOOD-LIKE STONE
[Pattern]	CONCRETE (3 AS)
[Pattern]	CONCRETE WITH SAND FINISH

NOTES:

- POOL & TOOL EQUIPMENT SHALL COMPLY WITH ALL CITY, STATE, COUNTY & FEDERAL REGULATIONS. ALL ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES.
- POOL & WASTE REMOVAL AREAS, SERVICE YARDS, STORAGE YARDS, & EXTERIOR WORK AREAS SHALL BE SCREENED FROM DIRECT SUNLIGHT. ALL SCREENING SHALL BE SCREENING SERVICE AREA. ALL SCREENING SHALL BE 100% SOLID AND SCREENING SHALL BE 100% SOLID. ALL SCREENING SHALL BE 100% SOLID. ALL SCREENING SHALL BE 100% SOLID.

COVERAGE AREA	
PERMITTED COVERAGE	
LOT AREA	1,492.00 SQ. FT.
TOTAL NON-DEVELOPABLE COVERAGE	1,492.00 SQ. FT.
STRUCTURED AND PERMITTED COVERAGE	1,492.00 SQ. FT.
OTHER NON-DEVELOPABLE COVERAGE	0.00 SQ. FT.
UNDEVELOPABLE COVERAGE	
TOTAL NON-DEVELOPABLE COVERAGE	1,492.00 SQ. FT.
STRUCTURED AND PERMITTED COVERAGE	1,492.00 SQ. FT.
OTHER NON-DEVELOPABLE COVERAGE	0.00 SQ. FT.

HARDSCAPE PLAN
 SCALE: 1/8" = 1'-0"

CODE IN EFFECT: 2023 Florida Building Code - 8th. Edition



RENDERED FLOOR PLAN-1ST FLOOR



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 SUITE 201
 MIAMI, FL 33136
 TEL: 305-751-1111
 WWW.AD-ARCHITECTURE.COM

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 VALID LICENSE NO.

OSCAR CABEZA
ARCHITECT
 No. A0196758

ARCHITECT OR ENGINEER MUST EXPLICITLY
 IDENTIFY HIS OR HER DESIGN OR CONSTRUCTION
 AND OTHER PROJECTS, DATE & SIGN
 DATE. THE CLIENT HAS OBTAINED AN
 APPROVAL FROM ARCHITECTS, ENGINEERS AND
 SURVEYORS IN THE STATE OF FLORIDA AND
 IS NOT BEING USED TO REPRESENT THE
 ARCHITECT OR ENGINEER IN ANY OTHER
 MANNER. THIS CONTRACT IS SUBJECT TO THE
 TERMS AND CONDITIONS OF THE ARCHITECT'S
 STANDARD CONTRACT AND CONDITIONS OF
 SERVICE.

- PROJECT: SHARON RESIDENCE
- ADDRESS: 42 CAMDEN DRIVE, BAL HARBOUR, FLORIDA 33154
- OWNER: CLAY STATION

PROJECT NUMBER: 24-305

DATE: 10.15.24

REV.1

REV.2

REV.3

SHEET TITLE

**RENDERED FLOOR
 PLAN
 1ST FLOOR**

SCALE: AS NOTED

SHEET NO.

A.200

CODE IN EFFECT: 2023 Florida Building Code - 8th. Edition

GENERAL NOTES:

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND ANGLES AND ALL OTHER EXISTING CONDITIONS PRIOR TO COMMENCING ANY WORK. CONTRACTOR TO ALSO VERIFY AND APPROVE ALL INFORMATION OR DRAWINGS ACCEPTANCE OF THESE PLANS CONSTITUTES APPROVAL PLEASE NOTIFY ENGINEER BY CERTIFIED MAIL OF ANY CONFLICTS OR DISCREPANCIES IF ANY.
2. CONTRACTOR SHALL FURNISH AND BE SOLELY RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN FIRMNESS AND STABILITY OF ALL STRUCTURAL ELEMENTS DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL OBTAIN FROM ALL SUBCONTRACTORS THE FINAL APPROVED SITE AND LOCATION OF ALL CRACKS TO BE PROVIDED FOR RESPECTIVE TRADES. HE SHALL BE RESPONSIBLE FOR LOCATION AND DETAILS.
4. ALL CONCRETE FOR FOUNDATIONS & SLABS ON GRADE SHALL MEACH 2500 P.S.I. COMPRESSIVE STRENGTH AT 28 DAYS AND ALL EXPOSED GROUTED CELLS, SLABS ABOVE GRADE, AND 3/4 SLABS SHALL REACH 3000 P.S.I. COMPRESSIVE STRENGTH MINIMUM AT 28 DAYS UNLESS OTHERWISE NOTED.
5. CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR VERIFYING REQUIRED GRADE & FINISHED FLOOR ELEVATIONS WITH RESPECT TO LOCAL FLOOD CRITERIA, FLOODING CROWN OF ROAD ELEVATIONS, FEDERAL FLOOD CRITERIA OR ANY OTHER GOVERNING BODY.
6. OWNER AND CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING BY CERTIFIED MAIL UPON COMMENCEMENT OF PROJECT.
7. THE OWNER SHALL BE SOLELY RESPONSIBLE FOR INVESTIGATION IN REFERENCE TO WHETHER A STRUCTURE CAN BE BUILT ON SITE. PAYMENT OF THESE DRAWINGS CONSTITUTES ACCEPTANCE & AGREEMENT WITH THE FOLLOWING STATEMENT. NO PARTY SHALL INFLATE DELAY CLAIMS AGAINST OSCAR CABEZA. LAWYER'S SHALL BE LIMITED TO FEES PAID TO THE DESIGN PROFESSIONAL.

GENERAL LEGEND:

- NEW C.I.E. WALL
- NEW 5/8" DIA. BS. (WITH BARS) ON 3/4" W. SPACES @ 18" O.C.
- NEW 3/4" "BEE" CONCRETE ON (FINISH OR TYPICAL) ON 3/4" W. SPACES @ 18" O.C. TIE TO 70" AFF ON BATHROOM SIDE.

DOORS & WINDOWS NOTE:

DOOR-CLOSED-COMB LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE CLOSE.

EVERY BATHROOM DOOR SHALL BE DESIGNED TO ALLOW OPENING FROM THE OUTSIDE DURING AN EMERGENCY WITH LOCKED.

FINISH THRESHOLD & WEATHER STRIPS AT ALL EXTERIOR DOORS.

WARNING DOORS AND FRENCH GLASS DOOR INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS SET FORTH IN THE APPROVED PRODUCT CONTROL APPROVAL.

HOUSE SQUARE FOOTAGE

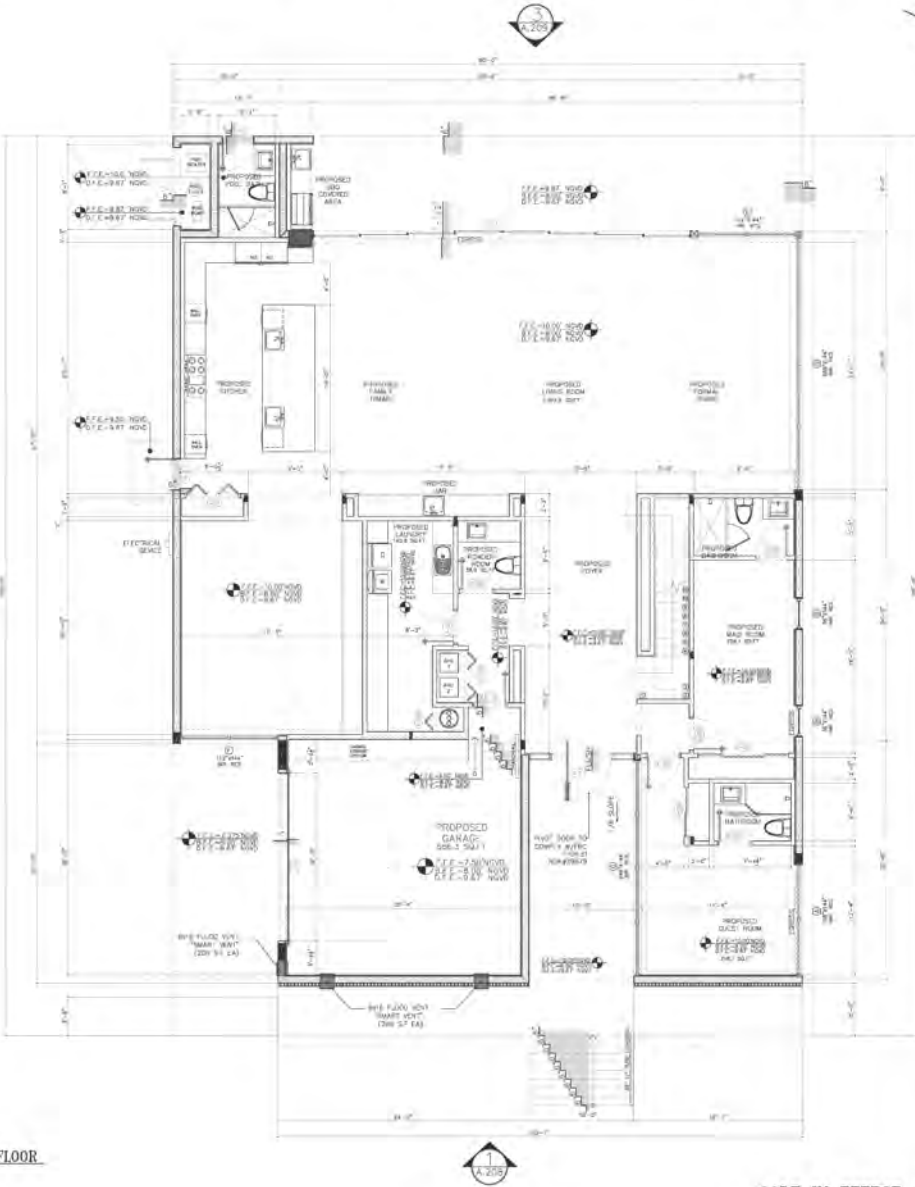
NET FLOOR	3,424.10 SQ. FT.
GND FLOOR	3,290.53 SQ. FT.
TOTAL UNDER A/C	3,704.8 SQ. FT.
GARAGE AREA	106.1 FT.
TOTAL HOUSE SQUARE FOOTAGE	7,360.7 FT.

GARAGE FLOOD OPENING CALCULATION

GARAGE AREA	556 SF
FLOOD OPENINGS AREA REQUIRED	506 SF
FLOOD OPENINGS AREA PROPOSED	800 SF

FLOOD VENT LEGEND

- FLOOD VENT THRU WALL TYPE OF 2 SQUARE VENTS 8"X16" (200 SF EA) @ 5/22/22 - 09



FLOOR PLAN - 1ST FLOOR
SCALE: 3/16" = 1'-0"

FLOOD LEGEND

X. FLOOD ZONE	AE
B. BASE FLOOD ELEVATION	8.00' NAVD
C. DESIGN FLOOR ELEVATION	9.87' NAVD
D. TOP OF BOTTOM FLOOR (FINISH FLOOR ELEVATION 1ST LEVEL)	10.00' NAVD
E. TOP OF THE NEXT HIGHER FLOOR	N/A
F. BOTTOM OF THE LINKS HORIZONTAL STRUCTURAL MEMBER (V ZONE 2b-y)	N/A
G. AT ADDED DETAIL (TOP OF SLAB)	7.50' NAVD
H. LOWEST ELEVATION OF MAINTENANCE OR EQUIPMENT SERVING THE BUILDING	10.00' NAVD
I. LOWEST ADJACENT (FINISHED) GRADE NEXT TO BUILDING	3.50' NAVD
J. HIGHEST ADJACENT (FINISHED) GRADE NEXT TO BUILDING	9.20' NAVD
K. HIGHEST CROWN OF ROAD ELEVATION	4.50' NAVD
L. FIRM MAP PANEL NUMBER	120860201446
M. DIRM CATALOG	

CODE IN EFFECT: 2023 Florida Building Code - 8th. Edition



PROJECT ID:
NOTHING IS TO BE BUILT OR
REMOVED UNLESS SPECIFICALLY
NOTED OTHERWISE.

