

# BAL HARBOUR

- VILLAGE -

Reinaldo Borges, Chair  
Elizabeth Camargo, Board Member  
Jose L. Gomez, Board Member  
Nathan VanDeman, Board Member  
David Koplowitz, Board Member

Village Manager Jorge M. Gonzalez  
Village Clerk Dwight S. Danie  
Building Director Eliezer Palacio  
Village Attorneys Weiss Serota  
Helfman Cole & Bierman, PA

## ARCHITECTURAL REVIEW BOARD

REGULAR MEETING AGENDA

JANUARY 23, 2025

AT 1:00 P.M.

Bal Harbour Village Hall • 655 - 96<sup>th</sup> Street • Bal Harbour • Florida 33154

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*This meeting will be conducted in-person. The meeting will also be broadcast on the Village's website ([www.balharbourfl.gov](http://www.balharbourfl.gov)) and members of the public are encouraged to participate by calling 305-865-6449 by emailing [meetings@balharbourfl.gov](mailto:meetings@balharbourfl.gov) before and during the meeting.*

### 1 CALL TO ORDER / PLEDGE OF ALLEGIANCE

### 2 OATH OF OFFICE - NEW MEMBERS

### 3 APPROVAL OF MINUTES

**3.1** November 7, 2024 ARB Minutes  
[Architectural Review Board Minutes November7\\_2024.pdf](#)

### 4 **ARB-HEARINGS** - *Please be advised that the following item on the agenda is quasi-judicial in nature. If you wish to comment upon an item, please inform the Chairman when he asks for public input on the item. An opportunity for persons to speak will be made available after the applicant and staff has made their presentations on each item. All testimony, including public testimony and evidence, will be made under oath or affirmation. Additionally, each person who gives testimony may be subject to cross-examination. If you refuse either to be cross-examined or to be sworn, your testimony will be given its due weight. The general public will not be permitted to cross-examine witnesses, but the public may request the Architectural Review Board to ask questions of staff or witnesses on their behalf. Persons representing organizations must present evidence of their authority to speak for their organization. Further details of the quasi-judicial procedures may be obtained from the Clerk.*

*(Disclosure of Ex-Parte Communications)*

*(Swearing-In by Village Clerk)*

#### **4.1 ARB-2024-0020**

175 Camden Drive, Bal Harbour FL, 33154

Architect(s): Tuthill Architecture, P.A.

Owners: Anthony Imbesi

New Single-Family Residence

1. [Memo -175 Camden Drive Jan 2025 ARB.docx](#)
- 2- [ARB2024-0020 - 175 CAMDEN DR - POWERPOINT PRESENTATION CL.pptx](#)
- 3- [ARB2024-0020 - 175 CAMDEN DR - APPLICATION.pdf](#)
- 4- [ARB2024-0020 - 175 CAMDEN DR - NARRATIVE.pdf](#)
- 5- [ARB2024-0020 - 175 CAMDEN DR - PROPERTY APPRAISER.pdf](#)

#### **4.2 ARB-2024-0021**

131 Bal Cross Drive, Bal Harbour FL, 33154

Architect(s): Boutros Bou-Nahra Architect, LLC

Owners: Eitan Zimerman

Demolition Existing / New 2-Story Single-Family Residence

1. [131 Bal Cross Drive ARB Memo Jan 2025 .docx](#)
- 2- [ARB2024-0021 - POWER POINT PRESENTATION - CL.pptx](#)
- 3- [ARB2024-0021 - 131 BAL CROSS DR - APPLICATION.pdf](#)
- 4- [ARB2024-0021 - 131 BAL CROSS DR - NARRATIVE.pdf](#)
- 5- [ARB2024-0021 - 131 BAL CROSS DR - PROPERTY APPRAISER.pdf](#)

#### **4.3 ARB-2024-0022**

10295 Collins Avenue, Bal Harbour FL, 33154

Architect(s): Beilinson Gomez Architects, PA

Owners: LK Hotel, LLC

New Spa/Outdoor Bar/New Pool and Extended Paved deck /Outdoor cabanas as accessory structures and new stairs.

1. [10295 ARB Memo Jan 2025 .docx](#)
- 2- [ARB2024-0022 - 10295 COLLINS AVE - POWERPOINT \(CL\).pptx](#)
- 3 - [ARB2024-0022 - 10295 COLLINS AVE - APPLICATION.pdf](#)
- 4- [ARB2024-0022 - 10295 COLLINS AVE - NARRATIVE.pdf](#)
- 5 - [ARB2024-0022 - 10295 COLLINS AVE - PROPERTY APPRAISER.pdf](#)

### **5 OTHER BUSINESS**

#### **5.1 2025 ARB Meeting Calendar**

[2025-ARB-Calendar.pdf](#)

### **6 PUBLIC COMMENT**

### **7 ADJOURNMENT**

One or more members of any Village Committee/Board may attend this meeting of the Council and may discuss matters which may later come before their respective Boards/Committees. The New Business and Council Discussion Section includes a section for Public Comment. On public comment matters, any person is entitled to be heard by this Council on any matter; however, no action shall be taken by the Council on a matter of public comment, unless the item is specifically listed on the agenda, or is added to the agenda by Council action.

Any person who acts as a lobbyist, pursuant to Village Code Section 2-301 (Lobbyists), must register with the Village Clerk, prior to engaging in lobbying activities before Village staff, boards, committees, and/or the Village Council. A copy of the Ordinance is

available in the Village Clerk's Office at Village Hall. If a person decides to appeal any decision made by the Village Council with respect to any matter considered at a meeting or hearing, that person will need a record of the proceedings and, for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (F.S. 286.0105).

In accordance with the Americans with Disabilities Act of 1990, all persons who are disabled and who need special accommodations to participate in this proceeding because of that disability should contact the Village Clerk's Office (305-866-4633), not later than two business days prior to such proceeding. All Village Council meeting attendees, including Village staff and consultants, are subject to security screening utilizing a metal detector and/or wand, prior to entering the Council Chamber, Conference Room, or other meeting area located within Village Hall. This is for the safety of everyone. Thanks for your cooperation.

# BAL HARBOUR

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## ARCHITECTURAL REVIEW BOARD

REGULAR MEETING MINUTES

NOVEMBER 7, 2024

AT 1:00 P.M.

Bal Harbour Village Hall • 655 - 96<sup>th</sup> Street • Bal Harbour • Florida 33154

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*This meeting was conducted in-person. The meeting was also broadcast on the Village's website ([www.balharbourfl.gov](http://www.balharbourfl.gov)) and members of the public were encouraged to participate by calling 305-865-6449 by emailing [meetings@balharbourfl.gov](mailto:meetings@balharbourfl.gov) before and during the meeting.*

- 1 CALL TO ORDER / ROLL CALL-** The meeting was called to order at 1:04 PM. Chair Reinaldo Borges.

The following Board Members were present:

Reinaldo Borges, Chair  
Elizabeth Camargo  
Jose Gomez  
David Koplowitz (by Zoom)  
Nathan VanDeman

The following were also present:

Eliezer Palacio, Building Director  
Dwight Danie, Village Clerk  
Susan Trevarthen, Village Attorney

- 2 PLEDGE OF ALLEGIANCE** - The Pledge of Allegiance was led by Chair Borges.

- 3 APPROVAL OF MINUTES**

- 3.1** September 5, 2024 ARB Minutes

**MOTION: A Motion to approve the minutes was moved by David Koplowitz and seconded by Jose Gomez.**

**VOTE: The Motion passed by unanimous voice vote (5-0).**

## 4 ARB-HEARINGS -

Ms. Trevarthen read the quasi-judicial procedures statement. She then asked the board members to disclose ex parte communications, to which board members responded that they had none to disclose. The Village Clerk swore in all those who would be providing testimony. Mr. Gomez announced that he was currently doing some work with the Ritz Carlton Hotel and would be recusing himself for Agenda Item 4.1.

- 4.1** ARB-2024-0004  
10295 Collins Avenue, Bal Harbour FL, 33154  
Engineer: Cesar I. Castillo, P.E.  
Architects: Beilinson Gomez Architects, PA  
Owners: One Bal Harbour Corp.  
Manufacture/Installation Cabanas.

Mr. Gomez left the dais. Elvys Penton, Beilinson Gomez Architects, PA, introduced the project first showing satellite images of the property and describing the replacement of six cabanas. He highlighted the area in scope and presented proposed renderings describing the cabanas' dimensions, materials (light fabrics and dark bronze aluminum), and placement. He presented samples of materials proposed to be used.

Mr. Palacio said that the proposed project was in compliance with the Village's Appearance Code and Zoning ordinances, and had also been approved by the Village's Planning and Zoning consultant.

There were no comments from the public., and the motion to approve was seconded and passed unanimously.

**MOTION: A Motion to approve the project as presented with the conditions proposed by the Building Official was moved by David Koplowitz and seconded by Elizabeth Camargo.**

The Building Official's conditions are as follows.

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences and landscape plantings.
3. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
4. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
5. Applicant to apply for and obtain all necessary permits and approvals from outside

agencies.

6. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

**VOTE: The Motion passed by unanimous voice vote (4-0).**

- 4.2** ARB-2024-0013  
276 Bal Cross Drive, Bal Harbour FL, 33154  
Architect(s): Jose Gonzalez  
Owners: Jorge & Frieda Woldenberg.  
Exterior Renovations

Mr. Palacio introduced the item regarding exterior renovations at 276 Bal Cross Drive saying that he had received written confirmation that the applicant had agreed with the Village's eight conditions, and that the project was in compliance with the Village's Appearance Code and Zoning ordinances. He said the plans had been reviewed and approved by both the Planning and Zoning Consultant and the Parks and Public Spaces Department.

Leonardo Vinero, Jose Gonzalez Architect, LLC, introduced himself and began presenting on behalf of the project's primary architect. He said the project involved modernizing an existing two-story residence. Jose listed the proposed updates, which included improvements to the exterior areas, removal of existing planters, redesign of the existing driveway for enhanced water drainage, relocation of pool equipment, and new darker roof tiles.

Ms. Camargo asked if the architect had had any experience with live grass in concrete driveway pavers saying that it was her experience the grass usually dies from the sun heating the pavers. She also noted that dark roofing, though trending, also creates a need for additional air conditioning and she suggested increasing roof insulation.

Mr. VanDeman agreed with Ms. Camargo regarding heat issues caused by synthetic turf and concrete. He suggested adding larger trees or palms to anchor the front space, provide shade, and reduce the heat island effect.

Mr. Vinero said that the team could evaluate the use of real grass versus artificial turf based on maintenance costs and other variables.

Javier Ortiz, Phase3 Construction, Project Contractor said that the proposed pavers had an optional plastic planter for the openings, allowing for either real grass or artificial turf without affecting the pavers' drainage properties.

A general discussion ensued regarding the use of artificial turf versus real grass. Mr. Palacio confirmed that current Village Code, following Miami-Dade County regulations (Chapter 18A), required living landscaping and did not permit artificial turf, although amendments to the local code were under review and could potentially allow artificial turf in the future. He said if such changes were implemented, homeowners could later apply for an amendment to install artificial turf.

Chair Borges commented on the aesthetic elements of the project, such as the attractive front pivot door, the clean lines of the square pool, and the aluminum trellis proposed for the backyard. He noted that project's minimal intervention approach would keep residence's core structure largely intact, with the changes proposed changes that would improve functionality and appearance.

There were no comments from the public.

**MOTION: A Motion to approve the project as presented with the conditions proposed by the Building Official was moved by Elizabeth Camargo and seconded by David Koplowitz.**

The Building Official's conditions are as follows.

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences and landscape plantings.
4. Any new hedge must be planted at least 10' from the edge of the curb (existing hedge may remain).
5. Any new trees must be planted at least 10' from the edge of the curb (existing trees/palms may remain).
6. All Electrical, Mechanical and Plumbing equipment are required to be 1.0 foot above B.F.E. (Base Flood Elevation) per F.B.C. & A.S.C.E. 24 and cannot infringe upon the building setbacks.
7. Flood Design Data is required to be in accordance to F.B.C. 2023, Section 1603.1.7. & A.S.C.E. 24.
8. Architect to provide an Elevation Certificate FEMA Form 086-0-33, for proposed construction that complies with F.B.C. 322 & A.S.C.E. 24.
9. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
10. The Project shall comply with Section 21-127, a, b, and c regarding setbacks in the R-2 Zoning District.

11. The Project shall comply with Section 21-125, maximum building height of 30 ft. in the R-2 Zoning District.
12. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
13. If any portion of the landscaping, fence, or any other permitted item will be located within the five-foot easement at the front or side of the property, then prior to the issuance of a required permit or permit revision to the master building permit, the Owner of the Project described herein shall execute "Hold Harmless Agreement" as a condition precedent to permit issuance.
14. If the proposed landscape and hardscape design is in conflict with the Village's stormwater infrastructure system, the Architect and Civil Engineer are required to resolve prior to permit issuance. Any revisions required to the hardscape or landscape shall be bought before the ARB, if applicable, or be administratively approved prior to permit.
15. Perimeter landscaping required by the certificate of appropriateness must be maintained by the property owner in accordance with the standards of the code.
16. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
17. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
18. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

**VOTE: The Motion passed by unanimous voice vote (5-0).**

**4.3** ARB-2024-0017  
42 Camden Drive, Bal Harbour FL, 33154  
Architect(s): AD Architecture - Oscar Cabeza  
Owners: 42 Camden Delaware, LLC.  
Construction of New Single-Family Home

Mr. Palacio introduced the item regarding involving the new construction of a contemporary two-story single-family residence, saying that he had received written confirmation that the applicant had agreed with the Village's eight conditions, and that the project was in compliance with the Village's Appearance Code and Zoning ordinances. He



said the plans had been reviewed and approved by both the Planning and Zoning Consultant and the Parks and Public Spaces Department.

Oscar Cabeza, AD Architecture, highlighted key features of the project, including its open design, extensive use of clear glass, and a raised elevation to enhance views of the surrounding neighborhood. He said the second floor's glass façade was enclosed in travertine-clad concrete, with aluminum cladding mimicking wood for durability and aesthetic appeal. He said the structure also included a third-floor terrace for unobstructed views, complemented by raised landscaping buffers for privacy and integration with neighboring properties.

He described two driveways, one leading to a concealed garage and another offering direct access for daily use, and the backyard, which featured a clear glass story with large sliding doors. He said the elevation was set at 10 feet, slightly above the minimum requirement to account for views and flood prevention.

Mr. Cabeza then described the proposed materials including travertine, aluminum wood-like cladding, and fixed window, and said that the mechanical equipment including cabana and pool utilities would remain visually discreet and functional.

Chair Borges noted the absence of building sections in the submitted plans saying that the omission made it challenging to assess details such as the interaction between ceiling drops and window heights. Mr. Cabeza explained that the design accounted for these transitions and ensured adequate space for mechanical systems and drainage.

Ms. Camargo asked about the height of the building and compliance with zoning requirements to which the Mr. Palacio clarified that the design was within the allowed height limits, including the parapet surrounding rooftop equipment.

Ms. Camargo said that rooftop mechanical equipment, such as pool heaters and air conditioning units, might generate noise that could interfere with the use of the terrace and suggested rearranging the equipment placement, increasing ventilation, or using sound-dampening materials to minimize noise impact. He said that the design included internal drainage systems for the terraces and roof, preventing water from spilling over edges and maintaining the clean appearance shown in the renderings.

Chair Borges asked for more detail about the travertine cladding, to which Mr. Cabeza said it was a porcelain material designed to mimic natural travertine. Chair Borges said that while the aesthetic good, he had concerns about the long-term durability and potential for water infiltration behind the cladding. He suggested reviewing detailed specifications for the installation and attachment of cladding materials to prevent future issues.

Mr. Gomez expressed concern with the maneuverability for two cars in a 14-foot driveway acknowledging that the design complied with zoning requirements.

Chair Borges raised concerns about the feasibility of the pool heater system in the proposed equipment area and noted that the confined space might not provide sufficient ventilation for a traditional heat pump system, potentially necessitating a propane or electric pool heater. He added that the project had thoughtful design and adhered to code requirements.

**MOTION: A Motion to approve the project as presented with the conditions proposed by the Building Official was moved by Jose Gomez and seconded by Elizabeth Camargo.**

The Building Official's conditions are as follows.

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences and landscape plantings.
4. Any new hedge must be planted at least 10' from the edge of the curb (existing hedge may remain).
5. Any new trees must be planted at least 10' from the edge of the curb (existing trees/palms may remain).
6. All Electrical, Mechanical and Plumbing equipment are required to be 1.0 foot above B.F.E. (Base Flood Elevation) per F.B.C. & A.S.C.E. 24 and cannot infringe upon the building setbacks.
7. Flood Design Data is required to be in accordance to F.B.C. 2023, Section 1603.1.7. & A.S.C.E. 24.
8. Architect to provide an Elevation Certificate FEMA Form 086-0-33, for proposed construction that complies with F.B.C. 322 & A.S.C.E. 24.
9. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
10. The Project shall comply with Section 21-127, a, b, and c regarding setbacks in the R-2 Zoning District.
11. The Project shall comply with Section 21-12, maximum building height of 30 ft. in the R-2 Zoning District.
12. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review

and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.

13. If any portion of the landscaping, fence, or any other permitted item will be located within the five-foot easement at the front or side of the property, then prior to the issuance of a required permit or permit revision to the master building permit, the Owner of the Project described herein shall execute "Hold Harmless Agreement" as a condition precedent to permit issuance.
14. If the proposed landscape and hardscape design is in conflict with the Village's stormwater infrastructure system, the Architect and Civil Engineer are required to resolve prior to permit issuance. Any revisions required to the hardscape or landscape shall be brought before the ARB, if applicable, or be administratively approved prior to permit.
15. Perimeter landscaping required by the certificate of appropriateness must be maintained by the property owner in accordance with the standards of the code.
16. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
17. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
18. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

**VOTE: The Motion passed by unanimous voice vote (5-0).**

**5 OTHER BUSINESS**

**6 PUBLIC COMMENT**

**7 ADJOURNMENT** The meeting was adjourned at 1:33 PM.

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Reinaldo Borges, Chair



Attest:

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Dwight S. Danie, Village Clerk

# BAL HARBOUR

- V I L L A G E -

## ARCHITECTURAL REVIEW BOARD MEMORANDUM

TO: Architectural Review Board Members

FROM: Eliezer Palacio, Building Director

DATE: 01/23/2025

SUBJECT: 175 Camden Drive  
New Two-Story, Single-Family Residence



### BACKGROUND

The Village of Bal Harbour (the "Village") received an Architectural Review Board (ARB) application on August 22, 2024, for the development of a new two-story single-family residence located at 175 Camden Drive (the "Property"). The Property previously received two (2) approvals by the ARB that were not acted upon. It is now being brought back to the ARB with a completely new design and new architect.

The lot sits on Block 5, Lot 11 and is located in the R-2, single family zoning district of the Bal Harbour Village Residential Section. The lot is 13,378 square feet and the Applicant is proposing a new two-story residence with 6,248 square feet of conditioned interior space and 1,724 square feet of unconditioned outdoor areas / garages, for a total square footage of 8,637.

The entrance to the residence faces East and the proposed garage entrance will be facing Bal Cross Dr. as the existing residence.

The Property is located in the AE-8 N.G.V.D. Base Flood Elevation Zone and the Applicant is constructing the proposed residence at 9.67' N.G.V.D. as required by the Florida Building Code (F.B.C.) for AE zones.