**OSCAR CABEZA
ARCHITECT**
Tel: 407.236.2266

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OSCAR CABEZA ARCHITECT.

PROJECT: SHARON RESIDENCE
ADDRESS: 42 CAMDEN DRIVE
BAL HARBOUR, FLORIDA 33154
OWNER: E. AD SHARON

PROJECT NUMBER: 24-1284

DATE: 10.15.24

REV.1

REV.2

REV.3

SHEET TITLE:

**FLOOR PLAN
1ST FLOOR**

SCALE: AS SHOWN

SHEET NO.

A.201



RENDERED FLOOR PLAN-2ND FLOOR



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 ARCHITECTURE
 SPACE PLANNING
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 PLANNING/ZONING
 1000 AVENUE 80
 MANALATIA, FL 32843
 Tel: 407-224-7811
 Fax: 407-277-1731
 Email: info@ad-architecture.com
 www.ad-architecture.com

ARCHITECT'S SEAL
 NOT VALID UNLESS IT BEARS AN
 ORIGINAL SIGNATURE AND A
 REGISTERED NUMBER.

OSCAR CABEZA
ARCHITECT
 No. AH96758

ARCHITECTS OF RECORD SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT AND FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AND DOES NOT EXTEND TO THE PERFORMANCE OF THE PROJECT OR THE QUALITY OF THE WORKMANSHIP OF THE CONTRACTORS.

- PROJECT: SHARON RESIDENCE
- ADDRESS: 42 CAMDEN DRIVE
BAL HARBOUR, FLORIDA 33154
- OWNER: FLAD SHARON

PROJECT NUMBER: 24-1395

DATE: 10.15.24

REV.1

REV.2

REV.3

SHEET TITLE

RENDERED FLOOR
 PLAN
 2ND FLOOR

SCALE: AS NOTED

SHEET NO.

A.202

CODE IN EFFECT: 2023 Florida Building Code - 8th. Edition

GENERAL NOTES:

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND ANGLES AND ALL OTHERS BEFORE COMMENCING WORK TO CORRECTING ANY ASHES. CONTRACTOR TO ALSO VERIFY THE APPROVAL OF ALL CONSTRUCTION OF DRAWINGS. ASSUMPTIONS OF THESE PLANS CONSTITUTE APPROVAL. PLEASE NOTIFY ENGINEER BY CIRCULAR MAIL OF ALL CORRECTIONS OR DISCREPANCIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS.
2. CONTRACTOR SHALL VERIFY AND BE SOLELY RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING TO MAINTAIN LEVELNESS AND STABILITY OF ALL STRUCTURAL ELEMENTS DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND TO MAINTAIN THE LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES.
4. ALL CONCRETE "ON" FOUNDATIONS & SLABS ON GRADE SHALL BEAD: 2000 PSI COMPRESSIVE STRENGTH AT 28 DAYS AND ALL CONCRETE GROUTS SHALL BEAD: 4000 PSI COMPRESSIVE STRENGTH AT 28 DAYS UNLESS OTHERWISE NOTED.
5. CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR VERIFYING REQUIRED GRADES & FINISHES TO CORRELATE WITH RESPECT TO LOCAL GOVERNMENT, FEDERAL, STATE, COUNTY, FEDERAL, TYPICAL SPECIFICATIONS OR ANY OTHER APPLICABLE CODES.
6. OWNER AND CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING BY CIRCULAR MAIL OF ANY CORRECTIONS TO PROJECT.
7. THE OWNER SHALL BE SOLELY RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PAYMENT OF THESE FEES. CONTRACTOR'S ACCEPTANCE & AGREEMENT WITH THE LOCAL GOVERNMENT, FEDERAL, STATE, COUNTY, FEDERAL, TYPICAL SPECIFICATIONS OR ANY OTHER APPLICABLE CODES SHALL BE LIMITED TO THE DESIGN PROFESSIONAL.

GENERAL LEGEND:

-  NON-CODE WALL
-  5/8" MIN. STAINLESS STEEL
-  1/2" MIN. STAINLESS STEEL

DOORS & WINDOWS NOTE:

EVERY DOOR SHALL BE DESIGNED TO ALLOW OPENING FROM THE INSIDE DURING AN EMERGENCY FROM LOCKED POSITION.

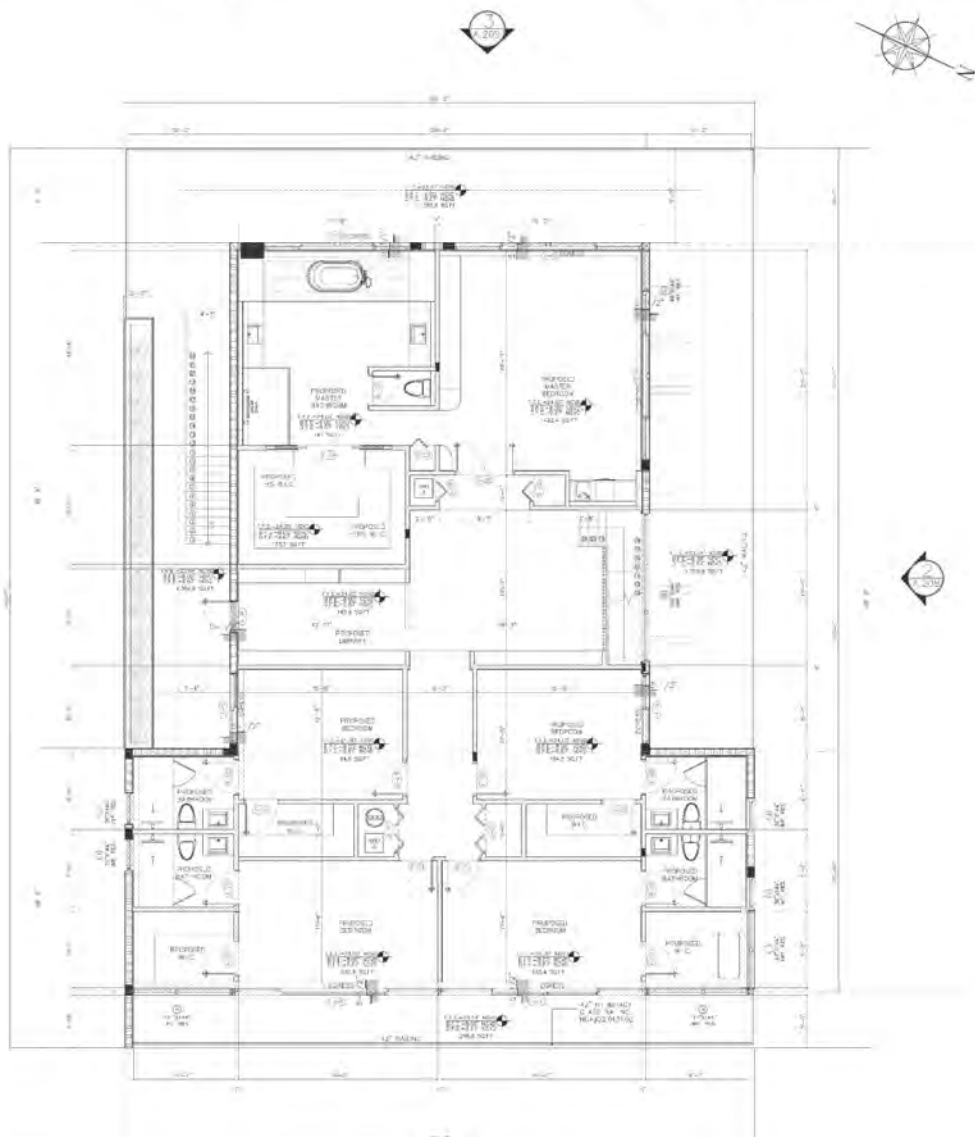
EVERY BATHROOM DOOR SHALL BE DESIGNED TO ALLOW OPENING FROM THE INSIDE DURING AN EMERGENCY FROM LOCKED POSITION.

TRAVELER'S NEEDLES & NEEDLES SHALL BE AT ALL ENTRY DOORS.

WHYME, DOOR AND WINDOW GLASS SHALL BEAD: 1/2\"

HOUSE SQUARE FOOTAGE

GR. FLOOR	3,450.00 SQ. FT.
2ND FLOOR	3,280.00 SQ. FT.
TOTAL UNDER A/C	6,730.00 SQ. FT.
PERMITS AREA	140.00 SQ. FT.
TOTAL HOUSE SQUARE FOOTAGE	6,870.00 SQ. FT.



FLOOR PLAN - 2ND FLOOR
SCALE: 3/16" = 1'-0"

CODE IN EFFECT: 2023 Florida Building Code - 8th. Edition



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11111 N. W. 11th Ave.
Miami, FL 33150
Tel: 305.444.1111
Fax: 305.444.1112
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11111 N. W. 11th Ave.
Miami, FL 33150
Tel: 305.444.1111
Fax: 305.444.1112
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PROJECT: SARAH RESIDENCE
ADDRESS: 42 CAMDEN DRIVE, BAL HARBOUR, FL 33408
OWNER: J. J. SHAW

PROJECT NUMBER: 240-100

DATE:	10.15.24
REV. 1	
REV. 2	
REV. 3	

DATE: 10/15/24

**FLOOR PLAN
2ND FLOOR**

SCALE: 3/16" = 1'-0"

SHEET NO.
A.203

42 CAMDEN
BAL HARBOUR, FL

FLOOR PLAN - 2ND FLOOR



RENDERED FLOOR PLAN-TERRACE FLOOR



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OSCAR CABEZA
ARCHITECT
 No. AR06758

ARCHITECTS OF RECORD SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND OTHER AGENCIES' FEES AND TO OBTAIN THE PERMITS AND OTHER AGENCIES' FEES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING THE PERMITS AND OTHER AGENCIES' FEES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING THE PERMITS AND OTHER AGENCIES' FEES.

- PROJECT: SHARON RESIDENCE
- ADDRESS: 42 CAMDEN DRIVE
BAL HARBOUR, FLORIDA 33154
- OWNER: FLAD, SHARON

PROJECT NUMBER: 24-1395

DATE: 10.15.24

REV.1

REV.2

REV.3

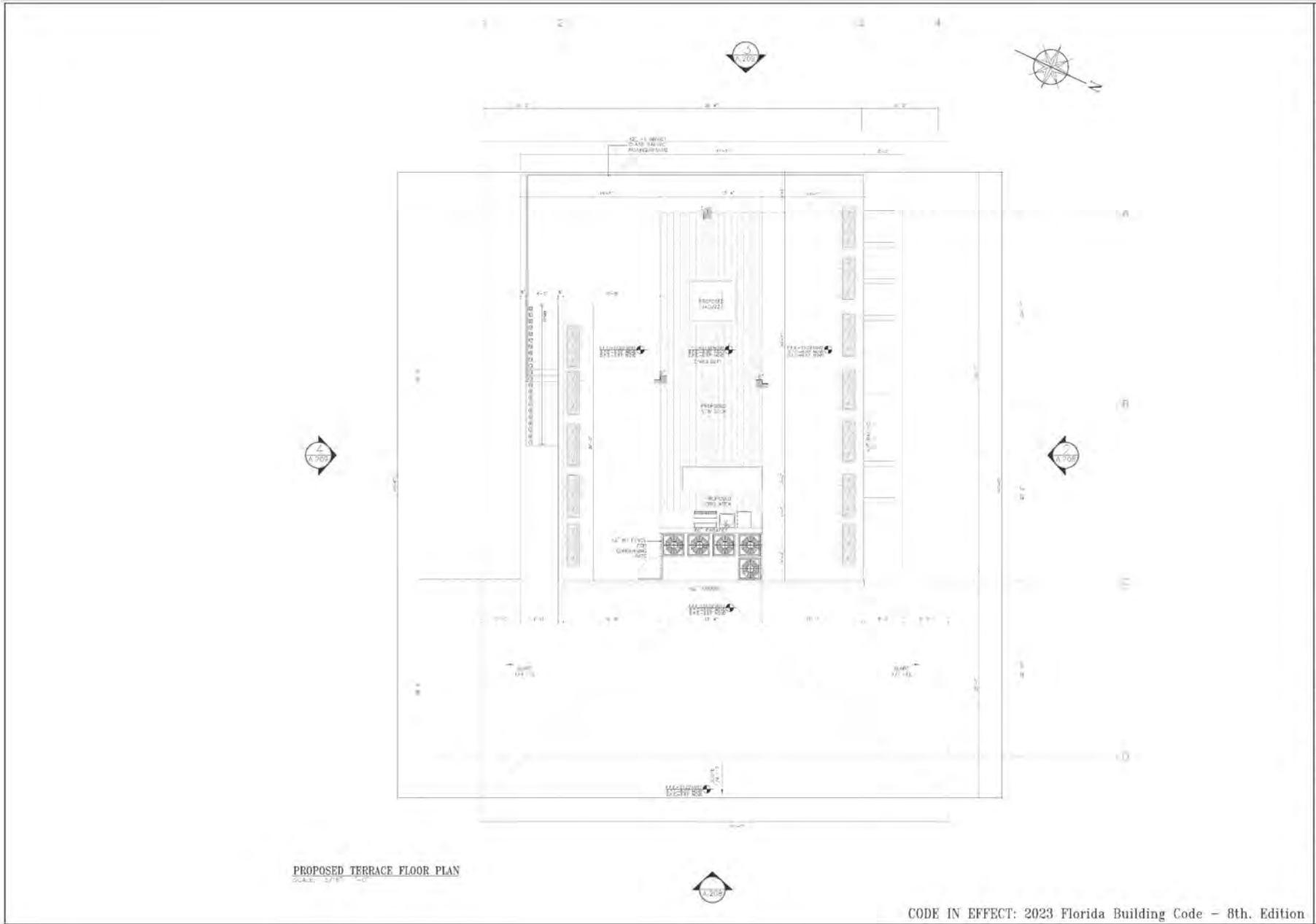
SHEET TITLE

RENDERED FLOOR
 PLAN
 TERRACE FLOOR
 SCALE: AS NOTED

SHEET NO.

A.204

CODE IN EFFECT: 2023 Florida Building Code - 8th. Edition



PROPOSED TERRACE FLOOR PLAN
Scale: 1/8" = 1'-0"

CODE IN EFFECT: 2023 Florida Building Code - 8th. Edition

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ARCHITECTURE
 SPACE PLANNING
 INTERIORS DESIGN
 FURNITURE DESIGN

1000 W. PALM BEACH BLVD
 SUITE 100
 PALM BEACH, FL 33480
 TEL: 561-855-1111
 FAX: 561-855-1112
 WWW.AD-ARCHITECTURE.COM

PROJECT TEAM
 ARCHITECT: OSCAR CABEZA ARCHITECTS
 INTERIORS DESIGNER: OSCAR CABEZA ARCHITECTS
 FURNITURE DESIGNER: OSCAR CABEZA ARCHITECTS

OSCAR CABEZA
ARCHITECT
 No. 100000000

ALL WORK IS SUBJECT TO THE APPROVAL OF THE LOCAL BUILDING DEPARTMENT AND ALL LOCAL ORDINANCES.
 ALL WORK IS SUBJECT TO THE APPROVAL OF THE LOCAL BUILDING DEPARTMENT AND ALL LOCAL ORDINANCES.
 ALL WORK IS SUBJECT TO THE APPROVAL OF THE LOCAL BUILDING DEPARTMENT AND ALL LOCAL ORDINANCES.

- PROJECT: SARAH'S RESIDENCE
- ADDRESS: 42 CAMDEN DRIVE, BAL HARBOUR, FL 33409, US
- OWNER: SARAH SHAW

PROJECT NUMBER: 24-1123

DATE:	10.15.24
REV. 1	
REV. 2	
REV. 3	

SHEET TITLE:
TERRACE FLOOR PLAN

SHEET NO.
A.205



FINISH LEGEND	
TEXTURE	DESCRIPTION
[Travertine Stone Pattern]	TRAVERTINE STONE FINISH
[Wood Look Pattern]	WOOD LOOK CLADDING
[Dark Gray Pattern]	5/8" SLICED FINISH DARK GRAY PAINT 1/2" REVEAL 24" O.C.
[Glass Pattern]	GLASS
[Aluminum Bronze Pattern]	ALUMINUM BRONZE FINISH

FLORIDA PRODUCT NUMBER	
NOA	DESCRIPTION
31009	OUTSWING FRENCH DOOR/ENTRY "E"
33666	RECT CLAZZ
33060	MULTI DE 3001
33665	MULTI DE 300T
33664	GARAGE DOOR GLASS
33690	STORM FRONT R-2/UT FRAM
22013102	POSTLESS CLASS RAILING
34015	CASSETT WINDOW
28619	GLAZED OR DRAGN WOOD PVDE DOOR

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 Architecture Developers, LLC

AA2000-0008

ARCHITECT: JRE
 SPACE PLANNING: JRE
 INTERIOR DESIGN: JRE
 PLANNING/COORDINATOR: JRE

DESIGNER: JRE
 MODEL: JRE
 DATE: 10/10/24
 11A 00 - 01-10-24
 11A 00 - 01-10-24
 11A 00 - 01-10-24

PROJECT: SHARON RESIDENCE
 ADDRESS: 42 CAMDEN DR, BAL HARBOUR, FLORIDA 33454
 OWNER: LILAE SHARON

OSCAR CABEZA ARCHITECT
 No. 41967338

NOT TO SCALE UNLESS SPECIFIED
 ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED
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 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
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 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED

PROJECT: SHARON RESIDENCE
 ADDRESS: 42 CAMDEN DR, BAL HARBOUR, FLORIDA 33454
 OWNER: LILAE SHARON

PROJECT NUMBER: 21-199
 DATE: 10.15.24
 REV.1
 REV.2
 REV.3

ELEVATIONS

SCALE: AS NOTED

SHEET NO.
 A.208

CODE IN EFFECT: 2023 Florida Building Code - 8th. Edition

FINISH LEGEND	
TEXTURE	DESCRIPTION
	TRAVERTINE STONE FINISH
	WOOD LOOK CLADDING
	S/8" STUCCO FINISH DARK GRAY PAINT - 1/2" TOTAL 24" O.C.
	GLASS
	ALUMINUM BRONZE FINISH

FLORIDA PRODUCT NUMBER	
NOA	DESCRIPTION
31006	SH/SH/SH + HAND ROOM/ NERY 12"
33696	DIRECT GLAZE
33665	WH/TS/GE 3000
31060	WHL/SLDR 3000
33694	GARAGE DOOR GLASS
33690	STOY/CONT 6-5/8" FRAM
22.01.01.02	POSTLESS GLASS RAILING
340.5	CASEMENT WINDOW
24679	GLAZED 35-OPAQUE WOOD FINISH DOOR



EAST ELEVATION



SOUTH ELEVATION

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AA22030303

ARCHITECTURE
3000 PLANNING
1700 S. OCEAN
Ft. Lauderdale, FL 33304

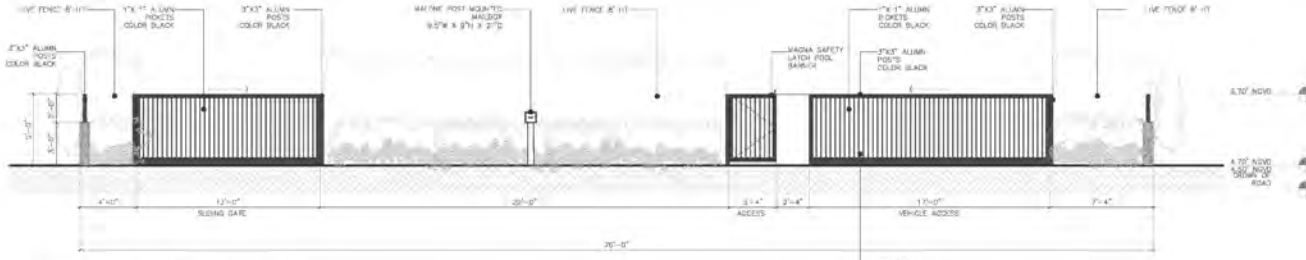
PROJECT NO. 24-1392
ARCHITECT
OSCAR CABEZA
ARCHITECT
No. 1992755

PROJECT: SHARON RESIDENCE
ADDRESS: 42 CAMDEN DRIVE
BAL HARBOUR, FL 33414
OWNER: ELAD SHARON

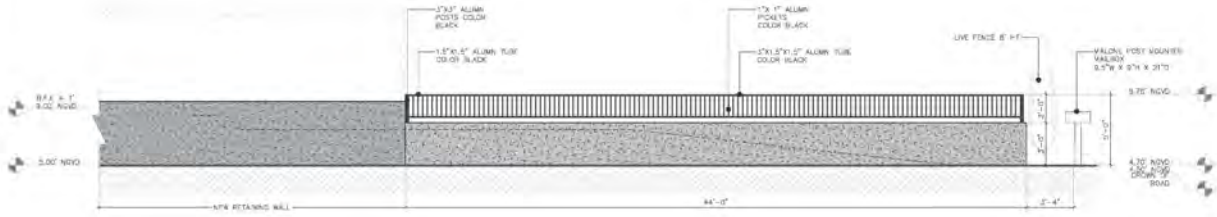
PROJECT NUMBER: 24-1392
DATE: 10.15.24
REV.1
REV.2
REV.3

SHEET TITLE
ELEVATIONS
SCALE: AS NOTED
SHEET NO.
A.209

CODE IN EFFECT: 2023 Florida Building Code - 8th. Edition



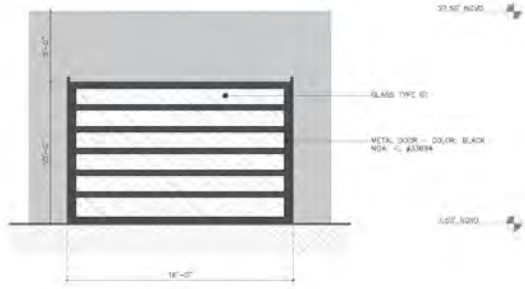
FRONT FENCE ELEVATION
SCALE: 1/4" = 1'-0"



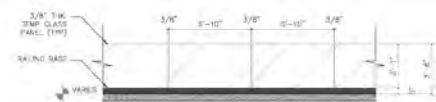
SIDE FENCE ELEVATION
SCALE: 1/4" = 1'-0"



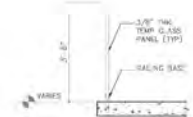
POST MOUNTED MAILBOX
SCALE: NTS



GARAGE ACCESS - FRONT ELEVATION
SCALE: 1/4" = 1'-0"



GLASS RAILING - FRONT ELEVATION
SCALE: 1/4" = 1'-0"



GLASS RAILING - SECTION
SCALE: 1/2" = 1'-0"

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BAL HARBOUR, FL 33608
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WWW.AD-ARCHITECTURE.COM