### THE PROJECT (AE Description)

This project consists of a New Single Family Residence on a vacant lot located in Bal Harbour Village, Dade County, FL. The proposed concrete block structure with wood trussed roof will house 7 bedrooms, 7 full bathrooms, 2 half powder rooms, and an enclosed 2 car garage. This building is air conditioned and the enclosed garage is not- conditioned. The remaining structure consists of covered porches & terraces. The clean contemporary design takes a complex set of requirements and discretely fuses them within themselves and its surroundings allowing it to properly fit in with the neighborhood. Construction will be compliant with latest Florida Building Code and proper for high-velocity hurricane zones.

## RECOMMENDATION

It is the opinion of this writer that the proposed new two-story single-family residence follows the Village's Appearance Code and Zoning Ordinance. The Village Planning and Zoning Consultant and the Park's and Public Spaces Department has reviewed the plans and concur that the plans comply.

I recommend that the Board review the submittal for compliance and if they concur with my recommendation, issue a Certificate of Appropriateness.

If approved, the following conditions should be added to the motion:

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences, and landscape plantings.
4. Any new hedge must be planted at least 10' from the edge of the curb.
5. Any new trees must be planted at least 10' from the edge of the curb.
6. All Electrical, Mechanical and Plumbing equipment are required to be 1.0 foot above B.F.E. (Base Flood Elevation) per F.B.C. & A.S.C.E. 24 and cannot infringe upon the building setbacks.
7. Flood Design Data is required to be in accordance to F.B.C., Section 1603.1.7. & A.S.C.E. 24.
8. Architect to provide an Elevation Certificate FEMA Form 086-0-33, for proposed construction that complies with F.B.C. 322 & A.S.C.E. 24.
9. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
10. The Project shall comply with Section 21-127, a, b, and c regarding setbacks in the R-2 Zoning District.
11. The Project shall comply with Section 21-125, maximum building height of 30 ft. in the R-2 Zoning District.
12. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
13. If any portion of the landscaping, fence, or any other permitted item will be located within the five-foot easement at the front, side and/or rear of the property, then prior to the issuance of a required permit or permit revision to the master building permit, the Owner of the Project described herein shall execute "Hold Harmless Agreement" as a condition precedent to permit issuance.

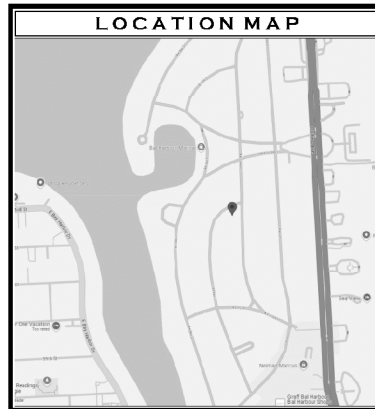
14. If the proposed landscape and hardscape design conflicts with the Village's stormwater infrastructure system, the Architect and Civil Engineer are required to resolve prior to permit issuance. Any revisions required to the hardscape or landscape shall be brought before the ARB, if applicable, or be administratively approved prior to permit.
15. Perimeter landscaping required by the certificate of appropriateness must be maintained by the property owner in accordance with the standards of the code.
16. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
17. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
18. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

# IMBESI RESIDENCE

175 CAMDEN DRIVE  
BAL HARBOUR, FL 33154  
NEW SINGLE FAMILY RESIDENCE

## GENERAL CONSTRUCTION NOTES

- WORK SHALL INCLUDE ALL ITEMS (BUILDING AND SITE) AS INDICATED ON THIS SET OF DRAWINGS UNLESS NOTED OTHERWISE.
- DEPOSITS AND PERM DEPOSITS FOR UTILITIES INCLUDING WATER, SEWER, TELEPHONE AND ELECTRICAL SERVICE TO BE MADE BY THE GENERAL CONTRACTOR PRIOR TO PERM AS REQUIRED, SHALL BE PAID BY THE CONTRACTOR FOR THAT PORTION OF THE WORK.
- GENERAL CONTRACTOR SHALL MAINTAIN TEMPORARY ELECTRICAL, WATER, AND SANITARY FACILITIES AS REQUIRED FOR THE DURATION OF CONSTRUCTION.
- PRIOR TO STARTING WORK, THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES IN THE PLANS WRITTEN DIMENSIONS INDICATING DIMENSIONS SHALL BE USED INSTEAD OF SCALING THE DRAWINGS. DIMENSIONS BY SCALING SHALL NOT BE USED AS DIMENSIONS TO WORK BY. FIELD MEASUREMENTS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. SHOP DRAWINGS MUST BE FIELD VERIFIED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL CODES, RULES AND REGULATIONS OR RESTRICTIONS HAVING JURISDICTION. GENERAL CONTRACTOR SHALL PROMPTLY NOTIFY ARCHITECT UPON THE OBSERVANCE OF ANY VARIATION BETWEEN THESE OCCURRENCES AND ANY APPLICABLE CODES OR ORDINANCES.
- ALL CONSTRUCTION MATERIALS SHALL BE NEW AND SHALL BEAR IDENTIFICATION LABELS WHERE APPLICABLE.
- ALL FLOOR SUPPORTS, SHELVING, FOUNDATIONS, ANCHOR BOLTS, HANGERS, WHICH ARE REQUIRED BY A SUBCONTRACTOR FOR THE SUPPORT OR HANGING OF THEIR EQUIPMENT SHALL BE SUPPLIED BY THE CONTRACTOR NECESSARY SAFE.
- FOR CONVENIENCE IN DESCRIPTION # AS A STANDARD FOR GRADE, TYPE, QUALITY AND PERFORMANCE CHARACTERISTICS. PROPERTIES TABLES ARE INCLUDED WITH SOME DESCRIPTIONS. THIS DOES NOT IMPLY ANY PREFERENCE TO A PARTICULAR MANUFACTURER, BUT MEANS REQUIREMENTS, WITH FINAL SELECTIONS BEING MADE BY THE OWNER AND ARCHITECT.
- ARRANGE FOR STABLE STORAGE SPACE FOR MATERIALS TO PREVENT INCLUSION OF FOREIGN MATERIALS ON SITE SHALL BE KEPT IN UNBROKEN ORIGINAL CONTAINERS OR PACKAGES THAT BEAR IDENTIFICATION LABELS WHICH ARE NOT TO BE REMOVED UNTIL THEIR PROPER USE. PROTECT ALL MATERIALS FROM MOISTURE, ABRASION AND HANDLE HAZARDOUS PRODUCTS WITH CARE TO PREVENT CUMULATIVE DAMAGE.
- GENERAL CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS FROM THE JOB SITE + LEAVE BUILDING BROOK CLEAN. ALL GLASS SHALL BE THOROUGHLY CLEANED AT COMPLETION OF WORK. ANY PAINT SPOOLS + OTHER CONSTRUCTION MARKS SHALL BE REMOVED FROM ALL FINISHED SURFACES.
- GENERAL CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP TO BE FREE OF DEFECTS FOR A PERIOD OF NOT LESS THAN (1) YEAR FROM THE DATE OF ACCEPTANCE.
- CONNECTION OF DEFLECTS SHALL BE CORRECTED IN A TIMELY MANNER WITHOUT ADDITIONAL CHARGE. THIS SHALL INCLUDE ELEMENTS WHICH ARE DAMAGED BY SUCH DEFECTS.
- SITE WORKING SURFACE SLAB AREA CLEAR OF ALL ORGANIC MATERIAL, AND FILL WITH CLEAN SAND TO ELEVATION OF BOTTOM OF SLAB. CLEAR ORGANIC MATERIAL MAY BE USED AS FILL.
- SOIL DENSITY TESTS, WHERE REQUIRED, SHALL BE ORDERED + PAID FOR BY GENERAL CONTRACTOR.
- GENERAL CONTRACTOR SHALL VERIFY LOCATION AND SIZE OF CONCRETE PADS FOR POOL, HVAC AND OTHER REQUIRED EQUIPMENT.
- SLABS ON FILL, FILL, AND BACK FILL TO BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AT THE OPTIMUM MOISTURE AS DETERMINED BY STANDARD PROCTOR TEST OR BY SOIL ENGINEER'S RECOMMENDATIONS FOR OBTAINING REQUIRED BEARING CAPACITY. CONSTRUCTION LAYERS SHALL NOT EXCEED 6 INCHES SLABS ON FILL TO BE A MINIMUM OF 4 INCHES THICK.
- TYPICAL INTERIOR PARTITIONS: USE 3/4" GALVANIZED METAL OR 2x4 LD BUILDS AT 24" CENTERS EXTENDING TO THE UNDERSIDE OF ROOF/CEILING STRUCTURE. FINISH WITH 1/2" GYPSUM WALL BOARD ON EACH SIDE, TAPED, SANDED, PRIMEED, AND PAINTED. EXTEND GYPSUM WALL BOARD 6" MINIMUM ABOVE SUSPENDED CEILING.
- ALL METAL STUDS SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN SECTIONS 2905 AND 2906 OF THE FLORIDA BUILDING CODE.
- LUMBER SHALL BE DOUGLASS FIR WITH A MINIMUM FRESH STRESS OF 1000 PSI OR NO. 2 SOUTHERN PINE LINO. ALL LUMBER IN CONTACT WITH CONCRETE OR MORTAR SHALL BE PRESURE TREATED. ALL LUMBER SHALL COMPLY WITH FBC 230.
- ALL METAL USED FOR CONNECTING WOOD MEMBERS SHALL BE GALVANIZED. ALL NAILS, BOLTS OR OTHER METAL CONNECTIONS SHALL BE GALVANIZED OR SHALL BE CORROSION RESISTANT.
- ALL OPERATING WINDOWS AND SLIDING GLASS DOORS SHALL BE PROVIDED WITH VENT. INSECT SCREENS. ALL GLAZING SHALL BE GREAT TINT GLASS, THICKNESS PURSUANT TO MANUFACTURER'S SPECIFICATIONS. ALL SLIDING GLASS DOORS AND FIXED GLASS BELOW 20" ALL SHALL BE TYPICAL.
- ALL WOOD TRIMMER SHALL BE ENGINEERED AND APPROVED. SUBMIT SHOP DRAWINGS FOR ARCHITECT'S REVIEW PRIOR TO FABRICATION.
- ALL WOOD TRIMMER BEARING ON CONCRETE BEARS SHALL HAVE GALVANIZED METAL TRUSS SEATS CAST INTO CONCRETE AT EACH TRUSS.
- TRUSS MANUFACTURER SHALL COORDINATE TRUSS DESIGN WITH AIR CONDITIONING DUCT LOADS SO AS TO MINIMIZE CONFLICTS IN THE FIELD.



**PROJECT DESCRIPTION**

PURSUANT TO:  
THE 2013 FLORIDA BUILDING CODE, RESIDENTIAL (9th EDITION)  
ANAL / ALICE T. 31 (EXPOSURE D, 175 MPH BASIC WIND SPEED, 3 SEC. GUST)  
ALICE 24-H RISK CATEGORY II

CLASSIFICATION OF WORK: NEW CONSTRUCTION

OCCUPANCY TYPE: SINGLE FAMILY RESIDENTIAL (R-3)  
OCCUPANCY LOAD: 60 LB / 300 + 300 = 3 OCCUPANTS  
CONSTRUCTION TYPE: II-S UNPROTECTED / UNFRANKLED  
LOADING: R-3 SINGLE FAMILY  
FLOOD ZONE: AE-3

INDEX OF DRAWINGS	
A-00	COVER SHEET, GENERAL NOTES
.....	PLAN OF SURVEY
9F-10	SITE PLAN, PROJECT DATA + DETAILS
A-10	FINISH FLOOR PLAN, NOTES + DETAILS
A-10	SECOND FLOOR PLAN + SCHEDULES
A-10	FRONT AND LEFT SIDE ELEVATIONS
A-10	REAR AND RIGHT SIDE ELEVATIONS
A-41	GARAGE ELEVATION
A-50	ARTIST RENDERINGS
A-60	NEIGHBORING HOME PHOTOS
A-10	SITE PHOTOS
LF-1	LANDSCAPE - SITE PLAN (BLACK + WHITE)
LF-1	LANDSCAPE - SITE PLAN (COLOR)
LF-2	LANDSCAPE - SITE DISPOSITION PLAN
LF-3	LANDSCAPE - SPECIFICATIONS
LF-4	LANDSCAPE - EXTERIOR ELEVATIONS
LF-5	LANDSCAPE - EXTERIOR ELEVATIONS
LF-6	LANDSCAPE - GARAGE SECTION + ELEVATION
LF-1	LANDSCAPE - PLANT HAGES
C-01	CIVIL ENGINEERING PLAN
C-02	CIVIL ENGINEERING SECTIONS + DETAILS
C-03	EROSION + SEDIMENTATION CONTROL PLAN



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IMBESI RESIDENCE  
NEW SINGLE FAMILY RESIDENCE  
BAL HARBOUR, FL 33154

TOTHILL architecture  
175 CAMDEN DRIVE, BAL HARBOUR, FL 33154  
TEL: 305.944.1111  
WWW.TOTHILLARCHITECTURE.COM

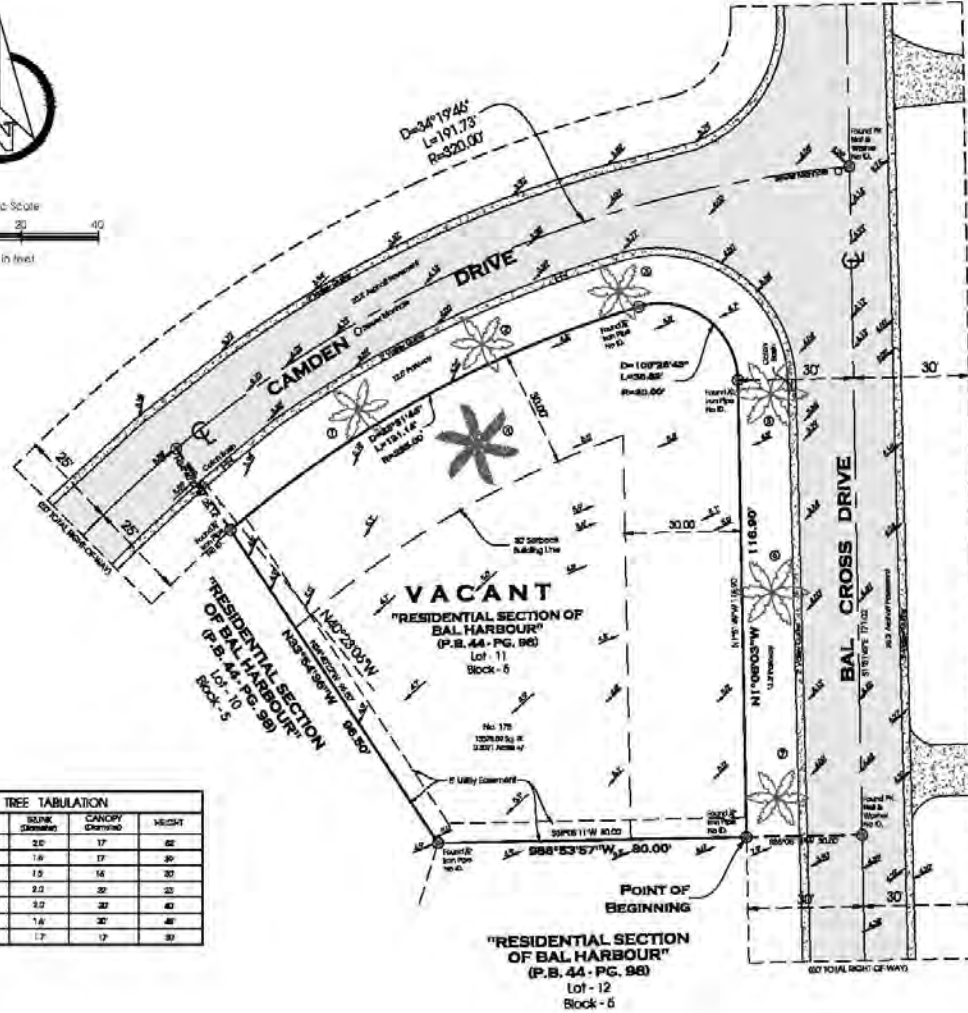
REVISIONS

NO.	DATE	DESCRIPTION
1	01-02-20	ISSUED FOR PERMITS

A-00  
PROJECT NUMBER  
2102



TREE TABULATION				
No.	NAME	STEM Diameter	CANOPY Diameter	HEIGHT
1	Coconut	2.0	17	22
2	Coconut	1.6	17	20
3	Coconut	1.5	16	20
4	Palm	2.2	20	23
5	Coconut	2.2	20	20
6	Coconut	1.6	20	20
7	Coconut	1.7	17	20



**LEGAL DESCRIPTIONS**

Lot 11, Block 6 "RESIDENTIAL SECTION OF BAL HARBOUR" according to the plat thereof, as recorded in Plat Book 44, of Page 98, of the Public Record of Miami-Dade County, Florida, which property is more commonly known and described as 175 Camden Drive, Bal Harbour, Florida.

Properties Address: 175 Camden Drive, Bal Harbour, FL 33154-1328  
 Record No.: 12-0226-002-1000

**SURVEYOR'S NOTES**

- The above captioned Property was surveyed and described (based on the above) Legal Description furnished by Client.
- The certification is only for the Lands as described. It is not a Certification of Title, Zoning, Easements, or Provisions of Encumbrances. ABSTRACT NOT REVIEWED.
- There may be additional restrictions not shown on this Survey that may be found in the Public records of this County. Examination of ABSTRACT OF TITLE will have to be made to determine recorded instruments, if any affecting this property.
- Ownership subject to OPINION OF TITLE.
- Type of Survey: BOUNDARY SURVEY.
- Reasonable efforts were made to the evidence and location of the above ground titles. This firm does not accept responsibility for any undesignated information. Before excavation or construction contact the appropriate utility companies for verification.
- The subject property is located within a Flood Hazard Area as defined by a Federal Insurance Administration, Community Panel No. 12053-0144 Subarea 11 Flood Zone "AE", Base Elevation: 8.00'. Map Date, September 11, 2009 (Revised).
- The Plan OF SURVEY has been prepared for the exclusive use of the entities named hereon. The Certificate does not extend to any unnamed party.
- 0.0' indicates existing elevations.
- Deviations are referred to National Geodetic Vertical Datum, 1985 (NGVD).
- Bench Mark Used: B.M. No. 2513. Elevation: 9.57' feet.
- Location: U.S.C. & G. BRASS DISK IN RE-FOREMAN OF SEWER PUMPING STATION. Readings shown hereon are based on: Centerline of BAL CROSS DRIVE being S1°51'29"W.
- Zoning, Zoned street line, Set-backs, Undergrounds, Easements (not in Plat) and Right-of-Ways, etc. to be verified and/or obtained by owner, Architect or Builder before Design or construction.
- The required use of the land, as classified in the Miami-Dade Technical Standards (MDS) - 4 SACS "Substation Class Survey". The minimum relative distance accuracy for the type of boundary survey is 1 foot in 7,500.00 feet, the accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.