OSCAR CABEZA ARCHITECT
TEL: 409.758

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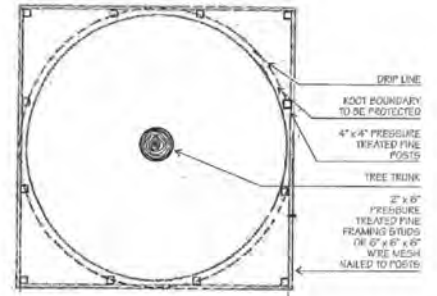
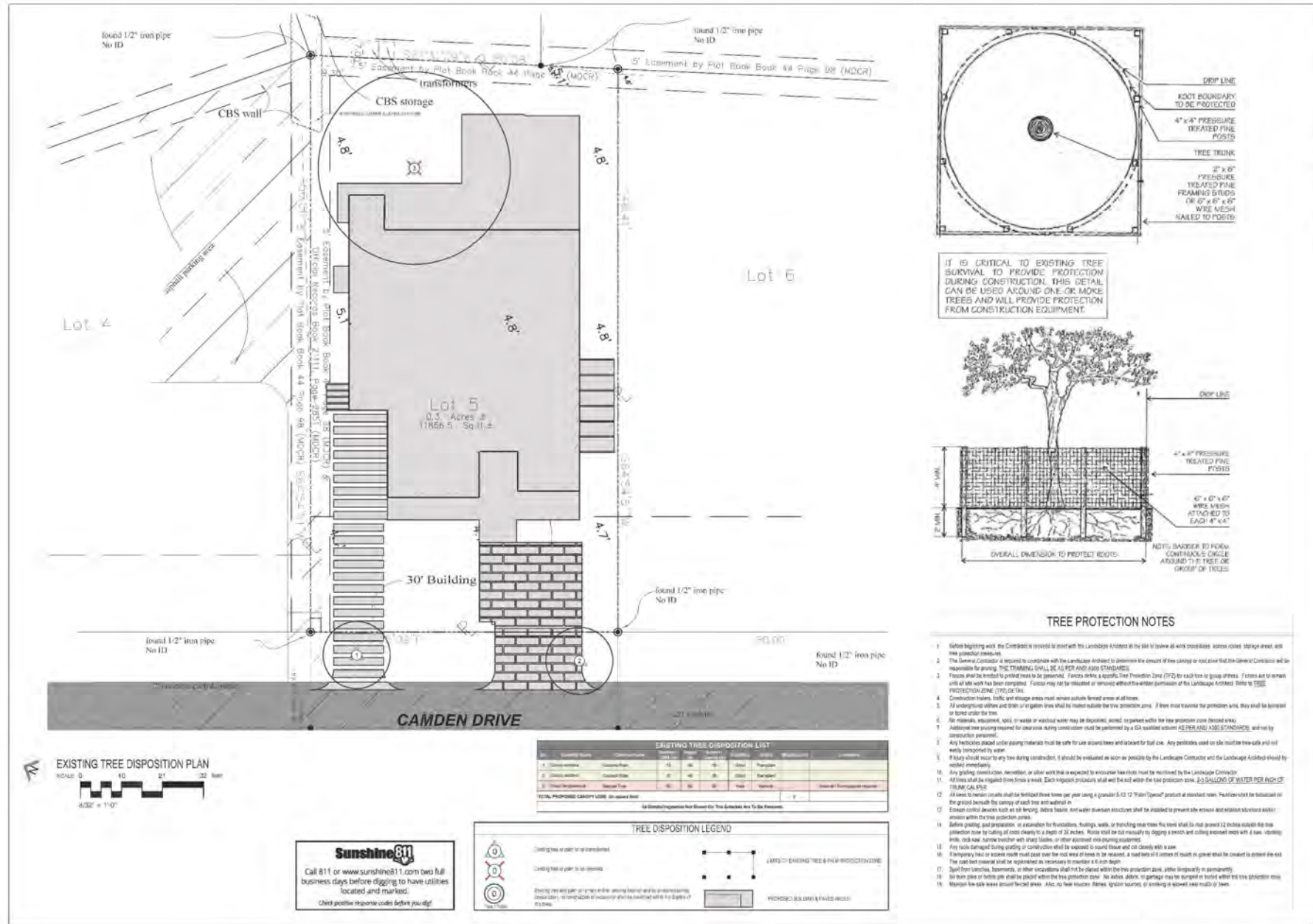
PROJECT: SHARON RESIDENCE
ADDRESS: 42 CAMDEN DRIVE
BAL HARBOUR, FLORIDA 33454
OWNER: ELAN SHARON

PROJECT NUMBER: 24-1581

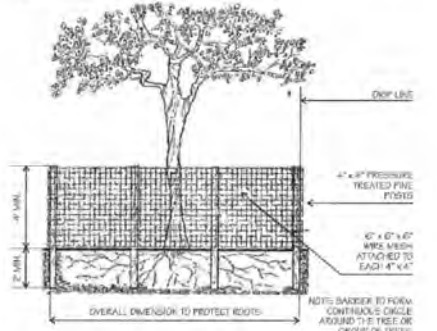
DATE:	10.15.24
REV.1	
REV.2	
REV.3	

SHEET TITLE
ARCHITECTURAL DETAILS
SCALE: AS NOTED
SHEET NO.
A.210

CODE IN EFFECT: 2023 Florida Building Code - 8th. Edition



IT IS CRITICAL TO EXISTING TREE SURVIVAL TO PROVIDE PROTECTION DURING CONSTRUCTION. THIS DETAIL CAN BE USED AROUND ONE OR MORE TREES AND WILL PROVIDE PROTECTION FROM CONSTRUCTION EQUIPMENT.



TREE PROTECTION NOTES

1. Before beginning work the Contractor is advised to meet with the Landscape Architect at the site to review all work conditions, access routes, storage areas, and site protection measures.
2. The General Contractor is required to cooperate with the Landscape Architect to determine the amount of tree canopy or root zone that the General Contractor will be responsible for pruning. THE TRIMMING SHALL BE TO PCF AND ASPO STANDARDS.
3. Pruning shall be restricted to pruning areas to be pruned. Pruning shall be specific to the Pruning Zone (PZ) for each tree or group of trees. Pruning shall be restricted to work that has been completed. Pruning shall not be relocated or removed without the written permission of the Landscape Architect. Refer to TREE PROTECTION ZONE (TPZ) DETAIL.
4. Construction trailers, tools, and storage areas shall remain outside fenced areas at all times.
5. All underground utilities and drains or irrigation lines shall be marked outside the tree protection zone. If lines must traverse the protection zone, they shall be sleeved or bared under the tree.
6. No materials, equipment, spoil, or waste or vaporous water may be deposited, stored, or worked within the tree protection zone fenced areas.
7. Additional tree pruning required for clear area during construction must be performed by a ISA qualified arborist AS PER ANSI A300 STANDARDS, and not by construction personnel.
8. Any herbicides placed under existing conditions must be safe for use around trees and labeled for that use. Any herbicides used on site must be tree safe and not widely transported by water.
9. If any herbicide is used for any tree during construction, it should be evaluated as soon as possible by the Landscape Contractor and the Landscape Architect should be notified immediately.
10. Any grading, construction, excavation, or other work that is expected to excavate tree roots must be reviewed by the Landscape Contractor.
11. All trees shall be irrigated three times a week. Each irrigation product shall wet the soil within the tree protection zone. 2.5 GALLONS OF WATER PER INCH OF TRUNK CALIPER.
12. All trees to remain in situ shall be fertilized three times per year using a granular 3-12-12 "TreeTonic" product at standard rates. Fertilizer shall be broadcast on the ground beneath the canopy of each tree and watered in.
13. Erosion control devices such as silt fencing, silt curtains, and water diversion structures shall be installed to prevent site erosion and sedimentation and/or erosion within the tree protection zone.
14. Before grading, soil preparation, or excavation for foundations, footings, walls, or trenching near trees the root zone shall be protected by installing a tree protection zone by cutting all roots closer to a depth of 36 inches. Roots shall be cut manually by digging a trench and cutting exposed roots with a saw. Vibration drills, rock saws, saw-tooth trenchers with sharp blades, or other approved root cutting equipment.
15. Any roots damaged during grading or construction shall be supported to sound tissue and cut cleanly with a saw.
16. If temporary trees or access roads must cross over the root zone of trees to be retained, a road base of 12 inches of gravel shall be installed to protect the soil and the road base material shall be replaced as necessary to maintain a 6.0 psi depth.
17. Soil from trenches, basements, or other excavations shall not be placed within the tree protection zone, either temporarily or permanently.
18. All lawn areas or other areas shall be irrigated within the tree protection zone. No water, debris, or garbage may be dumped or heaped within the tree protection zone. Material law shall be placed around areas. Also, no fuel sources, flames, ignition sources, or smoking is allowed near multi-trunk trees.



Location	Tree Name	Species	DBH	Height	Health	Notes	Disposition
1	Cherry	Prunus	12	18	Good	Remove	Remove
2	Cherry	Prunus	12	18	Good	Remove	Remove
3	Cherry	Prunus	12	18	Good	Remove	Remove



Sunshine811
 Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.
 Check positive response codes before you dig!

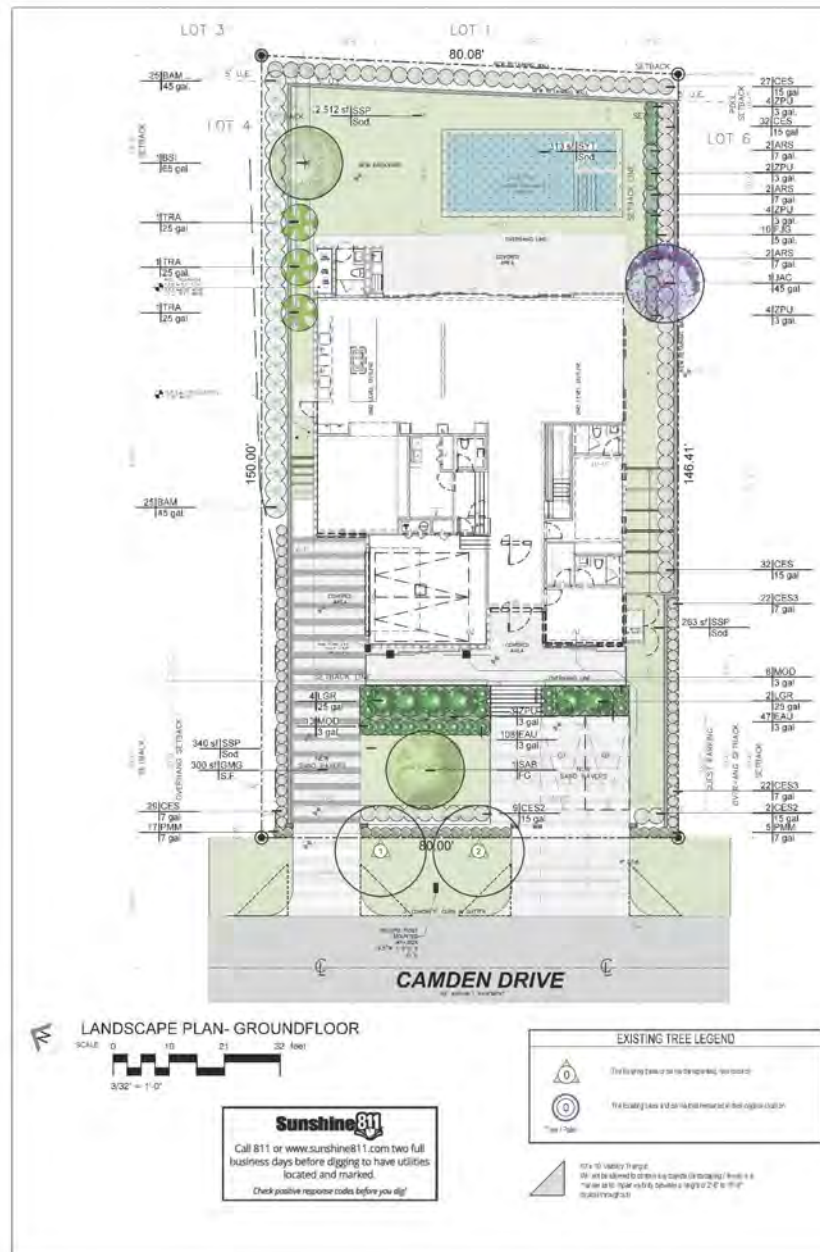
ALL LANDSCAPE DATA INC.
 Landscape (Architecture + Plant Information)
 (305) 303-7059 / 4489 NW 97 CT
 Doral, FL 33178
 www.alllandscape.com
 www.allmicrospecdata.com

Digitally signed by Derek Langel
 Date: 2024.10.11 14:02:41-04'00'

PROJECT NAME: SHARON RESIDENCE
 42 Camden Drive
 Bal Harbor, Florida

Drawing Date: 04/24/24
 Project #: 2024-0474-ADA
 Drawn By: TD
 Checked By: CL

Sheet Number: **L-01**
 Date: - August 14, 2024



PLANT SCHEDULE - GROUND FLOOR

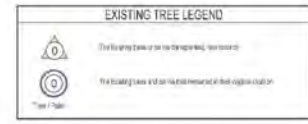
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	DBH	HGT.	SRD.	REMARKS
TREES									
●	BE	1	Bursera simarouba	Cumbo Limbo	48.00	4.0"	14-16'	DA	Florida Native - Miami-Dade Landscape Manual - Drought Tolerant
●	JAC	1	Jacaranda mimosoides	Jacaranda	48.00	3"	18-24'	DA	ST0 - Miami-Dade Landscape Manual - Very Drought Tolerant
●	SAB	1	Sesuvia portulacastris	Wesley's Wisp	10.00	2.0"	10-12'	DA	9-8'
SHRUBS									
●	ARE	8	Ardisia cuneata	Red Bay	7.00	3"	3-4'		
●	LOR	8	Loropetalum chinense	China Palm	25.00	3"	6-8'	DA	
●	MCD	10	Miconia chelonoides	Ceriman	7.00	3"	3-4'		Miami-Dade Landscape Manual
●	PLM	27	Podocarpus neriifolius	Shrubby Yew	7.00	1.5"	6-8'		
●	ZPU	17	Zamia pumila	Coccoloba	7.00	2"	2-3'		Florida Native - Miami-Dade Landscape Manual
LARGE SHRUBS									
●	SAM	25	Sambucus mexicana	Sweetwood Shrub	45.00	4"	4-6'		
●	CES	16	Conocarpus erectus var. strictus	Silver Shrub	15.00	4"	4-6'		Shrub Type - Florida Native - Miami-Dade Landscape Manual
●	CES	11	Conocarpus erectus var. strictus	Silver Shrub	15.00	4"	4-6'		Shrub Type - Florida Native - Miami-Dade Landscape Manual
●	CES	20	Conocarpus erectus var. strictus	Silver Shrub	7.00	4"	4-6'		Shrub Type - Florida Native - Miami-Dade Landscape Manual
●	CES	25	Conocarpus erectus var. strictus	Silver Shrub	7.00	4"	4-6'		Shrub Type - Florida Native - Miami-Dade Landscape Manual
PALMS									
●	TRA	3	Trachycarpus fortunei	Florida Peach Palm	28.00	8"	4-5'		Single - Florida Native - Miami-Dade Landscape Manual - Drought Tolerant
SHRUB AREAS									
■	BAL	100	Euphorbia corollata	Colden Florida Vine	3.00	8"	18"		18" o.c.
■	FJA	10	Ficus religiosa	Fig	6.00	3"	12"		24" o.c.
AGGREGATES									
■	GAG	300.0	Gray Media Gravel 1/2"	1/2" Gray Media Gravel	5.00				3" Layer - Substitute for Gray Media if Desired
SOIL/SEED									
■	BSF	2.814	Stenotaphrum secundatum - Palmetto	Palmetto St. Augustine Grass	300				Check Inventory
■	EVT	278.0	Styrene Lat	Artificial Grass	300				

BAL HARBOUR VILLAGE
LANDSCAPE LEGEND Information Required to be Permanently Affixed to Plan

Zoning District: R-2 Net Lot Area: 11,557 s.f.

	REQUIRED	PROVIDED
TREES		
A. No. trees required per net lot acre Less existing number of trees meeting minimum requirements = 3 trees x net lot acres =	3	3
B. % Palms Allowed: No. trees required x 30% = % Palms permitted to count as silver trees 1:1 ratio x 30% =	1	0
C. % Natives Required: No. trees provided x 30% =	1	7
D. Silver trees (maximum average spacing of 30' o.c.) = 30' linear feet along street x 30' x 2.00 =	7	2
E. Street trees located directly beneath power lines (maximum average spacing of 25' o.c.) = 25' linear feet along street x 25' =	N/A	N/A
F. Total Trees Required A + D + E =	8	8
SHRUBS		
A. 10 shrubs per required tree =	80	211
B. No. shrubs allowed x 30% = No. of native shrubs required	16	133
IRRIGATION PLAN: If required by Chapter 33 TABLE: Containing information as indicated in separate tables.		
SEE PLANT SCHEDULE		

The safe sight distance triangle area shall not contain obstructions to cross-visibility at a height of two and one-half (2.5) feet or more above the pavement.
Ground covers and shrubs may not exceed 30" in height if within sight triangles.



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Doral, FL 33178
www.alllandscape.com
www.alllandscape.net

Digitally signed by Derek Langel Date: 2024.10.11 14:02:52-04'00'

REVISIONS:

PROJECT NAME:
SHARON RESIDENCE
42 Camden Drive
Bal Harbor, Florida

SHEET INFORMATION:
Drawing Date: 04/09
Project #: 2024-047-00A
Drawing By: DL
Checked By: DL
Title: LANDSCAPE PLAN GROUND FLOOR
Sheet Number: **L-02**
Date: August 2024

PLAN SCHEDULE SCHEDULE_001

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	DIB4	HGT	SRD	REMARKS
TREES									
	BSI	1	Bursera simaruba	Gumbo Limbo	05 gal	4"Ø"	14 - 18 CA	5-8	Florida Native - Miami-Dade Landscape Manual - Drought Tolerant
	JAC	1	Jacaranda innoxiosa	Jacaranda	45 gal	3"	14' DA	6'	STD - Miami-Dade Landscape Manual - Very Drought Tolerant
	SAB	1	Salix babingtonia	Weeping Willow	FB	2'-Ø"	10'-12' CA	6'-Ø"	
SHRUBS									
	ARS	5	Alocasia x 'Regal Shield'	Regal Shield Alocasia	1 gal	3'-4"			
	LGR	5	Licuala grandis	Licuala Palm	25 gal	3'	Ø" CA		
	MOD	18	Moronea distichata	Ceriman	3 gal	2'	2'		Miami-Dade Landscape Manual
	PMM	22	Podocarpus macrophyllus 'Mik'	Shrubby Yew	1 gal	10"	2'		
	ZPU	17	Zamia pumila	Coontie	3 gal	2'	2'		Florida Native - Miami-Dade Landscape Manual
LARGE SHRUBS									
	BAM	25	Bambusa multiplex	Seabreeze Bamboo	45 gal	15"	4'		
	CES	09	Conocarpus erectus serotinus	Silver Button Wood	15 gal	4' CA	3'-4'		Shrub Type - Florida Native - Miami-Dade Landscape Manual
	CES2	11	Conocarpus erectus serotinus	Silver Button Wood	15 gal	5' CA	3'-4'		Shrub Type - Florida Native - Miami-Dade Landscape Manual
	CES3	29	Conocarpus erectus serotinus	Silver Button Wood	7 gal	15"	3'-4'		Shrub Type - Florida Native - Miami-Dade Landscape Manual
	CES4	22	Conocarpus erectus serotinus	Silver Button Wood	7 gal	4' CA	3'-4'		Shrub Type - Florida Native - Miami-Dade Landscape Manual
PALMS									
	TRA	3	Thrinax parviflora	Florida Thatch Palm	25 gal	8' DA	4'-5'		Single - Florida Native - Miami-Dade Landscape Manual - Drought Tolerant
SHRUB AREAS									
	EAU	102	Euphorbia sursum	Golden Pothos Vine	3 gal	8"	18"		18" o.c.
	FKO	10	Ficus japonica	Giant Leopard Plant	5 gal	24"	25"		36" o.c.
AGGREGATES									
	GMG	300 sf	Gray Marble Gravel 1/2"	1/2" Gray Marble Gravel	5 ft				7" Layer - Substitute for Gray Peacock if Desired
SOD/SEED									
	SSP	2,414 sf	Stenotaphrum secundatum 'Palmetto'	Palmetto St. Augustine Grass	50d				Shade tolerant
	SYT	Ø78 sf	Synthetic turf	Artificial Grass	Øod				



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Digitally signed
 by Derek Langel
 Date: 2024.10.11
 14:03:03-04'00'

PRODUCT NAME:
 SHARON RESIDENCE
 42 Camden Drive
 Bal Harbor, FLORIDA

SHEET INFORMATION:
 Drawing Size: 36x48
 Project #: 2024-08-07-AD4
 Drawn By: JD
 Checked By: CL
 Title:
 LANDSCAPE IMAGES
 Sheet Number:
L-03
 Date: - August 31, 2024



PLAN SCHEDULE 2ND FLOOR

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	WIDTH	REMARKS
SHRUBS							
	5	Morone deltoidea	Ceriman	15 gal	4-5'	4"	Miami Date Landscape Manual
	8	Philodendron bipinnatifidum	Split Leaf Philodendron	7 gal	2.5'	2.5'	
SHRUB AREAS							
	45	Epipremnum aureum	Golden Pothos Vine	3 gal	8"	16"	18" o.c.



LANDSCAPE PLAN SECOND FLOOR
 SCALE: 0 10 21 32 feet
 3/32" = 1'-0"

EXISTING TREE LEGEND

- The Existing tree is shown in green, see location
- The Existing tree and color tree is shown in the original color

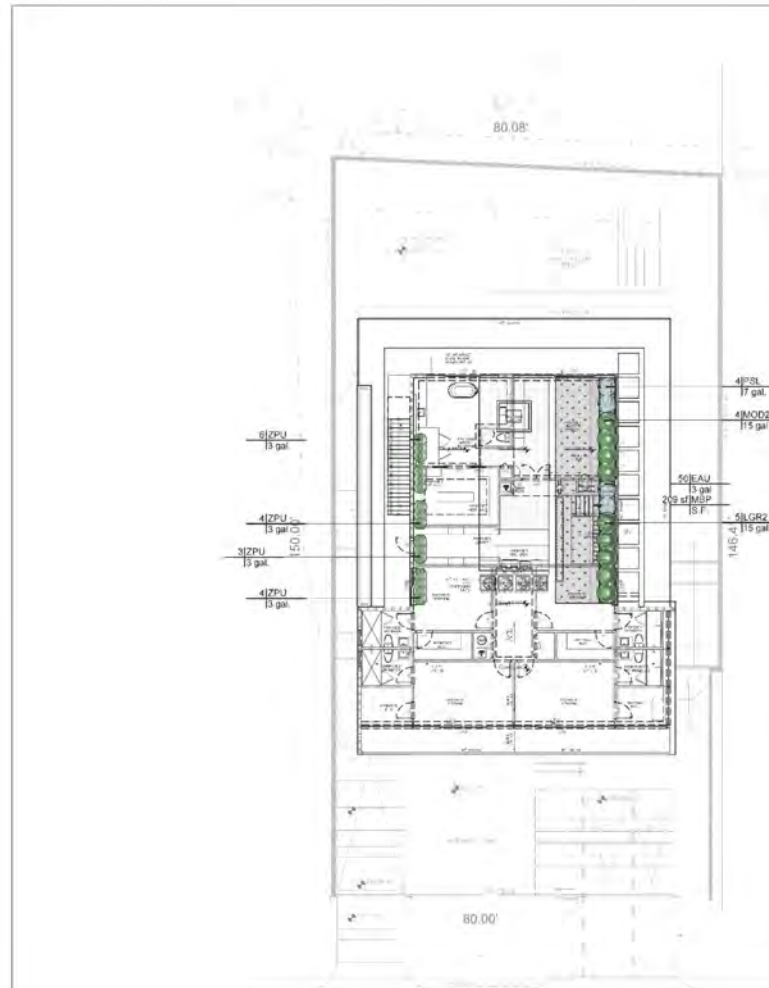
1/8" = 1'-0"

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 Date: 2024.10.11
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PROJECT NAME:
 SHARON RESIDENCE
 42 Camden Drive
 Bal Harbor, FLORIDA

SHEET INFORMATION:
 Drawing Size: 24x36
 Project #: 2024-09-07-424
 Drawn By: TD
 Checked By: CL
 Title:
 LANDSCAPE PLAN -
 SECOND FLOOR
 Sheet Number:
L-04
 Date: August 31, 2024