FOR THE BENEFIT OF:

- ANTHONY IMBES and JOSEPH NOEL IMBES

REVISIONS	ABBREVIATIONS
01-15-2010	REVISIONS
02-15-2010	REVISIONS
03-15-2010	REVISIONS
04-15-2010	REVISIONS
05-15-2010	REVISIONS
06-15-2010	REVISIONS
07-15-2010	REVISIONS
08-15-2010	REVISIONS
09-15-2010	REVISIONS
10-15-2010	REVISIONS
11-15-2010	REVISIONS
12-15-2010	REVISIONS

Plan of Survey

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**MARIO PRATS JR. & ASSOCIATES, INC.**  
 SURVEYORS - MAPPING - PLANNERS  
 32 SW 4th Avenue, Miami, Florida 33134  
 (305) 441-6220

Date: 1-20  
 Scale: 1"=20'  
 Date: Aug 08, 2008  
 Date: Aug 08, 2008

Job Number: 27938  
 Date: 1-20



**ARCHITECT'S NARRATIVE**

THE LOT SITS ON LOT 1 BLOCK 3, AND IS LOCATED IN THE R-2 ZONING DISTRICT OF THE VILLAGE RESIDENTIAL SECTION. THE LOT IS 19.19 SQUARE FEET AND THE APPLICANT IS PROPOSING A NEW SINGLE FAMILY RESIDENCE ON THE PROPERTY ITS CANNON DRIVE WITH 6,748 SQUARE FEET OF AIR CONDITIONED SPACE AND A 648 SQUARE FOOT GARAGE AND 1734 SQUARE FEET OF UNCONDITIONED OUTDOOR AREAS FOR A TOTAL SQUARE FOOTAGE OF 8,493. THE ENTRANCE TO THE RESIDENCE FACES EAST AND THE PROPOSED GARAGE ENTRY IS BLOCKED FROM VIEW OF THE STREET BY A WALL AND LANDSCAPING.

**SITE DATA TABLE**

	PROPOSED	REQUIRED
SITE AREA	0.378 AC/PL	
PRINCIPAL + ACCESSORY BLDG FOOTPRINT	1,879 sq/ft	8,187 sq/ft, MAX
BUILDING HEIGHT	28'-3"	38'0" MAX
NUMBER OF BEDROOMS/BA THROOMS	7/7 + 1/2 1/2	
FIRST FLOOR AREA	3,334 sq/ft	
SECOND FLOOR AREA	1,284 sq/ft	
GARAGE	648 sq/ft	
DECK/PATIOS	1,070 sq/ft	
PORCH/PERMEABLE ENTRY ETC.	1,704 sq/ft	
TOTAL LIVING AREA (A.S.A.)	6,748 sq/ft	6,000 MAX
(OVERSIZ FLOOR AREA)		

**SETBACK DATA**

	PROPOSED	REQUIRED
FRONT SETBACK (FEET)	38'-7"	38'-0"
REAR SETBACK (FEET)	7'-7"	8'-0"
SIDE SETBACK (FEET)	5'-0"	5'-0"
STREET SETBACK (FEET)	38'-7"	38'-0"

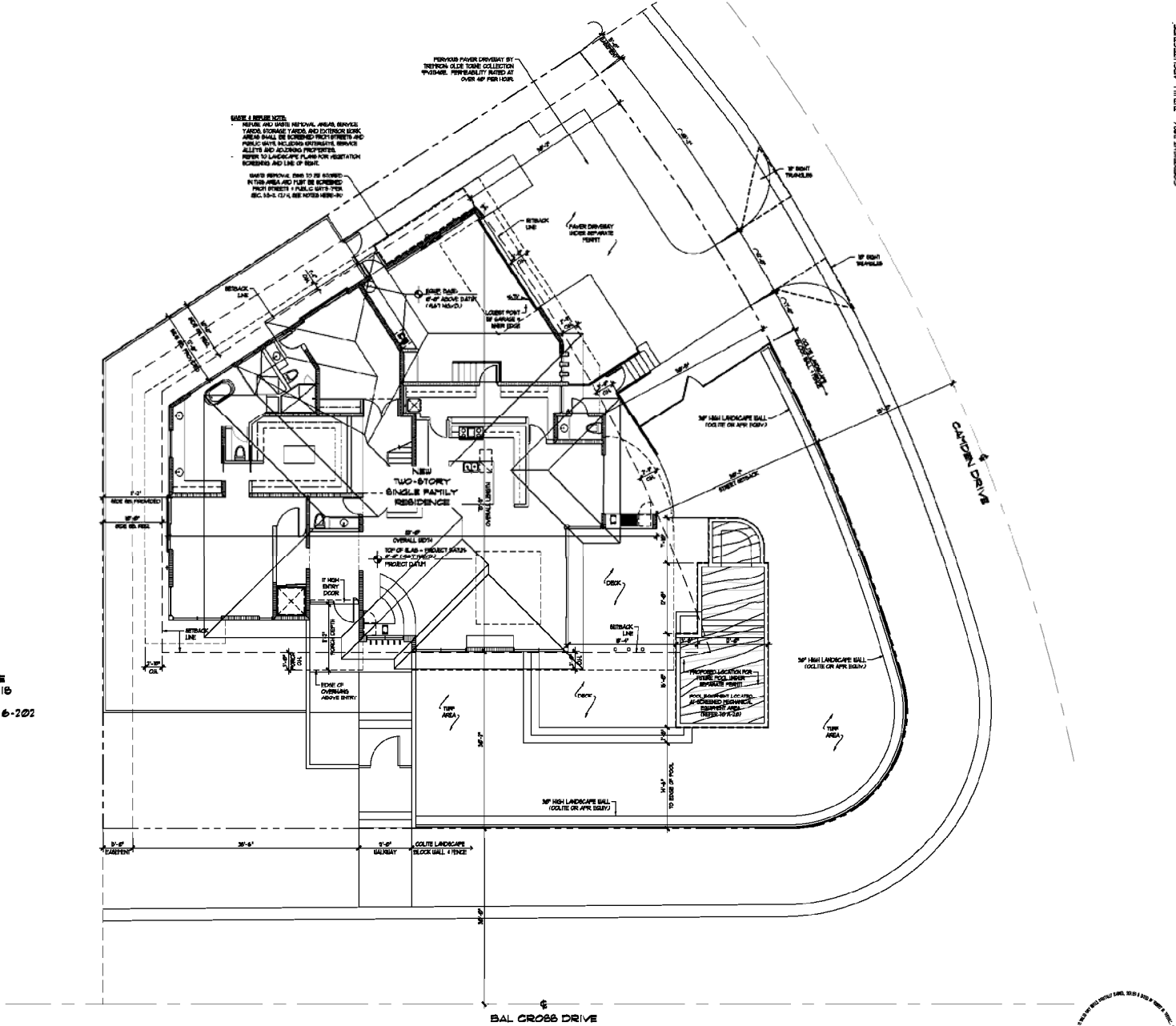
**LEGAL DESCRIPTION**

LOT 1, BLOCK 3, TOWN OF BAL HARBOUR VILLAGE RESIDENTIAL SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 44, PAGE 196, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

**FLOOD DATA**

1. CURRENT FLOOD ZONE	AE-1
2. BASE FLOOD ELEVATION (BFE)	8.65' NAVD. 28
3. DESIGN FLOOD ELEVATION (DFE)	8.65' NAVD. 28
4. FLOOD INSURANCE RATE MAP (FIRM)	22083-0000A
5. HIGHEST CROWN OF ROAD	8.44' NAVD. 28
6. HIGHEST ADJACENT GRADE	8.26' NAVD. 28
7. LOWEST ADJACENT GRADE	8.07' NAVD. 28
8. PROPOSED LOWEST FLOOR ELEVATION (LFE)	8.61' NAVD. 28
9. PROPOSED LOWEST GARAGE FLOOR ELEVATION (LGF)	8.30' NAVD. 28
10. PROPOSED LOWEST ELEVATION OF CONDENSING UNIT	8.10' NAVD. 28
11. PROPOSED LOWEST ELEVATION OF UNDERGROUND GAS TANKS	N/A
12. PROPOSED LOWEST ELEVATION OF WATER HEATER EQUIP.	8.61' NAVD. 28
13. FLOOD DESIGN CLASS (PER AISC 34-1)	2

**IMPORTANT NOTE:**  
 COMPLIANCE WITH BAL HARBOUR VILLAGE ORDINANCE #2023-053 (AKA ORD. 20230) IS MANDATORY, PRIMARILY ARTICLE VII - CONSTRUCTION SITE OPERATIONS SEC 6-201 & 6-202



**SITE PLAN**  
 SCALE: 1/8"=1'-0"



COMPANY 2921 - TOTHILL ARCHITECTURE  
 REVISIONS  
 IMBESI RESIDENCE  
 NEW SINGLE FAMILY RESIDENCE  
 24-0228  
 24-0228  
 PROJECT NUMBER  
 2402

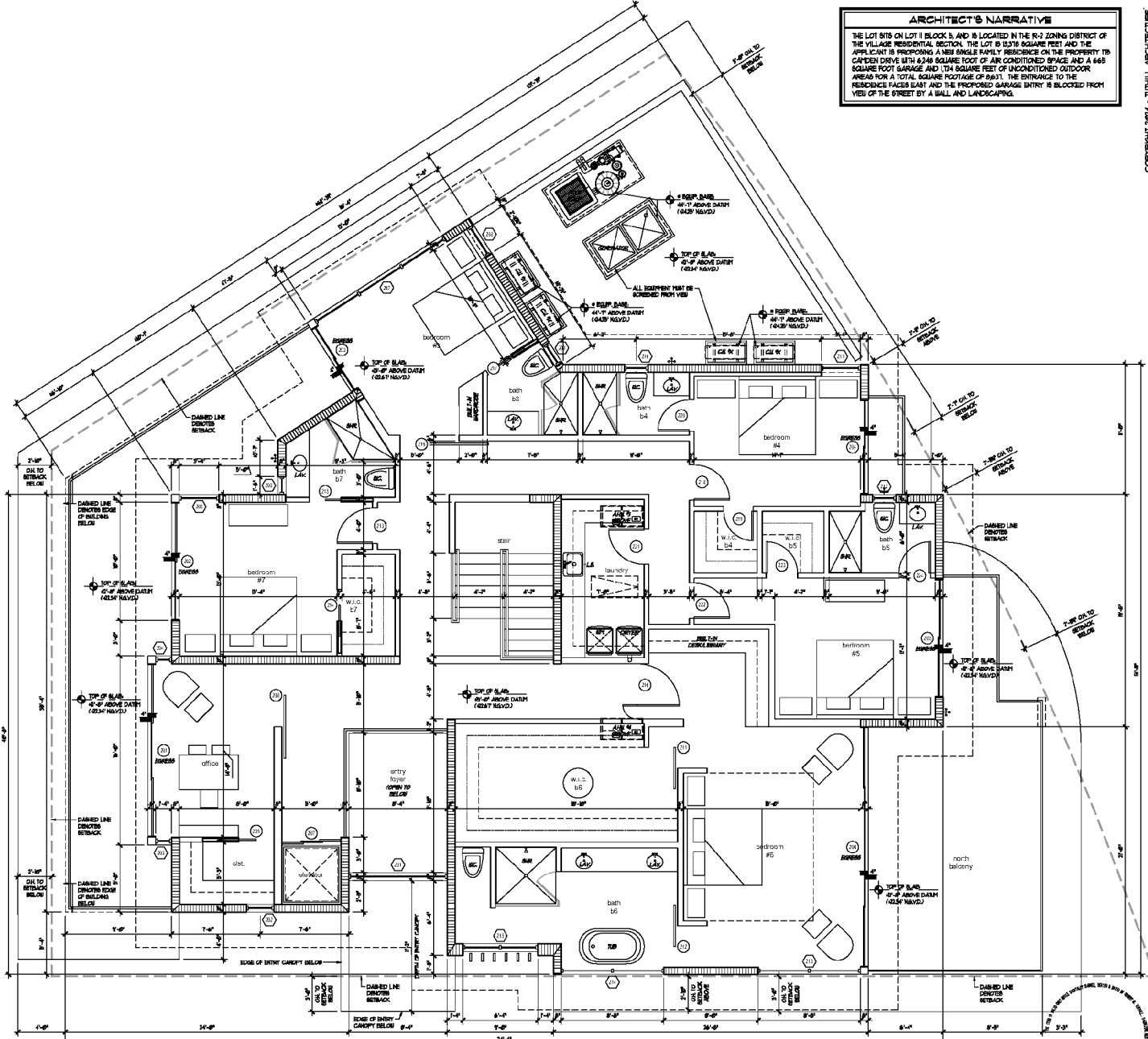


WINDOW SCHEDULE										
NO.	LOC.	INT. SIZE (W x H)	ASSEMBLY	OPERATION	FINISH	FRONT	BACK	REMARKS	APPROVAL	
101	1	36" x 36"	36" x 36"	ALUM.	FIXED	453	-84	LR	3/0	R. P.A. R.20463
102	1	36" x 36"	36" x 36"	ALUM.	FIXED	443	-84	LR	3/0	R. P.A. R.20463
103	1	36" x 36"	36" x 36"	ALUM.	FIXED	443	-84	LR	3/0	R. P.A. R.20463
104	1	36" x 36"	36" x 36"	ALUM.	FIXED	443	-84	LR	3/0	R. P.A. R.20463
105	2	36" x 36"	36" x 36"	ALUM.	FIXED	443	-84	LR	3/0	R. P.A. R.20463
106	2	36" x 36"	36" x 36"	ALUM.	FIXED	443	-84	LR	3/0	R. P.A. R.20463
107	2	36" x 36"	36" x 36"	ALUM.	FIXED	443	-84	LR	3/0	R. P.A. R.20463
108	2	36" x 36"	36" x 36"	ALUM.	FIXED	443	-84	LR	3/0	R. P.A. R.20463
109	2	36" x 36"	36" x 36"	ALUM.	FIXED	443	-84	LR	3/0	R. P.A. R.20463
110	2	36" x 36"	36" x 36"	ALUM.	FIXED	443	-84	LR	3/0	R. P.A. R.20463
111	1	36" x 36"	36" x 36"	ALUM.	FIXED	454	-84	LR	3/0	R. P.A. R.20463
112	1	36" x 36"	36" x 36"	ALUM.	FIXED	454	-84	LR	3/0	R. P.A. R.20463
113	1	36" x 36"	36" x 36"	ALUM.	FIXED	454	-84	LR	3/0	R. P.A. R.20463
114	1	36" x 36"	36" x 36"	ALUM.	FIXED	454	-84	LR	3/0	R. P.A. R.20463
115	2	36" x 36"	36" x 36"	ALUM.	FIXED	443	-84	LR	3/0	R. P.A. R.20463
116	2	36" x 36"	36" x 36"	ALUM.	FIXED	443	-84	LR	3/0	R. P.A. R.20463
201	3	36" x 36"	36" x 36"	ALUM.	FIXED	443	-84	LR	3/0	R. P.A. R.20463
202	1	36" x 36"	36" x 36"	ALUM.	FIXED	454	-84	LR	3/0	R. P.A. R.20463
203	1	36" x 36"	36" x 36"	ALUM.	FIXED	454	-84	LR	3/0	R. P.A. R.20463
204	1	36" x 36"	36" x 36"	ALUM.	FIXED	454	-84	LR	3/0	R. P.A. R.20463
205	1	36" x 36"	36" x 36"	ALUM.	FIXED	454	-84	LR	3/0	R. P.A. R.20463
206	1	36" x 36"	36" x 36"	ALUM.	FIXED	454	-84	LR	3/0	R. P.A. R.20463
207	3	36" x 36"	36" x 36"	ALUM.	FIXED	443	-84	LR	3/0	R. P.A. R.20463
208	1	36" x 36"	36" x 36"	ALUM.	FIXED	454	-84	LR	3/0	R. P.A. R.20463
209	1	36" x 36"	36" x 36"	ALUM.	FIXED	454	-84	LR	3/0	R. P.A. R.20463
210	1	36" x 36"	36" x 36"	ALUM.	FIXED	454	-84	LR	3/0	R. P.A. R.20463
211	1	36" x 36"	36" x 36"	ALUM.	FIXED	454	-84	LR	3/0	R. P.A. R.20463
212	1	36" x 36"	36" x 36"	ALUM.	FIXED	454	-84	LR	3/0	R. P.A. R.20463
213	2	36" x 36"	36" x 36"	ALUM.	FIXED	443	-84	LR	3/0	R. P.A. R.20463
214	2	36" x 36"	36" x 36"	ALUM.	FIXED	443	-84	LR	3/0	R. P.A. R.20463
215	2	36" x 36"	36" x 36"	ALUM.	FIXED	443	-84	LR	3/0	R. P.A. R.20463

NOTES: 1. REFER TO DETAILS FOR INSTALLATION - N/A ALLOWED FOR BAY SPACE.

DOOR SCHEDULE									
NO.	LOC.	INT. SIZE (W x H)	ASSEMBLY	OPERATION	FINISH	FRONT	BACK	REMARKS	APPROVAL
101	E	36" x 36"	36" x 36"	PRVT	442	-84	LR	3/0	R. P.A. R.20463
102	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
103	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
104	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
105	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
106	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
107	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
108	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
109	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
110	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
111	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
112	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
113	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
114	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
115	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
116	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
117	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
118	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
201	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
202	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
203	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
204	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
205	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
206	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
207	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
208	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
209	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
210	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
211	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
212	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
213	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
214	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463
215	E	36" x 36"	36" x 36"	SLDRNG	420	-84	LR	3/0	R. P.A. R.20463

NOTES: 1. REFER TO DETAILS FOR INSTALLATION - N/A ALLOWED FOR BAY SPACE.



**ARCHITECT'S NARRATIVE**

THE LOT SITS ON LOT 1 BLOCK 5, AND IS LOCATED IN THE R-2 ZONING DISTRICT OF THE VILLAGE RESIDENTIAL SECTION. THE LOT IS 8,570 SQUARE FEET AND THE APPLICANT IS PROPOSING A NEW SINGLE FAMILY RESIDENCE ON THE PROPERTY TO CANDLER DRIVE WITH 6,248 SQUARE FEET OF AIR CONDITIONED SPACE AND A 668 SQUARE FOOT GARAGE AND 174 SQUARE FEET OF UNCONDITIONED OUTDOOR AREA FOR A TOTAL SQUARE FOOTAGE OF 6,917. THE ENTRANCE TO THE RESIDENCE FACES EAST AND THE PROPOSED GARAGE ENTRY IS BLOCKED FROM VIEW OF THE STREET BY A WALL AND LANDSCAPING.