CAMDEN DRIVE



PLANT SCHEDULE TERRACE FLOOR

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	WIDTH	REMARKS
SHRUBS							
	5	Licuala gracilis	Licuala Palm	15 gal	3'	6' OA	
	4	Monstera deliciosa	Ceriman	18 gal	4'-6"	4'	Miami Gade Landscape Manual
	4	Philodendron bipinnatifidum	Split Leaf Philodendron	7 gal	2'-5" OA	2'-6"	
	10	Zamia pumila	Coontie	3 gal	2'	2'	Florida Native - Miami Gade Landscape Manual
SHRUB AREAS							
	51	Euphorbia pulchrum	Golden Pothos Vine	3 gal	8"	18"	18" o.c.
AGGREGATES							
	202 of	Mexican Black Pebbles	Black Pebbles	S.F.			
SOD/SEED							
	285 of	Synthetic turf	Artificial Grass	500			



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Digitally signed by Derek Langel Date: 2024.10.11 14:03:25-04'00'

PROJECT NAME
 SHARON RESIDENCE
 42 Camden Drive
 Bal Harbor, FLORIDA

Drawing Size: 24x36
 Project #: 2024-09-07-424
 Drawn By: TD
 Checked By: CL
 Title: LANDSCAPE PLAN-TERRACE
 Sheet Number: **L-05**
 Date: August 21, 2024



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DERICK LANGEL
 Professional Seal
 Digitally signed
 by Derick Langel
 Date: 2024.10.11
 14:03:36-04'00'

DERICK LANGEL
 Professional Seal
 Digitally signed
 by Derick Langel
 Date: 2024.10.11
 14:03:36-04'00'

Revision #2 - Background Contribution 08-23-24

PROJECT NAME
 SHARON RESIDENCE
 42 Camden Drive
 Bal Harbour, FLORIDA

Drawing Size: 24x36
 Project #: 2024-06-07 ADA
 Drawn By: TD
 Checked By: DL
 Title
 ELEVATIONS PLAN
 Sheet Number
L-06
 Date: August 31, 2024

42 CAMDEN
BAL HARBOUR, FL



ELEVATIONS PLAN

EAST ELEVATION
SCALE 0 8 16 24 feet
1/8" = 1'-0"



SOUTH ELEVATION
SCALE 0 8 16 24 feet
1/8" = 1'-0"



 <p>ALL LANDSCAPE DATA INC. Landscape Architecture + Plant Information (305) 303-7059 / 4459 NW 97 CT Doral, FL 33178 www.alllandscape.com www.alllandscape.net www.alllandscape.com</p>	 <p>Digitally signed by Derick Langel Date: 2024.10.11 14:03:47-04'00'</p>
	<p>REGIONS</p>
<p>PROJECT NAME</p> <p>SHARON RESIDENCE 42 Camden Drive Bal Harbor, FLORIDA</p>	<p>Drawing Size: 34x36 Project #: 2024-09-07 ADA Drawn By: TD Checked By: CL Title: ELEVATIONS PLAN</p>
<p>SHEET INFORMATION</p> <p>Sheet Number: L-07</p> <p>Date: - August 31, 2024</p>	

GENERAL NOTES

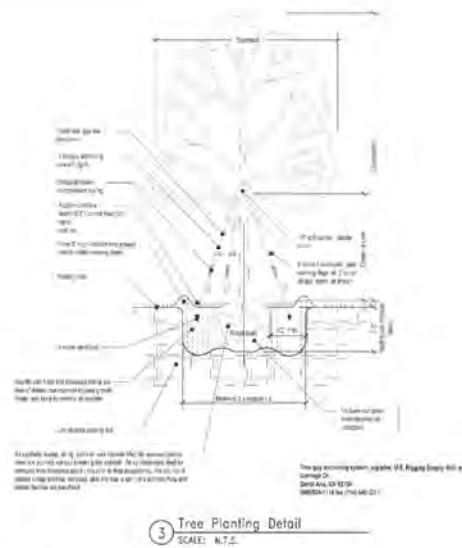
- Landscape Contractor is responsible for verifying locations of all underground and overhead utilities and easements prior to commencing work. All Utility companies and/or the General Contractor shall be notified to verify utility locations prior to digging. Utility trenching is to be coordinated with the Landscape plans prior to beginning of project. The Owner or Landscape Architect shall not be responsible for damage to utility or irrigation lines.
- Landscape Contractor shall examine the site and become familiar with conditions affecting the installation prior to submitting bids. Failure to do so shall not be considered cause for change orders.
- Landscape Contractor is responsible for verifying all plant quantities prior to bidding and within (7) seven calendar days of receipt of these plans shall notify the Landscape Architect in writing of any and all discrepancies. In case of discrepancies planting plans shall take precedence over plant list.
- No substitutions are to be made without prior consent of the Landscape Architect. Plant material supply is the responsibility of the Landscape Contractor and he/she shall take steps to insure availability at time of planting.
- All plant material shall meet or exceed the size on the plant list. In all cases meeting the height and the spread specifications shall take precedence over container size.
- All planted areas to be equipped with automatic irrigation system providing 100% coverage and 50% overlap. A rain sensor must be part of the irrigation system.
- Landscape Contractor shall be responsible for providing temporary hard watering to all proposed landscape areas during construction.
- The Landscape Contractor is responsible for coordinating tree and palm removals and transplants shown on the Tree/Palm Disposition Plan. The Landscape Contractor is to remove and discard from site existing unwanted trees, palms, shrubs, groundcovers, sod and weeds within landscape areas.
- All permitting and fees to be the responsibility of the Contractor.

PLANTING NOTES

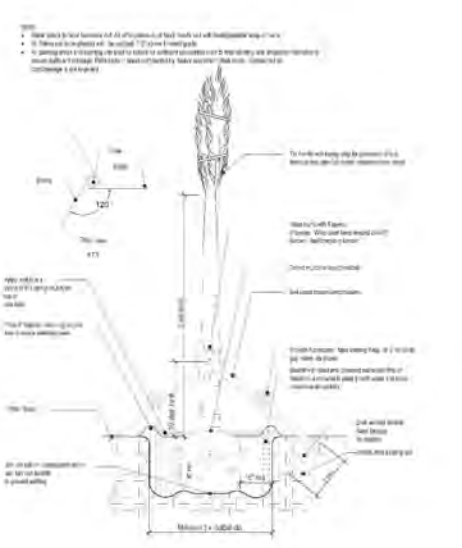
- Landscape Contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, fertilizer, preemergence herbicide, seed, and mulch. Landscape Contractor to provide Landscape Architect with at least 5 days notice prior to tree installation.
- Landscape Contractor shall guarantee all plant material for a period of one year from the day of final acceptance by the Landscape Architect.
- All plant material shall be Florida #1 or better, as defined in the Grades and Standards for Nursery Plants, Part I and II by the State of Florida Department of Agriculture.
- Landscape Contractor is responsible for scheduling a nursery visit for Landscape Architect to approve all trees, palms and shrubs prior to delivery to the project site.
- Landscape Contractor shall coordinate his work with that of the Irrigation and Landscape Lighting Contractor.
- The Landscape Contractor shall treat planted areas with preemergence herbicide after weeds and grass have been removed. Landscape Contractor shall apply the preemergence herbicide per manufacturer's recommendation, wait period prior to planting as specified. Planting soil mulch/bedfill shall be clean and free of construction debris, weeds, rock and noxious pests and disease.
- All soil mix in plant beds for ground covers, shrubs, palms and trees shall be as per details. All other areas shall be dressed with a minimum of 4" topsoil "if required".
- All planting areas and planting pits shall be tested for sufficient percolation prior to final planting and irrigation installation to ensure proper drainage. Plant beds in parking lots and in areas compacted by heavy equipment shall be de-compacted so that drainage is not impeded.
- All synthetic burlap, string, cords or wire baskets shall be removed before trees are planted, without breaking the soil ball. All synthetic tape shall be removed from branches and trunks prior to final acceptance. The top 1/3 of natural burlap shall be removed, after the tree is set in the planting hole and before the tree is backfilled. Landscape Contractor is to check for root defects including deep planting in the root ball and circling roots. Trees with root problems will not be accepted.
- Landscape Contractor is responsible for mulching all plant beds and planters with a minimum 3" layer of natural color landscape or straw mulch immediately after planting. In no case shall Cypress mulch be used.
- All Trees/Palms in sod areas are to receive a 48" diameter mulched saucer at the base of the trunk respectively.
- Landscape Contractor shall guy and stake all trees and palms as per specifications and details. No nails, screws or wiring shall penetrate the outer surface of trees and palms. All guying and staking shall be removed twelve months after planting.
- All palm and tree guy wires and bracing are to be flagged for visibility, for their duration. All unattended and unattended tree pits shall be properly backfilled and flagged during construction.
- All broken branches and clear tree branches on street trees are to be pruned according to ANSI A-300 Guidelines for Tree Pruning to min. 5'-0" height clearance to the base of canopy.
- Landscape Contractor shall fertilize plant material as needed to support optimum healthy plant growth. All fertilization shall be performed in accordance with the latest ANSI A320 (Part 2) Standards.
- Stake all trees and palms for approval by Landscape Architect prior to installation.
- Any sod areas damaged by construction are to be replaced with St. Augustine "Floramat" sod.
- All areas within limits of work not covered by walks, buildings, playground, and/or any other hardscape feature shall be installed with St. Augustine "Floramat" sod. Contractor's responsibility to verify quantity.
- Install rootbarrier as per manufacturer's recommendation on all large trees that are 6" or larger to any pavement or building, as shown on details page.
- Root barrier shall be Velcro Inc. or approved equal.

1 General Planting Notes
SCALE: N.T.S.

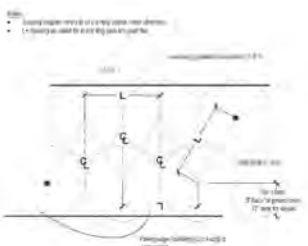
2 Sod Planting Detail
SCALE: N.T.S.



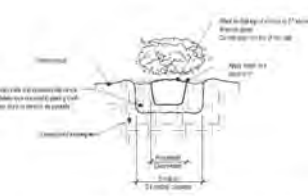
3 Tree Planting Detail
SCALE: N.T.S.



4 Palm Planting Detail
SCALE: N.T.S.



5 Shrubs Planting Detail
SCALE: N.T.S.



6 Shrubs Groundcover Planting Detail
SCALE: N.T.S.

ONE YEAR - TREE MAINTENANCE PLAN

All newly planted trees to be guaranteed for a period of one year and in accordance with the following:

- Planting Day:**
- Keep roots moist, do not allow the roots to dry out.
 - Remove turf from planting area.
 - Dig planting hole wide and shallow. The hole should be 2/3 times wider in all directions than the root spread.
 - Place guy wire or bracing as needed.
 - Remove all wire or rope from trunk and branches.
 - Remove planting container and burlap (any material that would restrict growth of roots with plastic, wooden basket).
 - Make sure that soil fills in all voids. (Fills of plants first set closest to soil should be at or just below soil surface).
 - Do not use amendments in the planting hole.
 - Water tree as planting or remove or provide. After backfilling gently firm soil, do not pack soil. Heavy packing will remove air.
 - DO NOT mound soil against trunk of tree.
 - Mulch over entire planting area with 2-4" of mulch (wood chips, shredded bark, etc.) Keep mulch 2" from trunk of tree and 18" from trees or buildings.
 - Fertilizer is not recommended for newly planted trees. (Consider time-released fertilizer. If there is a need to fertilize).
- Irrigation:**
- Plans shall be installed in accordance with specifications as provided on the irrigation plan.
 - All trees shall be watered weekly during growing season and bi-weekly in non-growing season.
 - Fertilizer shall be applied in the fall or early spring. Although it is not harmful to apply fertilizer at any time during the year.
 - Inspect trees for pest/disease problems.
 - Monitor health and vigor of trees.
 - Pruning of all shrubs shall be done regularly to control shape and form all pruning shall be done in accordance with the American National Standards Institute (ANSI) A-300 standards.
- One Year:**
- Continue to monitor trees health and vigor. Inspect for disease and insect problems. Inspect irrigation lines for leaks and that trees for correct drainage.
 - Remove tree wrap from the trunk trees in spring.
 - Remove stakes from trees planted previous year.
 - All plants shall be mulched on a yearly basis or as needed to maintain healthy growth and reduce weed growth.
 - Begin corrective pruning trees one year after trees are planted (general use of pruning is to remove no more than 1/3 of the canopy shall be done in accordance with the American National Standards Institute (ANSI) A-300 standards).
 - Continue watering trees when needed.
 - Replace dead trees as needed. If trees have died in first year, pay ratio usually that portion trees. Trees should guarantee trees for 1 year one year.

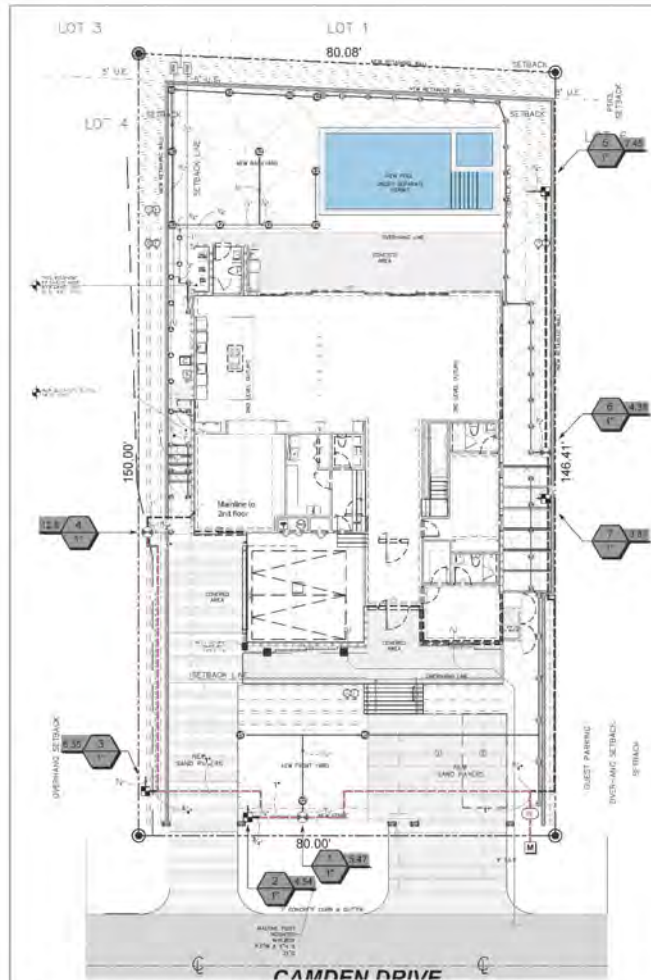
'ONE YEAR - TREE MAINTENANCE PLAN'

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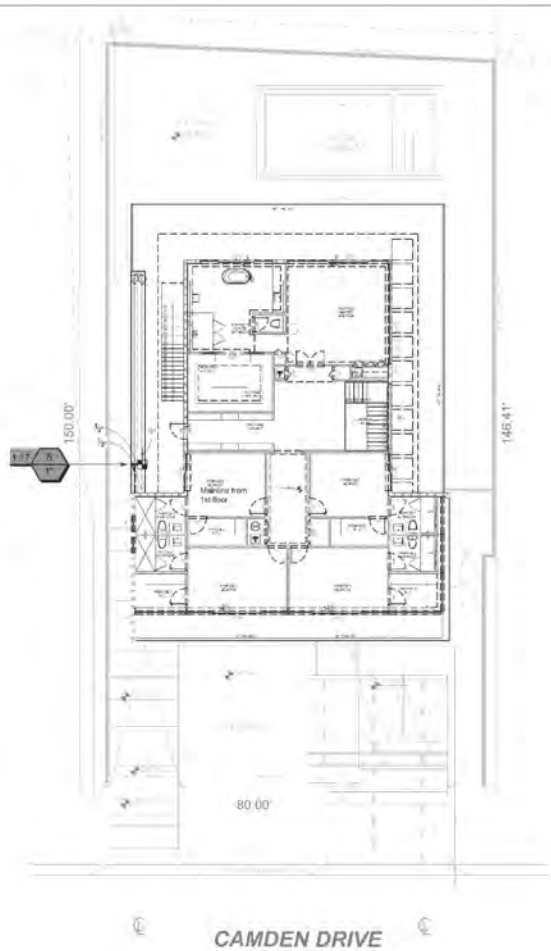
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SHARON RESIDENCE
 42 Camden Drive
 Bal Harbor, Florida

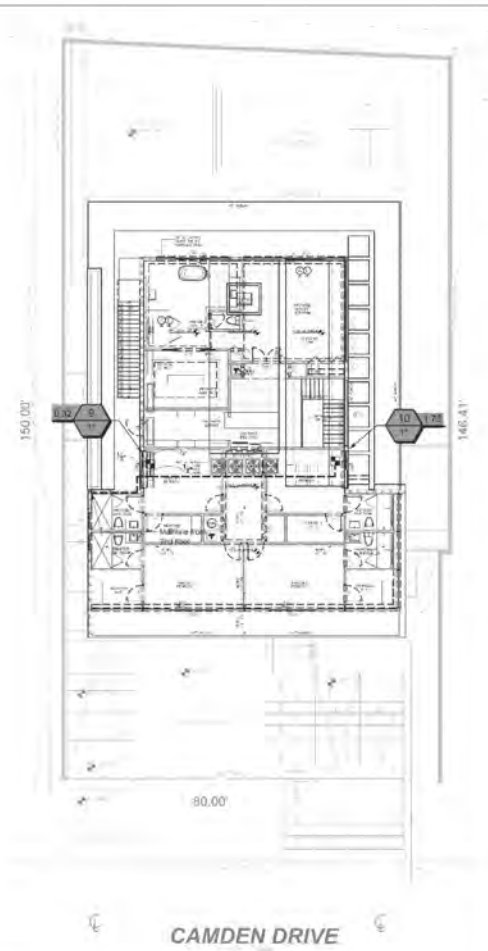
Drawing Date: 10/11/24
 Project #: 1024-047-ADA
 Drawn By: DL
 Checked By: DL
 Title: LANDSCAPE NOTES & DETAILS
 Sheet Number: L-08
 Date: 10/11/24



GROUND FLOOR IRRIGATION PLAN
SCALE: 0 10 21 32 MM
3/32" = 1'-0"

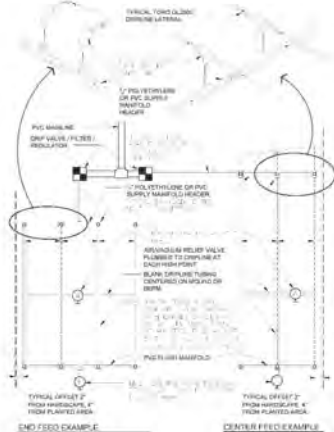


SECOND FLOOR IRRIGATION PLAN
SCALE: 0 10 21 32 MM
3/32" = 1'-0"



THIRD FLOOR IRRIGATION PLAN
SCALE: 0 10 21 32 MM
3/32" = 1'-0"

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	<p>PROJECT NAME: SHARON RESIDENCE 42 Camden Drive Bal Harbor, Florida</p>
<p>Drawing Date: 04/24 Project #: 2024-04-01 A04 Drawing No.: 10 Checked By: CL</p>	<p>TITLE: IRRIGATION PLAN</p>
<p>SHEET INFORMATION: Sheet Number: IR-01 Date: August 21, 2024</p>	



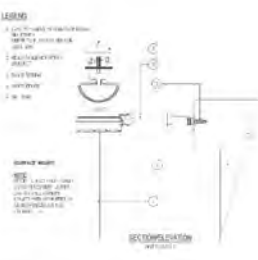
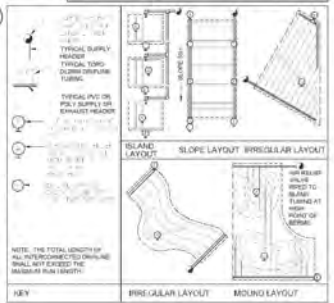
1 TORO DL2000 DRIPLINE
2" = 1'-0"

MAXIMUM RECOMMENDED LENGTH OF RUN AT 0% SLOPE

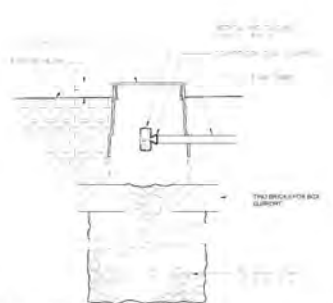
DRIPLINE FLOW RATE (GPH) @ 15 PSI	25 PSI	30 PSI	40 PSI
BRG125 (0.5 GPH)	300'	360'	450'
BRG150 (0.5 GPH)	300'	360'	450'
BRG150 (1.0 GPH)	150'	180'	225'
BRG150 (1.5 GPH)	100'	120'	150'

FLOW RATE PER 100 LINEAR FEET @ 20 PSI

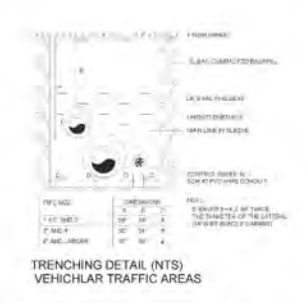
DRIPLINE FLOW RATE (GPH) @ 20 PSI	100' <th>200' <th>300' <th>400' </th></th></th>	200' <th>300' <th>400' </th></th>	300' <th>400' </th>	400'
BRG125 (0.5 GPH)	15.0	30.0	45.0	60.0
BRG150 (0.5 GPH)	15.0	30.0	45.0	60.0
BRG150 (1.0 GPH)	7.5	15.0	22.5	30.0
BRG150 (1.5 GPH)	5.0	10.0	15.0	20.0



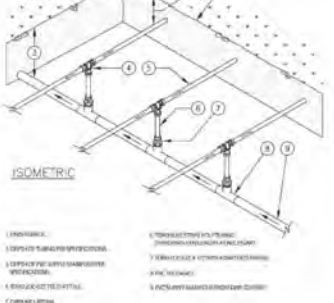
8 TORO - TWRS WIRELESS RAIN SENSOR
NTS



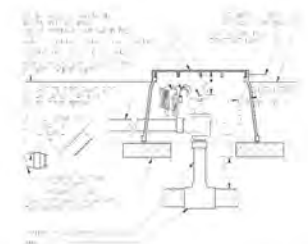
9 NETAFIM TECHLINE FLUSH VALVE
3" = 1'-0"



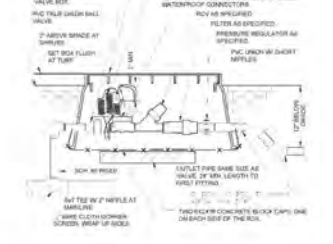
10 TRENCHING DETAILS / VEHICULAR TRAFFIC AREAS
NTS



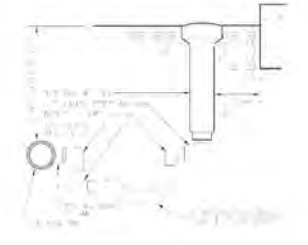
11 CENTER-FEED SUPPLY-MANIFOLD
NTS



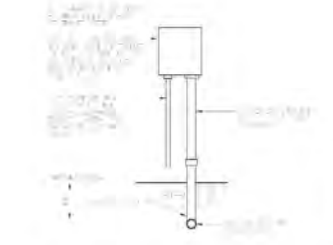
2 ELECTRIC REMOTE CONTROL VALVE
1/2" = 1'-0"



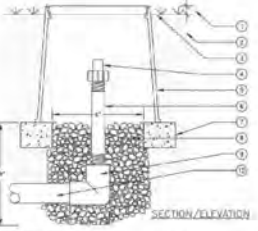
3 1/2" DRIP VALVE/FILTER/REGULATOR
1/2" = 1'-0"



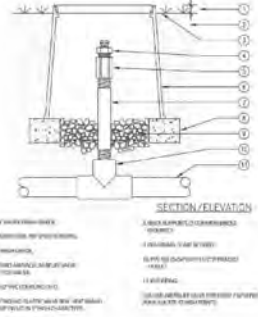
5 TURF SPRAY FLEX ASSEMBLY
2" = 1'-0"