COMPILED BY: T. HILL ARCHITECTURE

REVISIONS

IMBES RESIDENCE  
NEW SINGLE FAMILY RESIDENCE

T. Hill Architecture

PROJECT NUMBER: 2126

**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/4"=1'-0"  
(EAST FACE) A-30



**LEFT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"  
(SOUTH FACE) A-30



(1) SLATE ROOF



(2) WHITE STUCCO



(3) ACCENT STUCCO



(4) WOOD LOUVERS



(5) WOOD CEILING,  
EAVES, CLADDING, & FASCIA



(6) NATURAL STONE WALL

NO.	DATE	REVISIONS

**IMBEST RESIDENCE**  
NEW SINGLE FAMILY RESIDENCE  
150' NAVD. PROJECT DATUM  
BL 12/18/2024, PR. 11/1/24

**Tuttill Architecture**  
ARCHITECTS  
150' NAVD. PROJECT DATUM  
BL 12/18/2024, PR. 11/1/24

PROJECT NO. 2406  
DATE: 11/1/24

A-30  
PROJECT NO. 2406  
DATE: 11/1/24



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"  
(ANGLED TO VIEW PLANE) 1  
A-4B



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"  
(ANGLED TO VIEW PLANE) 2  
A-4B

GARAGE DOOR IS NOT MODEL FRONT SHEET. PLEASE REFER TO SHEET 1-4 FOR LANDSCAPED ELEVATION



(1) SLATE ROOF



(2) WHITE STUCCO



(3) ACCENT STUCCO



(4) WOOD LOUVERS



(5) WOOD CEILING, BAYS, CLADDING, & FASCIA



(6) NATURAL STONE WALL

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REVISIONS
IMBEST RESIDENCE NEW SINGLE FAMILY RESIDENCE 101 CALLE BLANCA, BLDG. 101 SAN CARLOS, CA 95050
Tuthill Architecture 101 CALLE BLANCA, BLDG. 101 SAN CARLOS, CA 95050 TEL: 925.255.1010 WWW.TUTHILLARCHITECTURE.COM
DATE: 01-27-2018 PROJECT NUMBER: 2106



**NORTH WEST ELEVATION**  
 SCALE: 1/4"=1'-0"  
 (STRAIGHT ON VIEW TO GARAGE.)



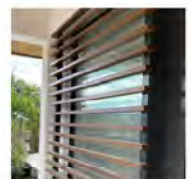
(1) SLATE ROOF



(2) WHITE STUCCO



(3) ACCENT STUCCO



(4) WOOD LOUVERS



(5) WOOD CEILING, EAVES, CLADDING, & FASCIA



(6) NATURAL STONE WALL

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<b>Tuthill architecture</b>	
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1000 S. 10TH AVENUE, SUITE 100	
PHOENIX, AZ 85006	
TEL: 602.998.1111	
WWW.TUTHILLARCHITECTURE.COM	
PROJECT NUMBER	21026
SHEET NUMBER	A-4



ARTIST RENDITION  
SCALE: N.T.S. (CAMDEN DRIVE) 1 A-B



ARTIST RENDITION  
SCALE: N.T.S. (BAL CROSS DRIVE) 2 A-B



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REVISIONS	
IMBEST RESIDENCE NEW SINGLE FAMILY RESIDENCE 10000 W. BAYVIEW BLVD. SUITE 1000 BAYVIEW, FL 33154	
<b>tut hill architecture</b> ARCHITECTS 10000 W. BAYVIEW BLVD. SUITE 1000 BAYVIEW, FL 33154	
DATE: 09-11-23	BY: J.S.
PROJECT NUMBER: 2426	



**168 CAMDEN DRIVE**  
SCALE: N.T.S. (NEIGHBORING HOME) **A-6.0**



**169 CAMDEN DRIVE**  
SCALE: N.T.S. (NEIGHBORING HOME) **A-6.0**



**172 CAMDEN DRIVE**  
SCALE: N.T.S. (NEIGHBORING HOME) **A-6.0**



**160 BAL CROSS DRIVE**  
SCALE: N.T.S. (NEIGHBORING HOME) **A-6.0**



**175 BAL CROSS DRIVE**  
SCALE: N.T.S. (NEIGHBORING HOME) **A-6.0**



**177 BAL CROSS DRIVE**  
SCALE: N.T.S. (NEIGHBORING HOME) **A-6.0**



**179 BAL CROSS DRIVE**  
SCALE: N.T.S. (NEIGHBORING HOME) **A-6.0**



**180 BAL CROSS DRIVE**  
SCALE: 1/4"=1'-0" (NEIGHBORING HOME) **A-6.0**

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REVISIONS
IMBEST RESIDENCE NEW SINGLE-FAMILY RESIDENCE PALM BEACH, FL 33414
TUTTILL ARCHITECTURE ARCHITECTS 1101 S. PALM BEACH BLVD., SUITE 100 PALM BEACH, FL 33480 TEL: 561.832.1111
DATE: 09-24-24
PROJECT NUMBER: 2406





175 CAMDEN DRIVE (SUBJECT PROPERTY) 1  
SCALE: N.T.S. A-10



175 CAMDEN DRIVE (SUBJECT PROPERTY) 2  
SCALE: N.T.S. A-16



175 CAMDEN DRIVE (SUBJECT PROPERTY) 3  
SCALE: N.T.S. A-10

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A-10

PROJECT NUMBER  
2426

tutuhill architecture

175 Camden Drive, Suite 101  
Miami Beach, FL 33139  
ALDRIN  
ARCHITECTS  
LLC

IMBEST RESIDENCE  
NEW SINGLE FAMILY RESIDENCE  
175 CAMDEN DRIVE  
MIAMI BEACH, FL 33139

REVISIONS

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**LANDSCAPE REQUIREMENTS/ CALCS**

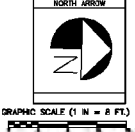
Single Family Residential (see Appendix A) R-1  
Address: 175 Camden Drive, Bal Harbour, FL

Total Site Area	13376 SF, 31 AC, 100% 9619 SF (48.48%)
Total Impervious Area (IC coverage)	25000 SF
Building Footprint	25000 SF
Driveway & walk to garage	856-SF (52% pervious)
Pool	4100 SF
Total Pavement, (open space area)	8769 SF (60.62%)

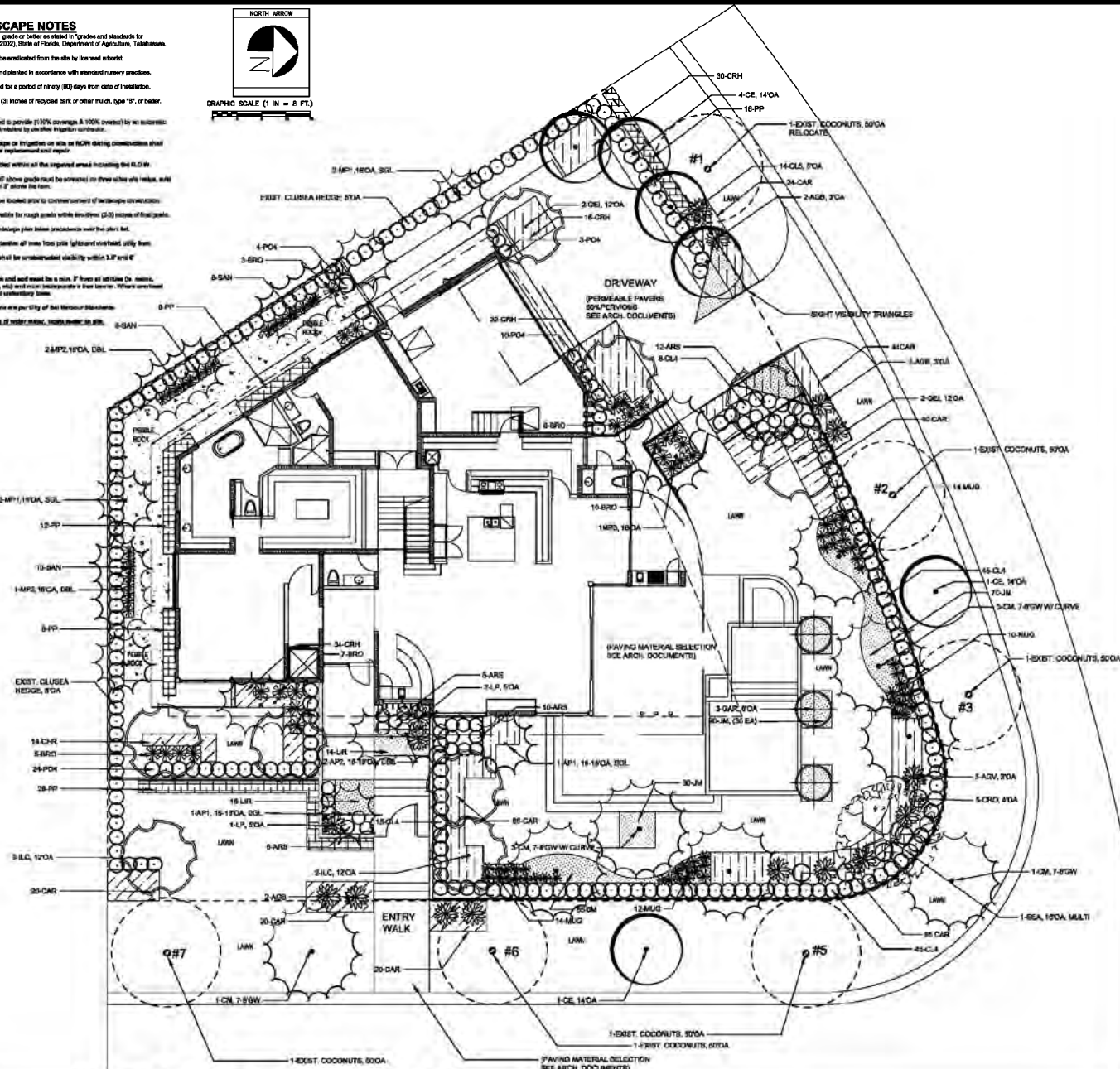
PLANT LIST	THREAT/RISK	Notes
1. A. Shrub	1. Fire	1. Fire Retardant (see manufacturer)
2. Tree	2. Disease	2. Disease Resistant (see manufacturer)
3. Tree	3. Wind	3. Wind Resistant (see manufacturer)
4. Tree	4. Salt	4. Salt Tolerant (see manufacturer)
5. Tree	5. Frost	5. Frost Resistant (see manufacturer)
6. Tree	6. Insects	6. Insect Resistant (see manufacturer)
7. Tree	7. Pests	7. Pest Resistant (see manufacturer)
8. Tree	8. Air Pollution	8. Air Pollution Resistant (see manufacturer)
9. Tree	9. Other	9. Other (see manufacturer)
10. Tree	10. Other	10. Other (see manufacturer)
11. Tree	11. Other	11. Other (see manufacturer)
12. Tree	12. Other	12. Other (see manufacturer)
13. Tree	13. Other	13. Other (see manufacturer)
14. Tree	14. Other	14. Other (see manufacturer)
15. Tree	15. Other	15. Other (see manufacturer)
16. Tree	16. Other	16. Other (see manufacturer)
17. Tree	17. Other	17. Other (see manufacturer)
18. Tree	18. Other	18. Other (see manufacturer)
19. Tree	19. Other	19. Other (see manufacturer)
20. Tree	20. Other	20. Other (see manufacturer)
21. Tree	21. Other	21. Other (see manufacturer)
22. Tree	22. Other	22. Other (see manufacturer)
23. Tree	23. Other	23. Other (see manufacturer)
24. Tree	24. Other	24. Other (see manufacturer)
25. Tree	25. Other	25. Other (see manufacturer)
26. Tree	26. Other	26. Other (see manufacturer)
27. Tree	27. Other	27. Other (see manufacturer)
28. Tree	28. Other	28. Other (see manufacturer)
29. Tree	29. Other	29. Other (see manufacturer)
30. Tree	30. Other	30. Other (see manufacturer)
31. Tree	31. Other	31. Other (see manufacturer)
32. Tree	32. Other	32. Other (see manufacturer)
33. Tree	33. Other	33. Other (see manufacturer)
34. Tree	34. Other	34. Other (see manufacturer)
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36. Tree	36. Other	36. Other (see manufacturer)
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42. Tree	42. Other	42. Other (see manufacturer)
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45. Tree	45. Other	45. Other (see manufacturer)
46. Tree	46. Other	46. Other (see manufacturer)
47. Tree	47. Other	47. Other (see manufacturer)
48. Tree	48. Other	48. Other (see manufacturer)
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50. Tree	50. Other	50. Other (see manufacturer)
51. Tree	51. Other	51. Other (see manufacturer)
52. Tree	52. Other	52. Other (see manufacturer)
53. Tree	53. Other	53. Other (see manufacturer)
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93. Tree	93. Other	93. Other (see manufacturer)
94. Tree	94. Other	94. Other (see manufacturer)
95. Tree	95. Other	95. Other (see manufacturer)
96. Tree	96. Other	96. Other (see manufacturer)
97. Tree	97. Other	97. Other (see manufacturer)
98. Tree	98. Other	98. Other (see manufacturer)
99. Tree	99. Other	99. Other (see manufacturer)
100. Tree	100. Other	100. Other (see manufacturer)

**GENERAL LANDSCAPE NOTES**

- All planting holes to be 200mm FT greater either in either 2" grades and standards for nursery plants part I and part II (2002), State of Florida, Department of Agriculture, Tallahassee.
- All prohibited plant species shall be eradicated from the site by licensed arborist.
- All plant material to be handled and planted in accordance with standard nursery practices.
- All plant material to be guaranteed for a period of ninety (90) days from date of installation.
- All planting beds to receive three (3) inches of recycled bark or other mulch, type 19", or better (no organic mulch)
- All planting areas must be irrigated to provide (100% coverage & 100% coverage) for six consecutive irrigation cycles unless stated otherwise by manufacturer.
- Any damage to existing landscape or irrigation on site or RCM during construction shall be contractor responsibility for replacement and repair.
- Soil and irrigation will be provided within all the required areas including the B.O.W.
- All mechanical equipment that is 6" above grade must be protected on three sides with metal, with fence or wall to a height minimum of 2' above the unit.
- All underground utilities should be located prior to commencement of landscape construction.
- The general contractor is responsible for rough grade within boundary (3.0) inches of final grade.
- In case of discrepancies, the landscape plan takes precedence over the plan set.
- A minimum clearance of 15 ft. separation all trees from utility lines and overhead utility lines.
- Within all side driveways there shall be unobstructed visibility within 3.0' and 6' above pavement level.
- All trees, palms, cacti, shrubs and soil must be a min. 2' away from all City of Miami, electric, telephone, gas, sewer, and water lines. When relocation is required, see P&I, approved engineering notes.
- All details, notes, specifications are per City of Bal Harbour Standards.
- All materials within a 2' radius of water table, shall be used in B.O.W.



**SITE LANDSCAPE PLAN** SCALE: 1/8" = 1'-0"



**IMBESI RESIDENCE**  
175 CAMDEN DRIVE, BAL HARBOUR, FLORIDA

**MAJESTIC VIEWS**  
Landscape Architecture - Construction Management  
771 Cypress Drive South, Boynton Beach, FL 33438  
Phone: (561) 752-9683 majesticviews@aol.com

LA #1888877  
LC #182000319

REV. NO.	DATE
1	11.14.24

SHEET NO. LP-1

# LANDSCAPE REQUIREMENTS/ CALCS

Single Family Residential - 2+1/2 Acres, 50.00 Acres  
 Address: 175 Camden Drive, Bal Harbour, FL

Item	Quantity	Unit	Value	Notes
Total Site Area	12279 SF	± 1 AC, 1/2 AC	6039.5 SF (48.48%)	
Total Impervious Area (from building)	2200 SF		17.7% (1.43%)	
Net Impervious Area (from building)	2200 SF		17.7% (1.43%)	
Net Impervious Area (from building)	2200 SF		17.7% (1.43%)	
Net Impervious Area (from building)	2200 SF		17.7% (1.43%)	
Net Impervious Area (from building)	2200 SF		17.7% (1.43%)	
Net Impervious Area (from building)	2200 SF		17.7% (1.43%)	
Net Impervious Area (from building)	2200 SF		17.7% (1.43%)	

### PLANT LIST

#### TREES AND PALMS

Code	Plant Name	Height	Spread	Notes
T1A	12' COCONUT PALM	12'	8'	10-15' 12" DBH, 10' 10" to 12' 0" DBH, 10' 10" to 12' 0" DBH
T1B	14' COCONUT PALM	14'	8'	14' 0" to 16' 0" DBH, 14' 0" to 16' 0" DBH
T1C	16' COCONUT PALM	16'	8'	16' 0" to 18' 0" DBH, 16' 0" to 18' 0" DBH
T1D	18' COCONUT PALM	18'	8'	18' 0" to 20' 0" DBH, 18' 0" to 20' 0" DBH
T1E	20' COCONUT PALM	20'	8'	20' 0" to 22' 0" DBH, 20' 0" to 22' 0" DBH

#### ACCENTS, SHRUBS, AND GROUNDCOVERS

Code	Plant Name	Height	Spread	Notes
A1	AGAVE	4-6'	4-6'	4-6' AGAVE
A2	AGAVE	4-6'	4-6'	4-6' AGAVE
A3	AGAVE	4-6'	4-6'	4-6' AGAVE
A4	AGAVE	4-6'	4-6'	4-6' AGAVE
A5	AGAVE	4-6'	4-6'	4-6' AGAVE
A6	AGAVE	4-6'	4-6'	4-6' AGAVE
A7	AGAVE	4-6'	4-6'	4-6' AGAVE
A8	AGAVE	4-6'	4-6'	4-6' AGAVE
A9	AGAVE	4-6'	4-6'	4-6' AGAVE
A10	AGAVE	4-6'	4-6'	4-6' AGAVE

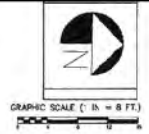
50% of plant material in plan in other M-10 landscape manual - FL Florida Maintenance Landscape Plants for South Florida.

### LANDSCAPE LEGEND Information Required to be Provided to Affected Parties

Category	Required	Provided
Open Space	50% 500 SF	6250 SF
Planting Area	50% 500 SF	6250 SF
Planting Area Calculation	50% 500 SF	6250 SF
Planting Area Calculation	50% 500 SF	6250 SF
Planting Area Calculation	50% 500 SF	6250 SF
Planting Area Calculation	50% 500 SF	6250 SF
Planting Area Calculation	50% 500 SF	6250 SF

# GENERAL LANDSCAPE NOTES

- All planting notes to be Florida #1 grade or better as stated in grades and standards for nursery plants part 1 and part 2 (2002), State of Florida, Department of Agriculture, Tallahassee.
- All prohibited plant species shall be indicated from the site by licensed arborist.
- All plant material to be handled and planted in accordance with standard nursery practices.
- All plant material to be guaranteed for a period of ninety (90) days from date of installation.
- All planting beds to receive three (3) inches of approved compost or other material, type "1", 1/2" deep, (no exotic mulch).
- All planting areas shall be irrigated to provide 100% coverage & 100% water by an automatic irrigation system unless noted otherwise by specific notes.
- Any damage to existing landscape or irrigation on site or ROW during construction shall be contractor's responsibility for replacement and repair.
- End use irrigation will be provided within all the proposed areas including the RWDs.
- All mechanical equipment that is 7' above grade must be contained on three sides with a height, width fence or wall to a minimum of 7' above the base.
- All underground utilities shall be located prior to commencement of landscape construction.
- The general contractor is responsible for rough grade within two (2) to three (3) inches of final grade.
- In case of discrepancies, the landscape plan takes precedence over the plan list.
- In case of discrepancies, the landscape plan takes precedence over the plan list.
- Verify all site dimensions shall be substituted within 2.5' and 4' above proposed level.
- All laws, permits, setbacks and street front set back a min. 5' from all utilities (e.g., main, water, hydrocarbon, electric lines, etc.) and must be in compliance with applicable laws and codes, use FPL approved secondary trees.
- All details, notes, specifications are per City of Bal Harbour Standards.
- Site setbacks within a 5' radius of water main, include meter on site.