6 WALL MOUNT CONTROLLER
2" = 1'-0"



4 AUTOMATIC FLUSH VALVE
NTS



7 1/2" AIR/VACUUM RELIEF VALVE
NTS

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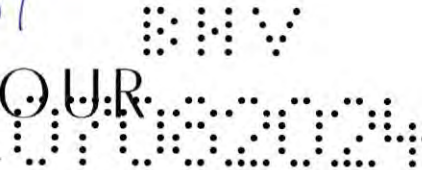
SHARON RESIDENCE
42 Camden Drive
Bal Harbor, Florida

Drawing Title: IRRIGATION DETAILS
Project #: 2024-04-04
Drawn By: TD
Checked By: CL
Title: IRRIGATION DETAILS
Sheet Number: IR-03
Date: August 21, 2024

ARB2024-007

BAL HARBOUR

- VILLAGE -



The undersigned Agent/Owner request(s) Architectural Review Board review of the following application(s):

New Building

Alteration/ Additions

Revison

Property Information

Street Address of the Subject Property: 42 Camden Drive, Bal Harbor, FL

Property/Project Name: Sharon Residence

Legal description: Lot(s) Lot 5, Block 2 of Residential Section of Bal Harbour. Plat Book 44, Page 98

Block(s) 2 Section(s) Residential Section of Bal Harbour

Folio No. 12-2226-002-0280

Owner(s): 42 Camden Delaware LLC

Mailing Address: 187 BLA Cross, Miami Beach, FL 33154

Telephone: _____ Fax _____

Other _____ Email _____@_____

Architect(s)/Engineer(s): AD Architecture – Oscar Cabeza

Architect(s)/Engineer(s) Mailing Address: 1803 Banks RD, Margate, FL 330633

Telephone: Business (561) 213-7611 Fax _____

Other _____ Email ocabeza@ad-architecture.com

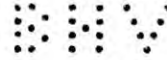
Project Information

Project Description(s): Construction of New Single Family Home

Estimated project cost*: 2,450,000

(*Estimated cost shall be +/- 10% of actual cost)

Date(s) of Previous Submittal(s) and Action(s): N/A



Applicant/Owner/Architect/Engineer Affirmation and Consent

(I) (We) acknowledge, affirm, and certify to all of the following:

1. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Plan and Code of Ordinances of Bal Harbour Village unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
2. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
3. Understand that the application, all attachments and fees become a part of the official records of Bal Harbour Village and are not returnable.
4. All application representatives have registered with and completed lobbyist forms for the Bal Harbour Village City Clerk's office.
5. Understand that under Florida Law, all the information submitted as part of the application are public records.
6. Failure to provide the information required for submittal/necessary for review by the Architectural Review Board may cause the application to be deferred without review.
7. That applications for Architectural Review Board review require the presence of the applicant and/or architect/engineer at the meeting unless otherwise notified.
8. All fees shall be paid at the time of submittal.
9. I have received consent from the owner of the property to file this application.

NOTE: ONLY ONE SIGNATURE OR AFFIRMATION/CONSENT IS REQUIRED

Owner Printed Name: <u>Elad Shearon</u>		Owner Signature:	
Address: <u>187 Bickross drive Bal Harbour</u>			
Telephone: <u>786-590-8473</u>	Fax:	Email: <u>elad@eladrenew.co.il</u>	
	Architect(s)/Engineer(s) Print Name: <u>Oscar Cabeza</u>		Architect(s)/Engineer(s) Signature:
	Address: <u>1803 BANKS RD</u>		
	<u>MARGATE, FL.</u>		
	Telephone: <u>(561) 213-7611</u>	Fax:	
	Email: <u>OCABEZA@AD-ARCHITECTURE.COM.</u>		

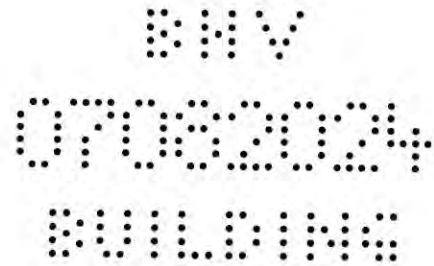
NOTARIZATION

STATE OF FLORIDA
COUNTY OF MIAMI-DADE

Sworn to or affirm and subscribed before me this _____ day of _____, in the year 20 _____
by _____ who has taken an oath and is personally known to
me or has produced _____ as identification.

My Commission Expires:

Notary Public



June 25, 2024

Bal Harbour Village.
Architectural Review Board
Building Department
655-96th Street, Bal Harbour.
Florida 33154

Re: Sharon Residence (New Custom Home)
42 Cadmen Drive.
Bal Harbour, FL
33154

NARRATIVE AND PROJECT DESCRIPTION

Dear Building Official,

It is with great pleasure that we are presenting the Architectural Design for a 2 story single family home, located on an existing vacant lot at 42 Cadmen Drive.

The home is designed on a contemporary architectural style, with clean and simple volumetric elements that create a direct relationship and integration between the exterior and interior of the home. The main façade of the house is defined by the use of glass and wood cladding, encased on a concrete structure to create a very light, clean, horizontal and transparent design.

The second level is a rectangular volume that projects and cantilevers over the front entrance to provide protection and coverage, and at the same time, generates a wide balcony through the entire width of the façade, emphasizing the horizontal and clean design intent, accentuated even more with a continuous glass back drop creating a strong and simple horizontal concept. The volume created for the second level rests on top of wood cladded walls on the first level that have been placed over a platform raised from the ground to evoke a light and floating concept with stairs defining the main access.

The use of balconies and glass sliding doors throughout the entire façade offers fenestrations and integrates the interior with the exterior of the home by offering areas to enjoy the great views.

The rear façade and floor plan has been designed to allow for a full integration on the back yard with the interior social area by creating an horizontal continuous sliding doors that open the entire of the open plan layout toward the back patio, creating a seamless relationship between the exterior and interior of the home. The back patio has a cantilevered continuous structure that provides cover for the outside kitchen and serves as a welcoming platform to the pool and back yard.

BHV

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The home has been designed with the intention of transparency, to allow interaction with the exterior areas and the building has been located toward the front of the lot to create a bigger back yard. The integration with the exterior is a paramount element of design for which a rooftop terrace is been proposed. The access to the terrace is provided by an exterior stair located on 2nd story balcony. The terrace utilizes 60% of the roof and provides views toward the neighborhood and down into the back yard, with a shaded area and utilization of wood and synthetic gras for floor material giving another important space for the interaction with the exterior elements.



AD Architecture, LLC

Oscar Cabeza

1803 Banks Rd

Margate Fl. 33063

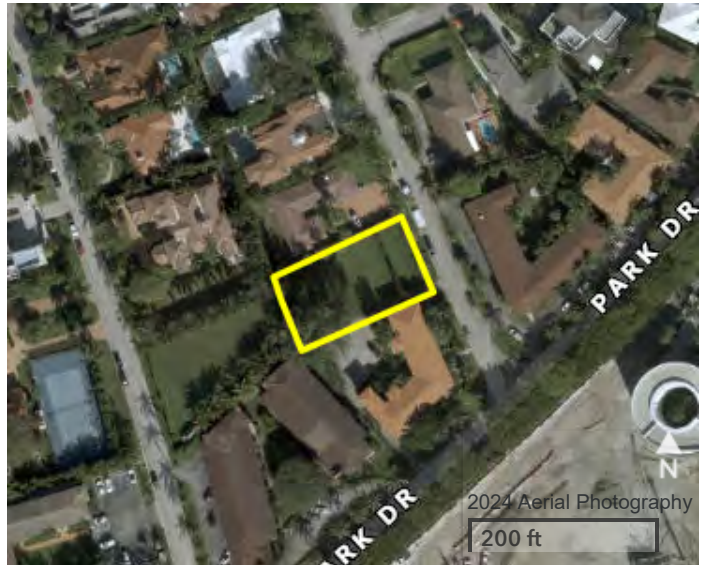


OFFICE OF THE PROPERTY APPRAISER

Detailed Report

Generated On: 10/08/2024

PROPERTY INFORMATION	
Folio	12-2226-002-0280
Property Address	42 CAMDEN DR BAL HARBOUR, FL 33154-0000
Owner	42 CAMDEN DELAWARE LLC
Mailing Address	187 BLA CROSS MIAMI BEACH, FL 33154
Primary Zone	0800 SGL FAMILY - 1701-1900 SQ
Primary Land Use	0081 VACANT RESIDENTIAL : VACANT LAND
Beds / Baths /Half	0 / 0 / 0
Floors	0
Living Units	0
Actual Area	0 Sq.Ft
Living Area	0 Sq.Ft
Adjusted Area	0 Sq.Ft
Lot Size	11,856 Sq.Ft
Year Built	0



ASSESSMENT INFORMATION			
Year	2024	2023	2022
Land Value	\$4,280,016	\$4,230,559	\$1,809,121
Building Value	\$0	\$0	\$0
Extra Feature Value	\$0	\$0	\$0
Market Value	\$4,280,016	\$4,230,559	\$1,809,121
Assessed Value	\$2,189,036	\$1,990,033	\$1,809,121

BENEFITS INFORMATION			
Benefit	Type	2024	2023 2022
Non-Homestead Cap	Assessment Reduction	\$2,090,980	\$2,240,526

Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).

TAXABLE VALUE INFORMATION			
Year	2024	2023	2022
COUNTY			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$2,189,036	\$1,990,033	\$1,809,121
SCHOOL BOARD			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$4,280,016	\$4,230,559	\$1,809,121
CITY			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$2,189,036	\$1,990,033	\$1,809,121
REGIONAL			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$2,189,036	\$1,990,033	\$1,809,121

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>



OFFICE OF THE PROPERTY APPRAISER

Generated On: 10/08/2024

Property Information

Folio: 12-2226-002-0280

Property Address: 42 CAMDEN DR

Roll Year **2024** Land, Building and Extra-Feature Details

LAND INFORMATION					
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value
GENERAL	R-2	0800	Square Ft.	11,856.00	\$4,280,016

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Generated On: 10/08/2024

Property Information

Folio: 12-2226-002-0280

Property Address: 42 CAMDEN DR

Roll Year **2023** Land, Building and Extra-Feature Details

LAND INFORMATION					
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value
GENERAL	R-2	0800	Square Ft.	11,719.00	\$4,230,559

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OFFICE OF THE PROPERTY APPRAISER

Generated On: 10/08/2024

Property Information

Folio: 12-2226-002-0280

Property Address: 42 CAMDEN DR

Roll Year **2022** Land, Building and Extra-Feature Details

LAND INFORMATION					
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value
GENERAL	R-2	0800	Square Ft.	11,719.00	\$1,809,121

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OFFICE OF THE PROPERTY APPRAISER

Generated On: 10/08/2024

Property Information

Folio: 12-2226-002-0280

Property Address: 42 CAMDEN DR

FULL LEGAL DESCRIPTION

RESIDENTIAL SEC OF BAL HARBOUR
PB 44-98
LOT 5 BLK 2 AND PROPERTY INT IN &
TO COMMON ELEMENTS NOT DEDICATED
TO PUBLIC
LOT SIZE 11856 SQ FT M/L
FAU: 12-2226-013-0001
CARROLL MANORS APT CO OP
COC 23696-4869 05 2005 1

SALES INFORMATION

Previous Sale	Price	OR Book-Page	Qualification Description
04/16/2024	\$4,150,000	34213-0078	Qual by exam of deed
06/27/2018	\$1,875,000	31055-0127	Qual by exam of deed
03/16/2017	\$1,261,000	30482-0027	Qual by exam of deed
02/28/2014	\$1,100,000	29077-0020	Qual by exam of deed
05/31/2005	\$0	29077-0011	Sales which are disqualified as a result of examination of the deed
05/01/2005	\$925,000	23696-4869	Sales which are qualified
12/01/2003	\$745,000	21939-3998	Sales which are qualified
03/01/2003	\$700,000	21135-0466	Sales which are qualified

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