**SITE LANDSCAPE PLAN** SCALE: 1/8" = 1'-0"

**IMBESI RESIDENCE**  
 175 CAMDEN DRIVE, BAL HARBOUR, FLORIDA  
**SITE LANDSCAPE PLAN**

**MAJESTIC VIEWS**  
 Landscape Architecture, Inc.  
 4711 Cypress Drive South, Fort Myers Beach, FL 33956  
 Phone: 813-838-1414  
 www.majesticviews.com

REV. NO.	DATE
REV. #1	11.14.24

JOB NO: \_\_\_\_\_  
 DRAWN BY: LJV  
 DATE: 08.18.24  
 SCALE: 1" = 8'

SHEET NO.  
**LP-1**

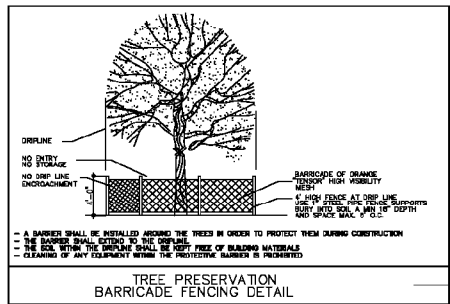
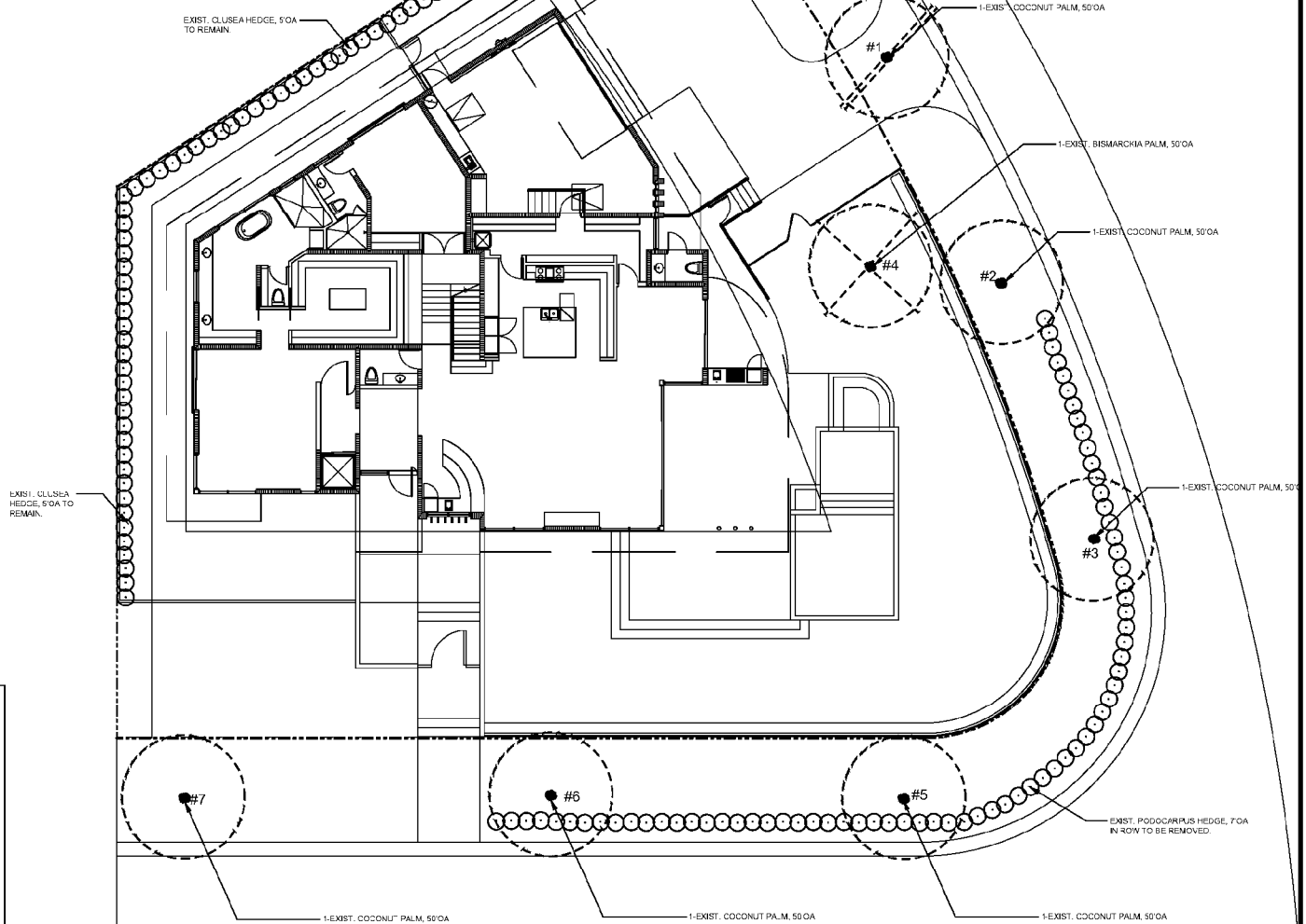
# TREE SURVEY DATA SHEET

Item#	Species Common Name	Species Scientific Name	Qty	Height	Spread	DBH	Condition	Notes	Disposition
#1	Coconut Palm	Cocos Nucifera	1	52'oa	17'	24"	70%	clean dead fronds & fertilize	relocate
#2	Coconut Palm	Cocos Nucifera	1	40'oa	17'	18"	70%	clean dead fronds & fertilize	remain
#3	Coconut Palm	Cocos Nucifera	1	30'oa	16'	18"	70%	clean dead fronds & fertilize	remain
#4	Bismarckia Palm	Bismarckia Nobilis	1	23'oa	22'	24"	70%	NOT IN DESIGN SCOPE	remove
#5	Coconut Palm	Cocos Nucifera	1	40'oa	20'	24"	70%	clean dead fronds & fertilize	remain
#6	Coconut Palm	Cocos Nucifera	1	45'oa	20'	19"	70%	clean dead fronds & fertilize	remain
#7	Coconut Palm	Cocos Nucifera	1	30'oa	17'	22"	70%	conflict w/ drive replaced w/ tree	remove

## EXISTING TREE LEGEND

- EXISTING SPECIMEN TREES TO REMAIN/PRESERVED
- EXISTING TREES TO BE RELOCATED/APPRAISED
- EXISTING TREES TO BE REMOVED/APPRAISED

All existing trees to be appraised by licensed arborist per ANSI standards.  
 All existing trees/palms to remain or relocate must be protected by approved tree barrier. See tree bar for detail.  
 All trees/palms to remain or relocate must be trimmed by licensed arborist per ANSI standards.  
 All trees/palms to remain or relocate must be fertilized w/ annual purpose tree release fertilizer.



# SITE DISPOSITION PLAN

SCALE: 1/8" = 1'-0"

**IMBESI RESIDENCE**  
 175 CAMDEN DRIVE, BAL HARBOUR, FLORIDA  
**SITE DISPOSITION PLAN**

**MAJESTIC VIEWS**  
 Landscape Architects, Inc.  
 Landscape Architecture - Construction Management  
 4711 Lakeshore Blvd. Suite 200  
 Ft. Lauderdale, FL 33309  
 Phone: (561) 782-2339  
 Fax: (561) 782-2338  
 Website: www.majesticviews.com  
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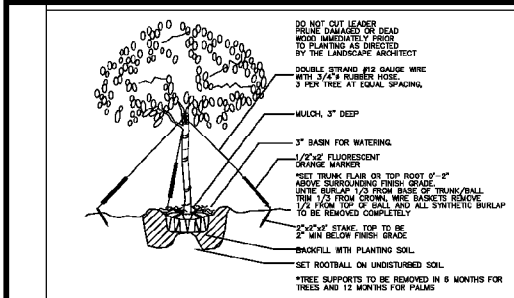
LOUIS ELISE YLONOR  
 LANDSCAPE ARCHITECT

LA #0558677  
 LC #20000319

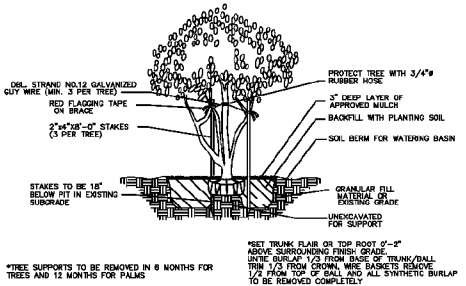
REV. NO.	DATE
REV. 1.	11.14.24

JOB NO.  
 DRAWN BY: LUY  
 DATE: 09.18.24  
 SCALE: 1" = 8'

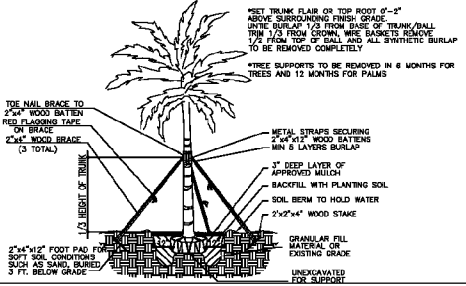
SHEET NO.  
**LP-2**



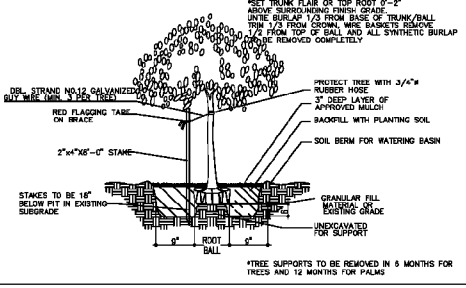
LARGE TREE  
(2" cal. and over) PLANTING DETAIL



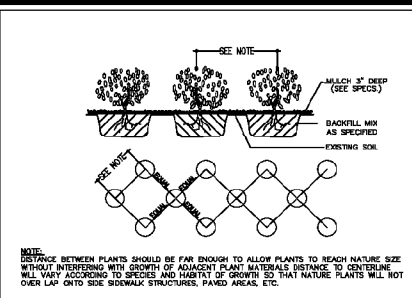
MULTI-TRUNK AND SMALL TREE  
(2" cal. and under) PLANTING DETAIL



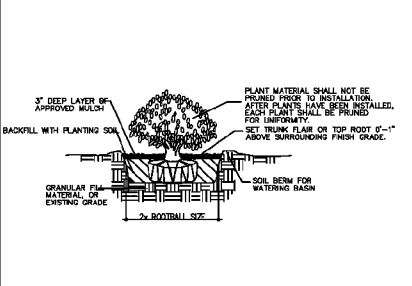
PALM PLANTING DETAIL



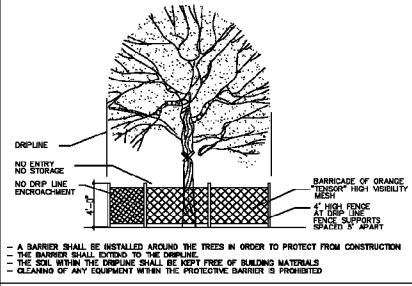
SMALL TREE  
(2" cal. and under) PLANTING DETAIL



SHRUB/ GROUNDCOVER SPACING DETAIL



SHRUB PLANTING DETAIL

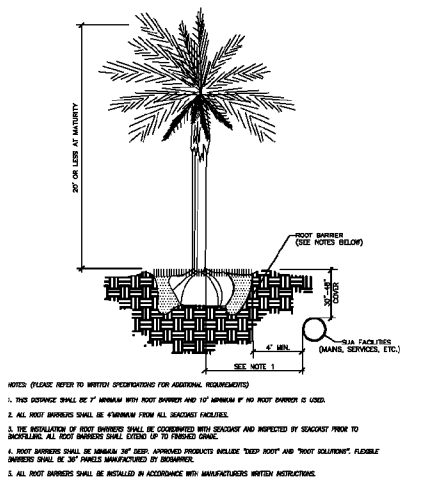


TREE PRESERVATION  
BARRICADE FENCING DETAIL



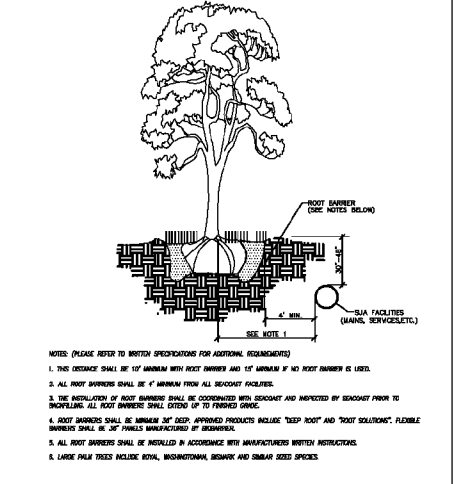
**GENERAL NOTES:**

1. PLANT MATERIAL: All plant material shall be Florida, Al or better, as established by "Grades and Standards for Nursery Plants" of the state of Florida, Department of Agriculture.
2. All trees, shrubs and groundcovers shall be of the sizes as specified in the Plant List.
3. Quantities listed on the Plant List are for estimating purposes. Contractor shall verify all quantities. Mulch, topsoil, fertilizer, etc. shall be included in the unit cost of the plants.
4. Where there is a discrepancy either in quantities, plant names, size or specifications between the plan or plant list, the plan takes precedence.
5. All planting beds and water basins for trees shall be covered with a 3" minimum depth of shredded woodchips or other organic mulch 19" or better.
6. The Planting Plan shall be installed in compliance with all existing City codes and applicable deed restrictions.
7. SOIL: All areas not used for buildings, vehicular use areas, walks or planting beds shall be graded. Grading shall extend to any existing street pavement edge and to the mean waterline of any existing canal, lake or waterway. Soil to be grade "A" seed free. All areas marked "Level" shall be St. Augustine "Tarsier" soil and The Dry Retention area shall be "Bahia Grass" / "Paspalum Notatum". All soil shall be set level light and even along planting beds.
8. Landscapes contractor is responsible for providing their own square footage takeoffs and field verification to provide 100% sod coverage of all areas specified.
9. PLANTING SOIL: All trees and shrubs shall be planted with a minimum of 12" topsoil ground and beneath the rootball. Minimum topsoil shall be 4" for groundcover area, 4" for seeded grass areas and 2" for sodded grass areas.
10. Planting soil to be a sand-free mixture of 50% sand, 40% mulch, and 10% Canadian peat. All plant material to receive planting soil on site. Planting soil bottom for all proposed Date Palms, Coconut Palms, Royal Palms and Livings shall be backfilled with 60% sand and 40% topsoil with organic and free of rock and debris. Exotic/Non species shall be backfilled with 100% sand or less of organic.
11. Contractor to notify "Sunshine" at 1-800-638-4097 (48) hours prior to digging for underground utility locations.
12. Contractor shall be responsible for providing final grading of all associated planting areas.
13. After final grade, area to be re-graded 6" depth and all rock and foreign foreign materials removed and disposed of properly off-site.
14. All planting holes to be hand dug except where machine dug holes will not adversely affect or damage utilities or improvements (see note 9).
15. No planting of any tree or palm will be accepted. All plants to be planted w/ trunk fair or surface root 10% above grade (per City of Bol Harbour, FL requirements).
16. Contractor shall stake & guy all trees and palms at time of planting as per the appropriate detail. Contractor is responsible for the maintenance and/or repair of all staking and guying during warranty period.
17. All parking islands measuring less than 11 feet (including curbs) due to turning radii requirements shall have root barriers installed against the full perimeter of the island. All linework shall be excavated from islands to a depth of 2-1/2 feet and backfilled with the specified planting mix.
18. Fertilizer for grass areas shall be NPK 16-4-8 @ 12.5 lbs./1000 s.f. or 545 lbs./acre. Nitrogen 50% slow release form & fertilizer to include secondary micronutrients.
19. SUBSTITUTIONS AND CHANGES: All substitutions and changes shall be approved in writing prior to installation. Any discrepancies between plans, site and specifications shall be brought to the immediate attention of the Architect, the owner and the City of Bol Harbour, FL
20. WATERING: All plant material shall be watered in at time of planting in accordance with standard nursery practices. In addition, Contractor will continue watering of plant material until satisfactory condition and as needed thereafter for a period of 2 months.
21. EXISTING MATERIAL: All existing material shall be brought to current city code standards, all existing hedges must be continuous or required.
22. DRAINAGE EASEMENT: Written approval must be obtained from local water management district prior to planting within the drainage easement.



Typical Small Tree or Palm Tree with Root Barrier

23. All new plant material shall be guaranteed for 1 year from time of final acceptance of project. Any plant material found in a healthy growing condition will be replaced by the Contractor at no additional cost to the Owner within 10 days of notification. For all replacement plant material, the warranty period shall be extended an additional 45 days beyond the original warranty period. Warranty is null and void for plant material which is damaged or dies as a result of "acts of God" limited to hail, freeze, lightning, automobile damage, and winds exceeding 75 mph as defined by the Miami Hurricane Center. All trees that lean or are blown over caused by winds less than 75 mph, will be re-set and braced by the Contractor at no additional cost to the Owner.
24. Type "D" curbing and wheel stops shall be provided in the V.I.A. Refer to paving and drainage detail sheet for detail of type "D" curb and wheel stop.
25. The successful bidder shall furnish to the Owner a unit price breakdown for all materials. The Owner may, at its discretion, add or delete from the materials including the unit price breakdown submitted.
26. No plant material will be accepted showing evidence of cable, chain marks, equipment scars, or otherwise damaged.
27. Plant material will not be accepted when the ball of earth surrounding its roots has been crushed, broken or otherwise damaged.
28. Root-prune all trees a minimum of (6) weeks prior to planting.
29. Tree grades shall be positioned to meet in the center of travel and have uniform spacing around outside edges of coatings. Install grades where indicated on plans flush and leveled with surrounding pavement surface. Install steel angle frame, in concrete flush and leveled with surrounding paving surface, maintain flush and leveled at all times.
30. All landscaped areas will be irrigated by an underground, automatic, rust-free irrigation system providing 100% coverage and 100% spray overlap. The system shall be maintained in good working order and designed to minimize water on impervious surfaces and not generate waterways. A rain sensor device shall be installed to override the irrigation cycle of the system when adequate rainfall has occurred.
31. Hedge material shall be planted equal to the height of all dumpsters, transformers, mechanical equipment and other ground free-standing utility equipment or enclosures.
32. All plant material planted within the right distance triangle area (see plan) shall provide unrestricted cross-visibility at a horizontal level between 30 inches and 6 feet above adjacent street grade.
33. No canopy trees shall be planted within 15 feet of a light pole. No palm species shall be planted within 6 feet of a light pole.
34. Ground cover plantings shall provide not less than 75 percent coverage immediately upon planting and 100 percent coverage within 3 months after planting.
35. Tree protection barricades shall be provided around existing trees that may be impacted by the proposed construction. Prior to any construction a tree protection barricade inspection shall be conducted by the landscape architect, owner or governing municipality. Refer to landscape detail for tree preservation barricade fencing.
36. Tree removal/relocation permits must be obtained for existing trees to be removed or relocated.
37. In all pedestrian areas, all trees and palms shall be maintained to allow for clear passage of an 8 foot clear trunk.
38. Quantities shown on the plant list take precedence over any discrepancies between the plans and plant list.
39. Proposed berms shall not exceed a 3:1 slope.
40. All plants are to be top dressed with a minimum 3" layer of landscape mulch. Exotic/Non species shall be top dressed with 10" of mulch.
41. All landscape areas are to be provided with automatic irrigation system which will provide 100% coverage and 50% overlap. All irrigation fittings and feed connections will be purple pipe, 5/8" AD PVC.
42. Trees in lawn area are to receive a 24" diameter mulched saucer at the base of the trunk.
43. Root sealer is required and shall be no over spray on any walkway or sidewalk.
44. Contractor must obtain landscape, irrigation and tree removal permits.
45. Trees shall be planted 4' from all underground utility lines. Written approval will be obtained from all utility companies for the proposed trees in the landscape easements prior to holding permit and approval from the City of Bol Harbour, FL
46. Landscaping to be clear 7'-0" of front and sides and 4" behind all fire hydrants, etc.



Typ. Large Tree or Exotic Palm Tree with Root Barrier

**IMBESI RESIDENCE**  
175 CAMDEN DRIVE, BAL HARBOUR, FLORIDA

**MAJESTIC VIEWS**  
Landscape Architects - Construction Management  
471 Cypress Drive South, Boynton Beach, FL 33438  
Phone: (561) 521-9835, mobile: (305) 400-0000  
www.majesticviews.com

LA 8888877  
LC #26000519

REV. NO. DATE

JOB NO:  
DRAWN BY: LVJ  
DATE: 06.18.24  
SCALE: 1" = 8"

SHEET NO.  
**LP-3**



**FRONT-EAST ELEVATION**

SCALE: 1/4"=1'-0"



**SIDE-NORTH ELEVATION**

SCALE: 1/4"=1'-0"

**IMBESI RESIDENCE**  
175 CAMDEN DRIVE, BAL HARBOUR, FLORIDA  
**LANDSCAPE ELEVATIONS**

**MAJESTIC VIEWS**  
Landscape Architects, Inc.  
Landscape Architecture - Construction Management  
4711 Cypress Cove & South, Boynton Beach, FL 33436  
Phone: (561) 755-9833 mobile: (561) 611-0100  
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**LOUIS ELIAS VLACHOS**  
LANDSCAPE ARCHITECT

LA #066677  
LC #28900318

REV. NO.	DATE
REV. 1.	11.12.24

JOB NO.  
DRAWN BY: LJV  
DATE: 09.18.24  
SCALE: AS SHOWN

SHEET NO.  
**LP-4**



**REAR-WEST ELEVATION**  
SCALE: 1/4"=1'-0"



**SIDE-SOUTH ELEVATION**  
SCALE: 1/4"=1'-0"

**IMBESI RESIDENCE**  
175 CAMDEN DRIVE, BAL HARBOUR, FLORIDA,  
**LANDSCAPE ELEVATIONS**

**MAJESTIC VIEWS**  
Landscape Architecture - Construction Management  
4711 Cypress Pointe South, Royal Palm Beach, FL 33456  
Phone: (561) 752-3653 majesticviews@aol.com  
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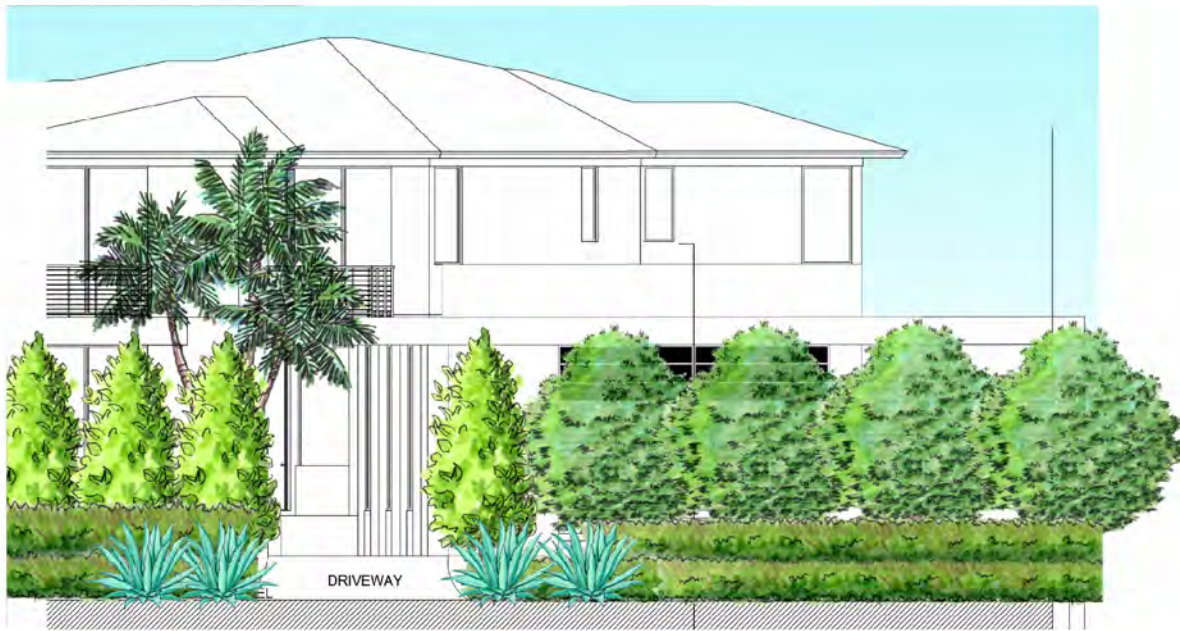
LOUIS ELIAS VLACHOS  
LANDSCAPE ARCHITECT

LA #0608677  
LC #28000316

REV. NO.	DATE
REV. 1.	11.12.24

JOB NO:  
DRAWN BY: LJV  
DATE: 09.18.24  
SCALE: AS SHN

SHEET NO.  
**LP-5**



**GARAGE FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



**GARAGE SECTION**  
SCALE: 1/4"=1'-0"

**IMBESI RESIDENCE**  
175 CAMDEN DRIVE, BAL HARBOUR, FLORIDA  
**LANDSCAPE ELEVATIONS**

**MAJESTIC VIEWS**  
Landscape Architects, Inc.  
Landscape Architecture - Construction Management  
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**LOUIS ELIAS YLIARIOS**  
LANDSCAPE ARCHITECT

LA #0606077  
LC #28000316

REV. NO.	DATE

JOB NO:  
DRAWN BY: LJV  
DATE: 11.12.24  
SCALE: AS SHN

SHEET NO.  
**LP-6**



IMBESI RESIDENCE\_Plants Images



GEI-GEIGER TREE



ILC\_ILEX CASSINE



CM\_EXISTING/PROPOSED COCONUT PALMS



GAR\_GARCINIA

11/16/2024



GREEN BUTTWOOD

MAJESTIC VIEWS LANDSCAPE ARCHITECTS



SEA\_SEAGRAPE TREE

1

IMBESI RESIDENCE\_Plants Images



CL4\_CLUSEA HEDGE



JM\_JASMINE MINIMA



FGI\_FICUS GREEN ISLAND



CRH-COCOPLUM HORIZONTALIS



CAR\_DWARF CARISSA



POS & PO4\_PODOCARPUS HEDGE



CRO\_CROTON 'BANANA RED'



SAN\_SANSEVIERIA



LIR\_LIRIOPE

MAJESTIC VIEWS LANDSCAPE ARCHITECTS

2

IMBESI RESIDENCE\_Plants Images



BLUE AGAVE



LP\_LADY PALM

11/16/2024



AGV\_VARIEGATED AGAVE



BRO\_BROMELIAD ODORATA & MEXICANA



AP1 & AP2 ALEXANDER PALM



MP1, MP2 & MP3 MONTGOMERY PALM



PINK MUHLEY GRASS



BRO\_BROMELIAD ODORATA & MEXICANA



ARS\_ALOCCASIA 2

IMBESI RESIDENCE

175 CAMDEN DRIVE, BAL HARBOUR, FLORIDA

PLANT IMAGES

MAJESTIC VIEWS

Landscaping Architects, Inc.

4711 Cypress Drive South, Boynton Beach, FL 33436

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LOUIS ILIAS VLAVIOS  
LANDSCAPE ARCHITECT

LA #088677

LP #24000319

REV. NO. DATE

REV. 1. 11.14.24

REV. 2. REV. 3. REV. 4.

REV. 5. REV. 6. REV. 7.

REV. 8. REV. 9. REV. 10.

JOB NO:

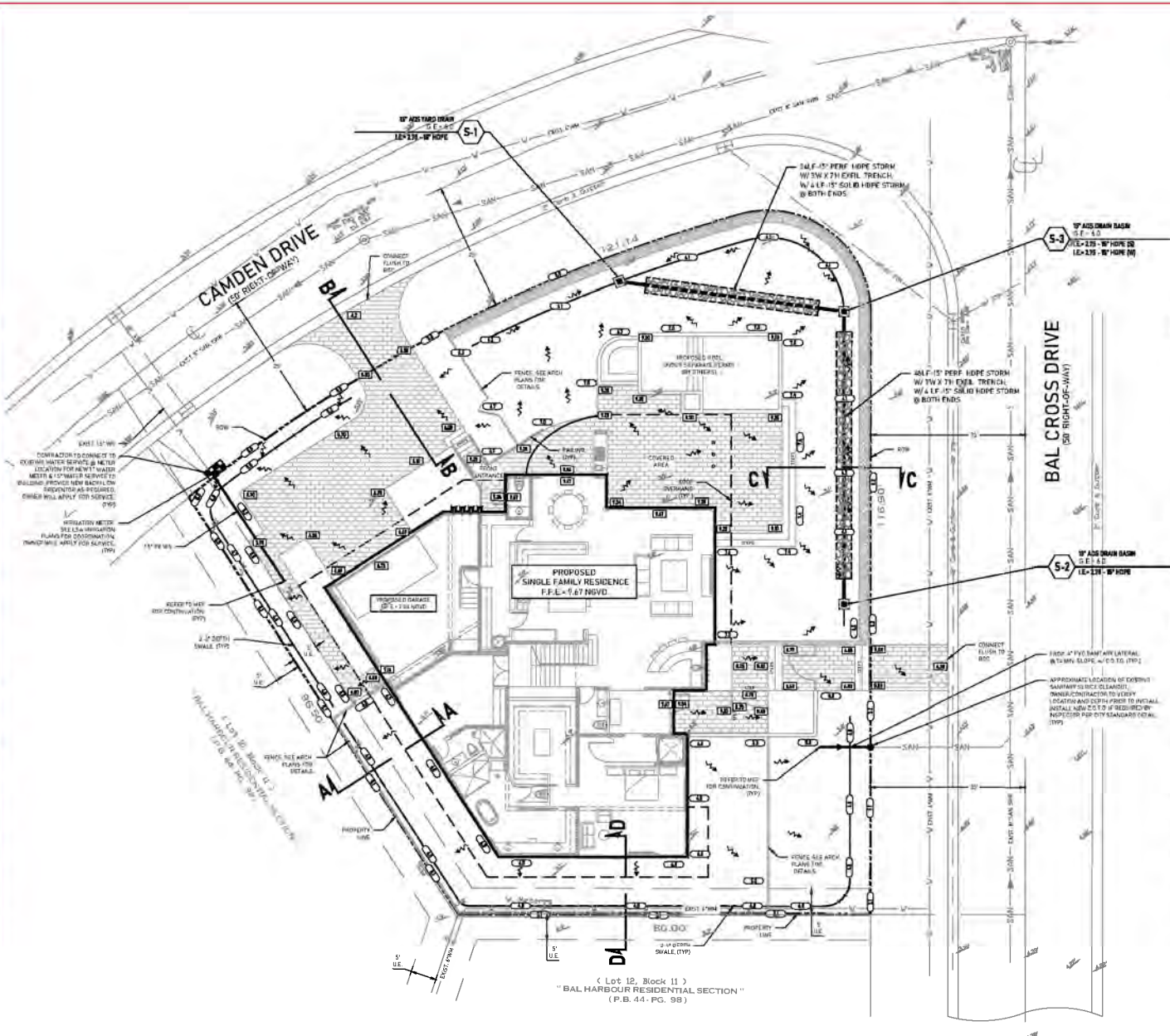
DRAWN BY: LIV

DATE: 09.18.24

SCALE: 1" = 8'

SHEET NO.

LP-7



VERTICAL INFORMATION HEREON IS RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM (NGVD).

Always call 811 two full business days before you dig to have underground utilities located and marked.



LEGEND - CIVIL ENGINEERING PLAN:

- PROPOSED CURB
- MANSION TO DISBURSEMENTS U.S.D.1
- EXISTING SIDEWALK
- MANSION (LINE DIRECTION)
- EXISTING ELEVATION TO REMAIN
- PROPOSED ELEVATION
- PROPOSED SIDEWALK / DETENTION AREA CONTROL LINE
- PROPERTY BOUNDARY / DETENTION AREA CONTROL LINE
- STRUCTURAL NUMBER
- STRUCTURE SCHEDULE (R OR S) SQUARE (S)
- 4" X 4" CATCH BASIN
- 4" X 4" CATCH BASIN
- 12" X 12" X 18" DEEP C&G (M)
- 18" X 18" X 18" DEEP C&G (M)
- 18" X 18" X 18" DEEP C&G (M)
- ADVOCATES P&R
- P.P.C. INVERT ELEV. (MATRIAL & DIRECTION)
- PROPOSED PAVEMENT (ASPHALT/CONCRETE) (PLAN) DETAIL (M)
- PROPOSED GRASS / DETENTION AREA
- CURB WITH DETECTABLE WARNING (EXTERIOR SIDE OF WALK)

GENERAL NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF BAL HARBOUR.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL GIVE TIMELY NOTIFICATION TO ALL UTILITY COMPANIES WITH FACILITIES IN THE AREA.
3. THE LOCATION OF EXISTING FACILITIES WERE PLOTTED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES, AND SURVEY MARKERS.
5. ALL SIDEWALKS AND PATIOS SHALL BE SLOPED AWAY FROM HOUSE.
6. MAXIMUM GRASS SLOPES SHALL NOT EXCEED 4:1.
7. CONTRACTOR SHALL COORDINATE GRADING PLAN WITH LANDSCAPE ARCHITECT.
8. ALL UTILITIES INCLUDING TELEPHONE, ELECTRICAL, CABLE, ETC. MUST BE INSTALLED UNDERGROUND.
9. PROPERTY IS CURRENTLY LOCATED IN FLOOD ZONE OF AE (ELEV. 8' - NGVD) ACCORDING TO THE LATEST FEMA FLOOD HAZARD LAYER AT TIME OF PLAN PREPARATION.

( Lot 12, Block 11 )  
 "BAL HARBOUR RESIDENTIAL SECTION"  
 ( P.B. 44, PG. 98 )

**SCHEFFER**  
**MOTE & RICKS**  
 CIVIL ENGINEERING | PLANNING

800 EAST LAS OLAS BOULEVARD, SUITE 201  
 FORT LAUDERDALE, FL 33309  
 (954) 548-2829  
 WWW.SMB-ENGINEERING.COM

FLORIDA LICENSED PROFESSIONAL ENGINEER NO. 37133

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DRAWN: MKM  
 CHECKED: ADS  
 DATE: 12/07/2024  
 SCALE: AS NOTED

REVISIONS:

REV	DATE	BY	DESCRIPTION

CLIENT:  
**TULLIHILL ARCHITECTURE**  
 1912 E. BROWARD BLVD,  
 SUITE#104-1  
 FORT LAUDERDALE, FL 33301

PROJECT NAME:  
**IMBESE RESIDENCE**  
**175 CAMDEN DRIVE**  
**SINGLE FAMILY RESIDENCE**

SITE LOCATION:  
**175 CAMDEN DRIVE**  
**BAL HARBOUR, FL**

SHEET TITLE:  
**CIVIL ENGINEERING PLAN**

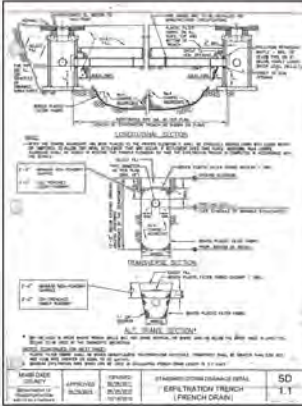
PROFESSIONAL SEAL



PROJ. NO.: **24-0135.01**  
 PHASE: **PERMIT**  
 SHEET: **C-01**  
 SHEET ... OF ...

PERMIT

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**GENERAL NOTES FOR PIPE CULVERTS**

1. ALL NOTES ARE TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS FOR THE PROJECT AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, LATEST EDITION, AS APPLICABLE.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.

5. THE CONTRACTOR SHALL MAINTAIN THE TRENCH OPEN TO THE REQUIRED DEPTH AND WIDTH THROUGHOUT THE CONSTRUCTION PERIOD.

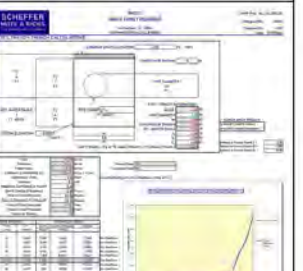
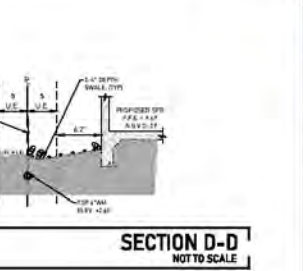
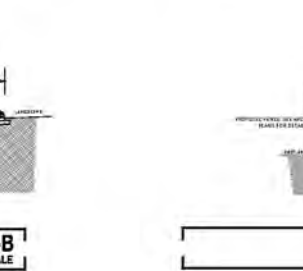
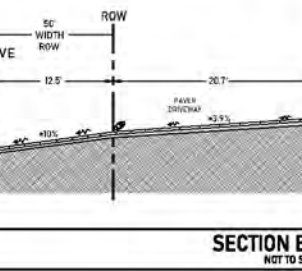
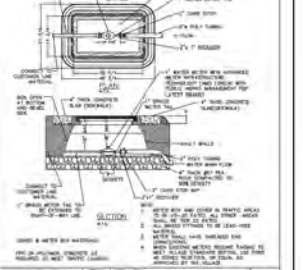
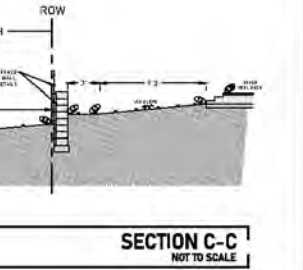
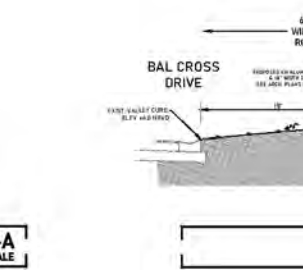
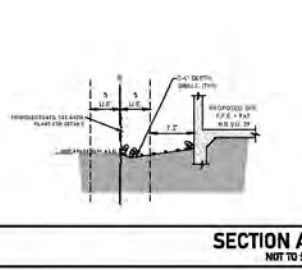
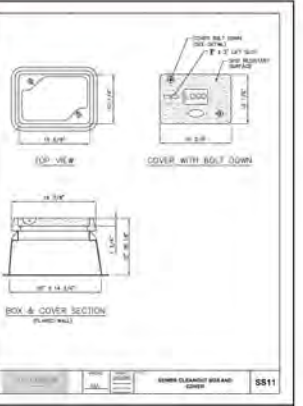
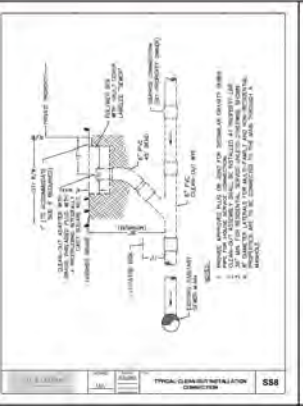
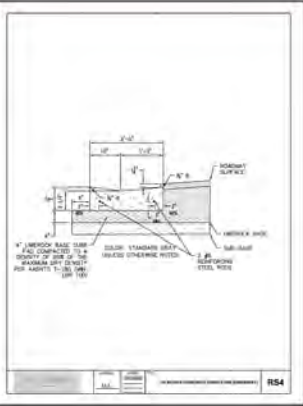
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7. THE CONTRACTOR SHALL MAINTAIN THE TRENCH OPEN TO THE REQUIRED DEPTH AND WIDTH THROUGHOUT THE CONSTRUCTION PERIOD.

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9. THE CONTRACTOR SHALL MAINTAIN THE TRENCH OPEN TO THE REQUIRED DEPTH AND WIDTH THROUGHOUT THE CONSTRUCTION PERIOD.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND SUPPORT OF ALL EXISTING UTILITIES AND STRUCTURES.



Always call 811 two full business days before you dig to have underground utilities located and marked.

**Sunshine 811.com**

VERTICAL INFORMATION HEREON IS RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM (NGVD29).

**SCHEFFER MOTE & RICKS**  
 CIVIL ENGINEERING | PLANNING  
 888 EAST LAS OLAS BOULEVARD, SUITE 201  
 FORT LAUDERDALE, FL 33308  
 754.343.5225  
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DRAWN: **MCH**  
 CHECKED: **ADS**  
 DATE: **12/09/2024**  
 SCALE: **AS NOTED**

REVISIONS:

NO.	DATE	BY	DESCRIPTION

CLIENT:  
**TUTHILL ARCHITECTURE**  
 1512 E. BROWARD BLVD,  
 SUITE#104-1  
 FORT LAUDERDALE, FL 33301

PROJECT NAME:  
**IMBESI RESIDENCE**  
 175 CAMDEN DRIVE  
**SINGLE FAMILY RESIDENCE**

SITE LOCATION:  
 175 CAMDEN DRIVE  
 BAL HARBOUR, FL

SHEET TITLE:  
**CIVIL ENGINEERING SECTIONS & DETAILS**

PROFESSIONAL SEAL:  
  
 Registered Professional Engineer  
 Scheffer Mote & Ricks  
 888 East Las Olas Boulevard, Suite 201  
 Fort Lauderdale, Florida 33308  
 December 10, 2024

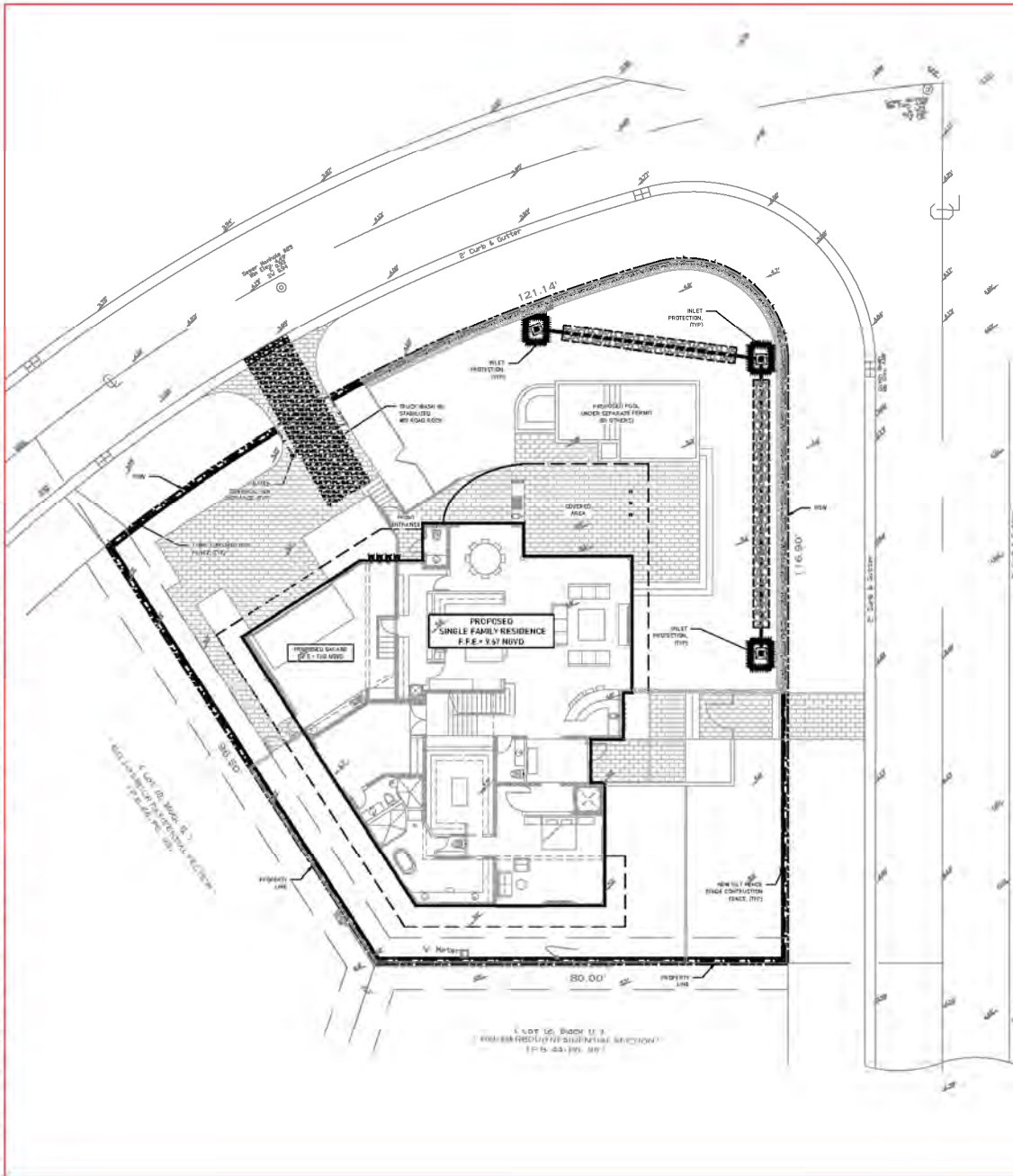
PERMIT

PROJECT NO:  
**24-0135.01**

PHASE:  
**PERMIT**

SHEET:  
**C-02**  
 SHEET \_\_\_ OF \_\_\_

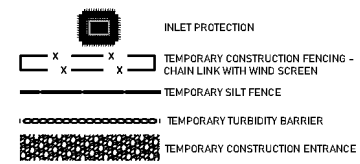
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VERTICAL INFORMATION HEREON IS RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM (NGVD29).

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**Sunshine 811.com**




**SCHEFFER MOTE & RICKS**  
CIVIL ENGINEERING | PLANNING

800 EAST LAS OLAS BOULEVARD, SUITE 200  
FORT LAUDERDALE, FL 33309  
PALM BEACH  
WWW.SMR-ENGINEERING.COM

Professional Seal: Alexander D. Scheffer, Florida P.E. No. 79802, December 10, 2024.

CLIENT: TUTHILL ARCHITECTURE  
1512 E. BROWARD BLVD., SUITE#104-1, FORT LAUDERDALE, FL 33301

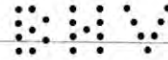
PROJECT NAME: IMBESI RESIDENCE  
175 CAMDEN DRIVE  
SINGLE FAMILY RESIDENCE

SITE LOCATION: 175 CAMDEN DRIVE, BAL HARBOUR, FL

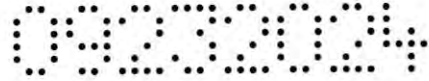
SHEET TITLE: EROSION & SEDIMENTATION CONTROL PLAN

PROFESSIONAL SEAL: Alexander D. Scheffer, Florida P.E. No. 79802, December 10, 2024.

PERMIT: PROJECT NO: 24-0135.01, PHASE: PERMIT, SHEET: C-03



ARB 2024 - 0020



BAL HARBOUR  
- VILLAGE -

The undersigned Agent/Owner request(s) Architectural Review Board review of the following application(s):

- New Building (\$2,500.00)
- Alteration/ Additions (\$1,000.00)
- Revision (\$250.00)

**PROJECT INFORMATION**

Street Address of the Subject Property: 175 CAMDEN

Property/Project Name: ANTHONY IMBESI

Legal description: Lot(s) 11

Block(s) 5 Section(s) BAL HARBOUR RESIDENTIAL SECTION

Folio No. 12-2226-002-1020

Owner(s): Anthony Imbesi

Mailing Address: 175 CAMDEN DRIVE BAL HARBOUR, FL, 33154

Telephone: 305-807-5018 Fax \_\_\_\_\_

Other \_\_\_\_\_ Email TONYIMBESI@gmail.com

Architect(s)/Engineer(s): TUTHIL ARCHITECTURE

Architect(s)/Engineer(s) Mailing Address: 1512 E. BROWARD BLVD #104A

Telephone: Business 954-527-0007 Fax \_\_\_\_\_

Other \_\_\_\_\_ Email TUTHILARCHITECTURE@GMAIL.COM

**PROJECT INFORMATION**

Project Description(s): NEW SINGLE FAMILY RESIDENCE

Estimated project cost\*: \$3,750,000

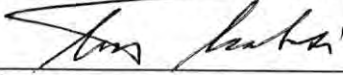
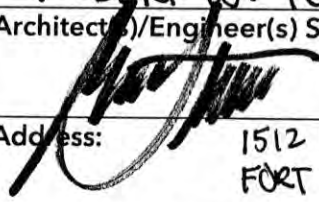


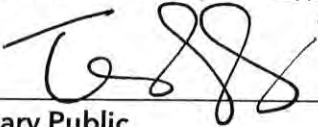

(\*Estimated cost shall be +/- 10% of actual cost)

Date(s) of Previous Submittal(s) and Action(s): \_\_\_\_\_

BY

092024

NOTE: BOTH SIGNATURES OR AFFIRMATION/CONSENT ARE REQUIRED

Owner / Representative Printed Name: <i>Anthony Imbesi</i>			Architect(s)/Engineer(s) Print Name: ROBERT W. TUTTILL		
Owner / Representative Signature: 			Architect(s)/Engineer(s) Signature: 		
Address: 175 CAMDEN DRIVE BAL HARBOUR, FL, 33154			Address: 1512 E. BROWARD BLVD #104-A FORT LAUDERDALE, FL, 33301		
Telephone: 305-807-5018	Fax:	Email: TONYIMBESI@GMAIL.COM	Telephone: 954-527-0007	Fax:	Email: TUTTILLARCHITECTURE@LIVE.COM
			Architect/Engineer Seal:		
<b>NOTARIZATION</b>  STATE OF FLORIDA COUNTY OF MIAMI-DADE  Sworn to or affirm and subscribed before me this <u>18</u> day of <u>SEPTEMBER</u> , in the year 20 <u>24</u> by <u>ANTHONY IMBESI</u> who has taken an oath and is personally known to me or has produced, as identification.			<b>NOTARIZATION</b>  STATE OF FLORIDA COUNTY OF MIAMI-DADE  Sworn to or affirm and subscribed before me this <u>18</u> day of <u>SEPTEMBER</u> , in the year 20 <u>24</u> by <u>ROBERT W. TUTTILL</u> who has taken an oath and is personally known to me or has produced as identification.		
My Commission Expires:  TEDY SASSI-GAMIO Commission # HH 357541 Expires March 23, 2027			My Commission Expires:  TEDY SASSI-GAMIO Commission # HH 357541 Expires March 23, 2027		
 Notary Public			 Notary Public		

<b>Applicant / Owner / Architect / Engineer / Affirmation and Consent</b>
---

I acknowledge, affirm, and certify to all of the following:

1. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Plan and Code of Ordinances of Bal Harbour Village unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
2. That all the information contained in this application and all documentation submitted herewith is true to the best of (my)(our) knowledge and belief.
3. Understand that the application, all attachments and fees become a part of the official records of Bal Harbour Village and are not returnable.
4. All application representatives have registered with and completed lobbyist forms for the Bal Harbour Village City Clerk's office.
5. Understand that under Florida Law, all the information submitted as part of the application are public records.
6. Failure to provide the information required for submittal/necessary for review by the Architectural Review Board may cause the application to be deferred without review.
7. That applications for Architectural Review Board review require the presence of the applicant and/or architect/engineer at the meeting unless otherwise notified.
8. All fees shall be paid at the time of submittal.
9. A written narrative explaining the architectural style of the proposed building or alteration.
10. I have received consent from the owner of the property to file this application.



## ARB NARRATIVE

**Date:** 01-07-25

**To:** **ARB**  
*Bal Harbour Village*  
655-96th Street  
Bal Harbour, FL 33154

**Re:** **Imbesi Residence**  
175 Camden Drive  
Bal Harbour, FL 33154

**Permit #:** ARB2024-0020

**Attention:** ARB Members

This project consists of a New Single Family Residence on a vacant lot located in Bal Harbour Village, Dade County, FL. The proposed concrete block structure with wood trussed roof will house 7 bedrooms, 7 full bathrooms, 2 half powder rooms, and an enclosed 2 car garage. This building is air conditioned and the enclosed garage is not-conditioned. The remaining structure consists of covered porches & terraces. The clean contemporary design takes a complex set of requirements and discretely fuses them within themselves and its surroundings allowing it to properly fit in with the neighborhood. Construction will be compliant with latest Florida Building Code and proper for high-velocity hurricane zones.

Should you have any concerns, please don't hesitate to call us at Tuthill Architecture.

Sincerely,

Robert Tuthill  
Architect





# OFFICE OF THE PROPERTY APPRAISER

## Detailed Report

Generated On: 01/07/2025

PROPERTY INFORMATION	
<b>Folio</b>	12-2226-002-1020
<b>Property Address</b>	175 CAMDEN DR BAL HARBOUR, FL 33154-1328
<b>Owner</b>	ANTHONY IMBESI , JOSEPH NOEL IMBESI
<b>Mailing Address</b>	175 CAMDEN DR BAL HARBOUR, FL 33154
<b>Primary Zone</b>	0800 SGL FAMILY - 1701-1900 SQ
<b>Primary Land Use</b>	0081 VACANT RESIDENTIAL : VACANT LAND
<b>Beds / Baths /Half</b>	0 / 0 / 0
<b>Floors</b>	0
<b>Living Units</b>	0
<b>Actual Area</b>	0 Sq.Ft
<b>Living Area</b>	0 Sq.Ft
<b>Adjusted Area</b>	0 Sq.Ft
<b>Lot Size</b>	13,452 Sq.Ft
<b>Year Built</b>	0



ASSESSMENT INFORMATION			
Year	2024	2023	2022
<b>Land Value</b>	\$4,600,584	\$4,600,584	\$1,967,355
<b>Building Value</b>	\$0	\$0	\$352,686
<b>Extra Feature Value</b>	\$0	\$0	\$2,809
<b>Market Value</b>	\$4,600,584	\$4,600,584	\$2,322,850
<b>Assessed Value</b>	\$1,040,473	\$1,010,168	\$1,157,965

TAXABLE VALUE INFORMATION			
Year	2024	2023	2022
<b>COUNTY</b>			
<b>Exemption Value</b>	\$50,000	\$50,000	\$50,000
<b>Taxable Value</b>	\$990,473	\$960,168	\$1,107,965
<b>SCHOOL BOARD</b>			
<b>Exemption Value</b>	\$25,000	\$25,000	\$25,000
<b>Taxable Value</b>	\$1,015,473	\$985,168	\$1,132,965
<b>CITY</b>			
<b>Exemption Value</b>	\$50,000	\$50,000	\$50,000
<b>Taxable Value</b>	\$990,473	\$960,168	\$1,107,965
<b>REGIONAL</b>			
<b>Exemption Value</b>	\$50,000	\$50,000	\$50,000
<b>Taxable Value</b>	\$990,473	\$960,168	\$1,107,965

BENEFITS INFORMATION				
Benefit	Type	2024	2023	2022
<b>Save Our Homes Cap</b>	Assessment Reduction	\$3,560,111	\$3,590,416	\$1,164,885
<b>Homestead</b>	Exemption	\$25,000	\$25,000	\$25,000
<b>Second Homestead</b>	Exemption	\$25,000	\$25,000	\$25,000

Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>



# OFFICE OF THE PROPERTY APPRAISER

Generated On: 01/07/2025

## Property Information

Folio: 12-2226-002-1020

Property Address: 175 CAMDEN DR

## Roll Year **2024** Land, Building and Extra-Feature Details

LAND INFORMATION					
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value
GENERAL	R-2	0800	Square Ft.	13,452.00	\$4,600,584

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# OFFICE OF THE PROPERTY APPRAISER

Generated On: 01/07/2025

## Property Information

Folio: 12-2226-002-1020

Property Address: 175 CAMDEN DR

## Roll Year **2023** Land, Building and Extra-Feature Details

LAND INFORMATION					
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value
GENERAL	R-2	0800	Square Ft.	13,452.00	\$4,600,584

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# OFFICE OF THE PROPERTY APPRAISER

Generated On: 01/07/2025

## Property Information

Folio: 12-2226-002-1020

Property Address: 175 CAMDEN DR

## Roll Year 2022 Land, Building and Extra-Feature Details

LAND INFORMATION						
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value	
GENERAL	R-2	0800	Square Ft.	13,452.00	\$1,967,355	
BUILDING INFORMATION						
Building Number	Sub Area	Year Built	Actual Sq.Ft.	Living Sq.Ft.	Adj Sq.Ft.	Calc Value
1	1	1951	3,048	2,565	2,734	\$352,686
EXTRA FEATURES						
Description	Year Built		Units	Calc Value		
Wall - CBS unreinforced	1951		240	\$528		
Patio - Concrete Slab	2006		440	\$1,496		
Patio - Brick, Tile, Flagstone	1951		44	\$290		
Chain-link Fence 4-5 ft high	1951		90	\$495		

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# OFFICE OF THE PROPERTY APPRAISER

Generated On: 01/07/2025

## Property Information

**Folio:** 12-2226-002-1020

**Property Address:** 175 CAMDEN DR

### FULL LEGAL DESCRIPTION

BAL HARBOUR RESIDENTIAL SEC  
PB 44-98  
LOT 11 BLK 5  
AND PROP INT IN & TO COMMON  
ELEMENTS NOT DEDICATED TO PUBLIC  
LOT SIZE IRR  
OR 12877-1195 0184 5

### SALES INFORMATION

Previous Sale	Price	OR Book-Page	Qualification Description
12/01/2012	\$100	28442-1030	Corrective, tax or QCD; min consideration
03/01/1980	\$175,000	10690-0745	Sales which are qualified
10/01/1971	\$65,000	00000-00000	Sales which are qualified

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# BAL HARBOUR

- V I L L A G E -

## ARCHITECTURAL REVIEW BOARD MEMORANDUM

TO: Architectural Review Board Members  
FROM: Eliezer Palacio, Building Director  
DATE: 01/23/2025  
SUBJECT: 131 Bal Cross Drive  
New Two-Story Single-Family Residence



### BACKGROUND

The Village of Bal Harbour (the "Village") received an Architectural Review Board (ARB) application on September 10, 2024 for the development of a new two-story single-family residence located at 131 Bal Cross Drive (the "Property").

The lot sits on Block 6, Lot 5 and is located in the R-2, single family zoning district of the Bal Harbour Village Residential Section. The Property is 12,993 square feet and the Applicant is proposing a new two- story residence with 3,052 square feet of conditioned interior space and 1,807 square feet of unconditioned outdoor areas / garages, for a total square footage of 4,859.

The entrance to the residence faces East and the proposed garage entry does not face the street.

This home is located in the AE-8 N.G.V.D. Base Flood Elevation Zone and the Applicant is constructing the proposed residence at 9.67' N.G.V.D., which complies with the Florida Building Code (F.B.C.) and ASCE 24-14 for AE zones.

### THE PROJECT ( AE Description)

The following is a written document to describe the proposed New Construction to be located on 131 Bal Cross Dr, Bal Harbour, Fl. 33154.

This residential project is a serene sanctuary, where architecture and nature seamlessly intertwine. Designed to embrace the essence of Florida living, the structure celebrates open spaces, cross breezes, and the quiet harmony between indoors and outdoors. Its soul lies in simplicity, where the architecture breathes alongside the environment rather than overpowering it.

The ground floor, with its expansive, covered, open-air layout, offers a haven where one can enjoy the rhythm of the wind, the shade, and the coolness of the breeze that sweeps effortlessly through. Here, the home becomes a gentle conduit for natural ventilation, inviting the cross breezes to dance freely through the spaces. It is a place where you can experience the outdoors while sheltered from the elements, creating a perfect balance between comfort and nature.

The second floor rises gracefully above, almost disappearing behind a sculptural curve of fluted stucco, a gesture that softens the building's profile and allows it to recede into the landscape. This curved band serves not only as an architectural flourish but also as a protective visor,

minimizing the home's visual impact from the street while still providing ample covered terraces for moments of quiet reflection. The subtlety of its form speaks to an ethos of humility—where architecture honors the land it stands upon.

Limestone, warm to the touch and timeless in its presence, forms the base of the structure, grounding the home in its natural surroundings. The fluted stucco band, delicate in its texture, adds a rhythm to the façade, catching light in ways that soften its appearance. Above, garapa wood—rich, golden, and natural—imbues warmth and character, adding an organic touch that harmonizes with the lush greenery surrounding the home.

This home is a love letter to minimalism, where the footprint is not about conquering space but rather yielding to it, leaving room for nature to breathe and thrive. Its large overhangs provide respite from the intensity of the sun, creating shaded outdoor living areas that extend the home's interior into the landscape.

Each element of this residence invites you to pause, to connect with the environment, and to live in harmony with the natural world. It is an experience that resonates deeply, where every breeze, every shadow, and every material tells the story of thoughtful, intentional living.

This residence has been meticulously designed to adhere to all setback and height requirements, ensuring it remains within the prescribed regulations without necessitating waivers or variances. As the architect, I extend my gratitude for your consideration of this project description and respectfully request the Board's approval for this proposed design.

#### RECOMMENDATION

It is the opinion of this writer that the proposed new two-story single-family residence follows the Village's Appearance Code and Zoning Ordinance. The Village Planning and Zoning Consultant and the Park's and Public Spaces Department have reviewed the plans and concur that the plans comply.

I recommend that the Board review the submittal for compliance and if they concur with my recommendation, issue a Certificate of Appropriateness.

If approved, the following conditions should be added to the motion:

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences, and landscape plantings.
4. Any new hedge must be planted at least 10' from the edge of the curb.
5. Any new trees must be planted at least 10' from the edge of the curb.

6. All Electrical, Mechanical and Plumbing equipment are required to be 1.0 foot above B.F.E. (Base Flood Elevation) per F.B.C. & A.S.C.E. 24 and cannot infringe upon the building setbacks.
7. Flood Design Data is required to be in accordance to F.B.C., Section 1603.1.7. & A.S.C.E. 24.
8. Architect to provide an Elevation Certificate FEMA Form 086-0-33, for proposed construction that complies with F.B.C. 322 & A.S.C.E. 24.
9. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
10. The Project shall comply with Section 21-127, a, b, and c regarding setbacks in the R-2 Zoning District.
11. The Project shall comply with Section 21-125, maximum building height of 30 ft. in the R-2 Zoning District.
12. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
13. If any portion of the landscaping, fence, or any other permitted item will be located within the five-foot easement at the front, side and/or rear of the property, then prior to the issuance of a required permit or permit revision to the master building permit, the Owner of the Project described herein shall execute "Hold Harmless Agreement" as a condition precedent to permit issuance.
14. If the proposed landscape and hardscape design conflicts with the Village's stormwater infrastructure system, the Architect and Civil Engineer are required to resolve prior to permit issuance. Any revisions required to the hardscape or landscape shall be bought before the ARB, if applicable, or be administratively approved prior to permit.
15. Perimeter landscaping required by the certificate of appropriateness must be maintained by the property owner in accordance with the standards of the code.
16. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
17. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.



18. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.



# 131 BAL CROSS

131 BAL CROSS DRIVE, MIAMI BEACH, FL  
**ARB SUBMITTAL**

## PROJECT TEAM

**ARCHITECT:** BOUITROS BOUTRAHRA  
**LICENSE NUMBER:** 16015  
**LANDSCAPE ARCHITECT:** NAVEEN KUNITHA LIA  
**FLORIDA STATE LICENSE:** LA180700

## SCOPE OF WORK:

DEVELOPMENT OF EXISTING SINGLE FAMILY RESIDENCE FOR NEW CONSTRUCTION OF SINGLE FAMILY HOME. CONTRACTOR SHALL BE RESPONSIBLE FOR IMPACT RATED WINDOWS AND SIGNS.

## SITE DATA:

**ADDRESS:** 131 BAL CROSS DRIVE, MIAMI BEACH, FL 33137  
**SECTION:** 131 BAL CROSS DRIVE, MIAMI BEACH, FL 33137  
**PARCEL:** 131 BAL CROSS DRIVE, MIAMI BEACH, FL 33137  
**APPROXIMATE AREA:** 131 BAL CROSS DRIVE, MIAMI BEACH, FL 33137

## CLIENT LIST

- A-1 COVER
- A-2 SURVEY
- A-3.1 DEVELOPMENT PLAN
- A-3.2 WORK PLAN
- A-4 SITE CONTEXT
- A-5 RENDERING
- A-6 TENDERING
- A-7 RENDERING
- A-8 RENDERING
- A-9 AXONOMETRIC
- A-10 ZONING DIAGRAM
- A-11 SITE PLAN
- A-12 FIRST FLOOR PLAN
- A-13 SECOND FLOOR PLAN
- A-14 ROOF PLAN
- A-15 ZONING LOT COVERAGE
- A-16 ZONING AREA
- A-17 BUILDING ELEVATION
- A-18 BUILDING ELEVATION
- A-19 BUILDING ELEVATION
- A-20 BUILDING ELEVATION
- A-21 BUILDING SECTION
- A-22 TENDERING SECTION
- A-23 MATERIAL BOARD
- A-24 SITE UTILITIES
- L-101 LANDSCAPE PLAN
- L-102 LANDSCAPE DETAILS
- L-103 PLANT MATERIAL

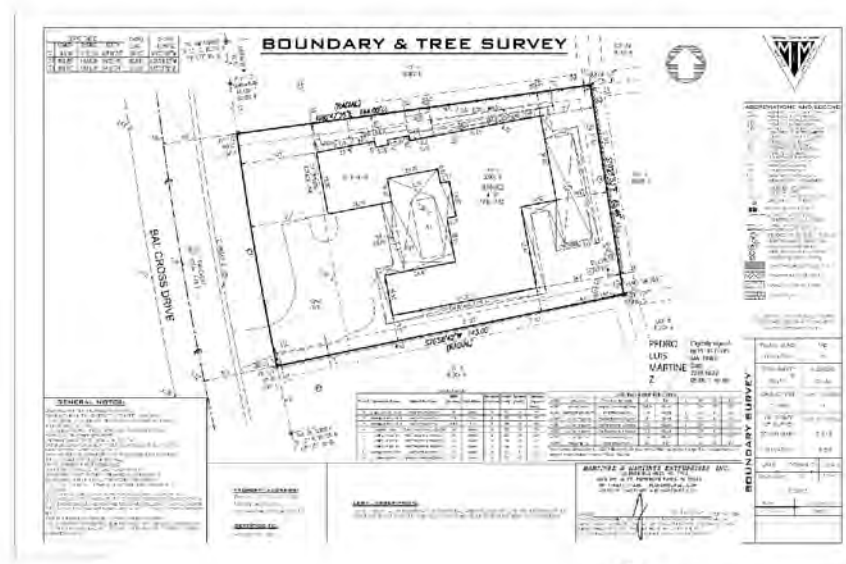


**BOUITROS BOUTRAHRA** Architect  
 21 NE 22ND STREET #627 MIAMI FL 33137  
 BOUITROS@BOUITRAHRA.COM  
 BOUITROSBOUITRAHRA.COM  
 305.362.1000

**131 BAL CROSS DRIVE**  
 131 BAL CROSS DRIVE, MIAMI BEACH, FL  
 CLIENT NAME: ETAN ZEMERMAN

**PROJECT STATUS:**  
 ARCHITECT  
 9/5/24  
**CHECKED BY:** EBH  
**REVISIONS:**  
 1 9/15/24

COVER  
**A-1**



**BOITROS BOITROSA** with/hert

21 NE 2ND STREET 8ST MIAMI FL 33137  
 BOITROSBOITROSA.COM  
 305.888.8888

**131 BAL CROSS DRIVE**

131 BAL CROSS DRIVE, MIAMI, FL 33137

CLIENT NAME: ERIK J. MARTINI

PROJECT STATUS: UNDERWAY

DATE: 05/24

CHECKED BY: BR

REVISIONS:

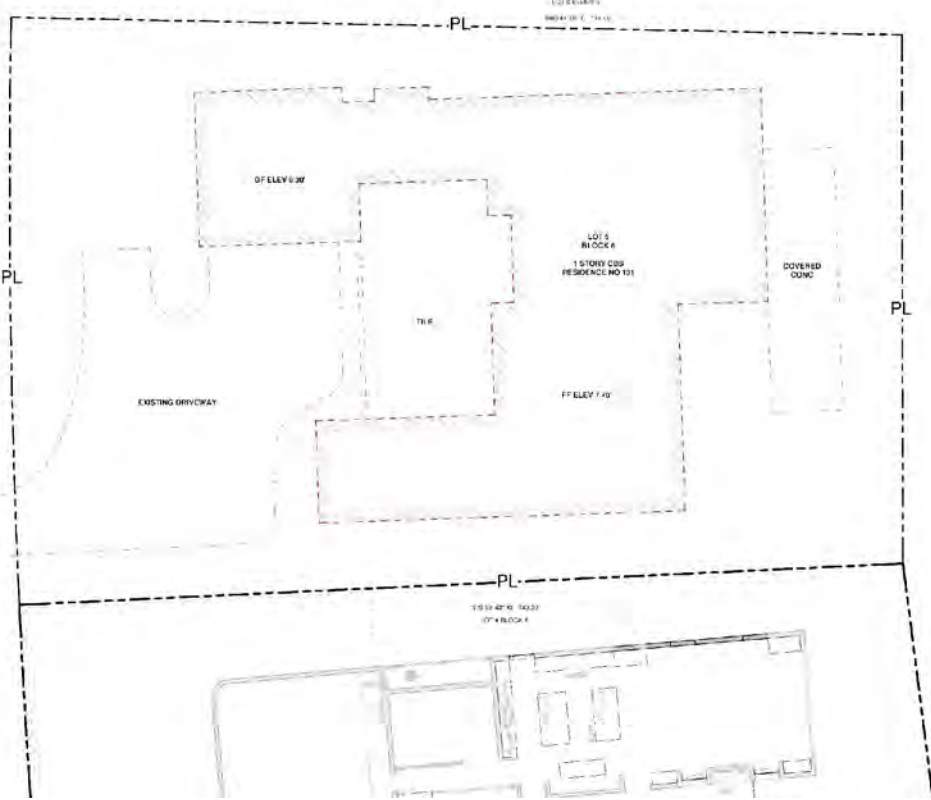
T: 5/24

S: RVEY

10' WIDE SIDEWALK  
 5' WIDE SIDEWALK  
 2' CURB AND GUTTER

BAL CROSS DRIVE

1/4" = 1'-0"



1 DEVO PLAN  
 1/8" = 1'-0"

GENERAL DEMOLITION NOTES:

1. THE EXISTING STRUCTURE IS TO BE DEMOLISHED AND THE SITE REDEVELOPED AS SHOWN ON THESE PLANS.
2. ALL EXISTING UTILITIES SHALL BE MAINTAINED UNLESS OTHERWISE SHOWN ON THESE PLANS.
3. ALL EXISTING UTILITIES SHALL BE MAINTAINED UNLESS OTHERWISE SHOWN ON THESE PLANS.
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27. ALL EXISTING UTILITIES SHALL BE MAINTAINED UNLESS OTHERWISE SHOWN ON THESE PLANS.
28. ALL EXISTING UTILITIES SHALL BE MAINTAINED UNLESS OTHERWISE SHOWN ON THESE PLANS.

FENCE PROTECTION NOTES:

1. ALL EXISTING UTILITIES SHALL BE MAINTAINED UNLESS OTHERWISE SHOWN ON THESE PLANS.



BOITROUS BOITROUS ARCHITECT  
 21 MELBOURNE DRIVE, SUITE 100  
 MELBOURNE, FL 32909  
 (407) 486-1234  
 BOITROUSBOITROUS.COM

131 BAL CROSS DRIVE  
 10' WIDE SIDEWALK  
 5' WIDE SIDEWALK  
 2' CURB AND GUTTER

PROJECT STATUS:  
 UNDERWAY

2/24/21  
 CHECKED BY: BB

REVISIONS:  
 1: 5/18/24

DEMOLITION PLAN

A-2.1



121 BAL CROSS DR 1



112 BAL CROSS DRIVE 2



107 BAL CROSS DRIVE 3



140 BAL CROSS DRIVE 4



126 BAL CROSS DRIVE 5



SUBJECT PROPERTY (131 BAL CROSS DR) 6



130 BAL CROSS DRIVE 7



141 BAL CROSS DRIVE 8



REGISTERED ENGINEER (SCALE)  
 E. J. J. J. J.  
 21 NE 25th STREET #527 MIAMI FL 33137  
 BOULTRON@BOLTRONRA.COM  
 AS98985

BOLTRON@BOLTRONRA.COM

**131 BAL CROSS DRIVE**

21 NE 25th STREET #527 MIAMI FL 33137  
 131 BAL CROSS DRIVE BAL HARBOUR FL  
 CLIENT NAME: E. J. J. J. J.

PROJECT STATUS:  
 WORK IN PROGRESS  
 3/4/24  
 CHECKED BY: BB  
 REVISIONS:  
 SITE CONTEXT  
**A-4**



TEXTURED STUCCO AND GARAPA BRAZILIAN WOOD CLADDING

PROFESSIONAL SEAL  
 ARCHITECT  
 STATE OF FLORIDA  
 BOULTRUS BOUWAIHRA  
 131 BAL CROSS DRIVE  
 MIAMI, FL 33137  
 BOULTRUSBOUWAIHRA.COM  
 AS00000000



BOULTRUS BOUWAIHRA | architect  
 21 NE 2ND STREET #527 MIAMI, FL 33137  
 BOULTRUSBOUWAIHRA.COM  
 AS00000000

**131 BAL CROSS DRIVE**

131 BAL CROSS DRIVE, BAL WOODS FL  
 CLIENT NAME: BILAL ZACHARIAN

PROJECT STATUS:  
 UNDERWAY

8/5/24  
 CHECKED BY: BB

REVISIONS:  
 1

RENDER NO

**A-5**



STATE OF FLORIDA  
 BOARD OF PROFESSIONAL ENGINEERS  
 REGISTERED PROFESSIONAL ENGINEER  
 NO. 12345  
 EXPIRES 12/31/2024



BOUROS BOUINARA | architect  
 21 NE 2ND STREET #527 MIAMI FL 33137  
 BOUROSBOUINARA.COM  
 BOUROSBOUINARA.COM  
 4088825

**131 BAL CROSS DRIVE**

131 BAL CROSS DRIVE, BAL WOODS FL  
 CLIENT NAME: ELLYN ZACHEN

PROJECT STATUS:  
 100% COMPLETE

8/5/24  
 CHECKED BY: BB

REVISIONS:  
 1

PENDER NO.



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ARCHITECT OF RECORD (SEAL):



**BOUTROS BOUNAHRA** | architect  
 21 NE 2ND STREET #527 MIAMI FL 33137  
 BOUTROSBOUNAHRA.COM  
 ASHPBBS

**131 BAL CROSS DRIVE**  
 131 BAL CROSS DRIVE, BAL WOODS FL  
 CLIENT NAME: BILLY ZACHEN

PROJECT STATUS:  
 40% COMPLETE  
 8/5/24  
 CHECKED BY: BB  
 REVISIONS:  
 REVISION NO:  
 REVISION NO:

**A-7**





TURF BLOCK



TRAVERTINE HONED

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ARCHITECT OF RECORD (SEAL):



**BOUTROS BOUTINARA** | architect  
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 305.363.8000 | INFO@BOUTINARA.COM  
 305.363.8000 | WWW.BOUTINARA.COM  
 ARCHITECT

**131 BAL CROSS DRIVE**

131 BAL CROSS DRIVE, BAL WOODS FL  
 CLIENT NAME: BILLY ZACHEN

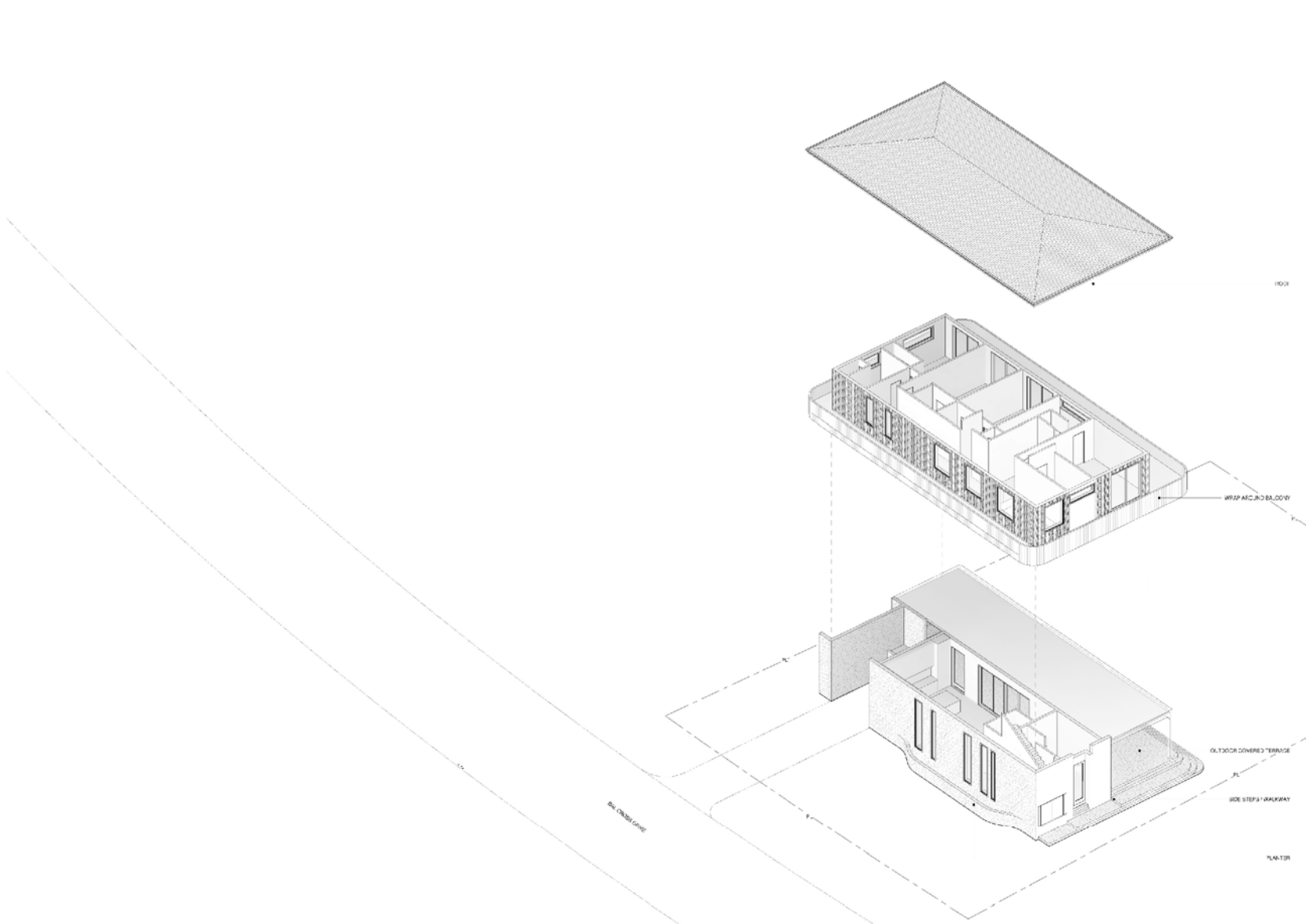
PROJECT STATUS:  
 UNDERWAY

8/5/24

CHECKED BY: BB

REVISIONS:

RENDER NO:



PROFESSIONAL SEAL  
 ARCHITECTS  
 REGISTERED ARCHITECTS  
 STATE OF FLORIDA  
 NO. 12345  
 EXPIRES 12/31/24



**BOUTROS BOUNAHRA** | architect  
 21 NE 2ND STREET #527 MIAMI FL 33137  
 BOUTROSBOUNAHRA.COM  
 ASB8888

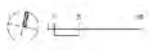
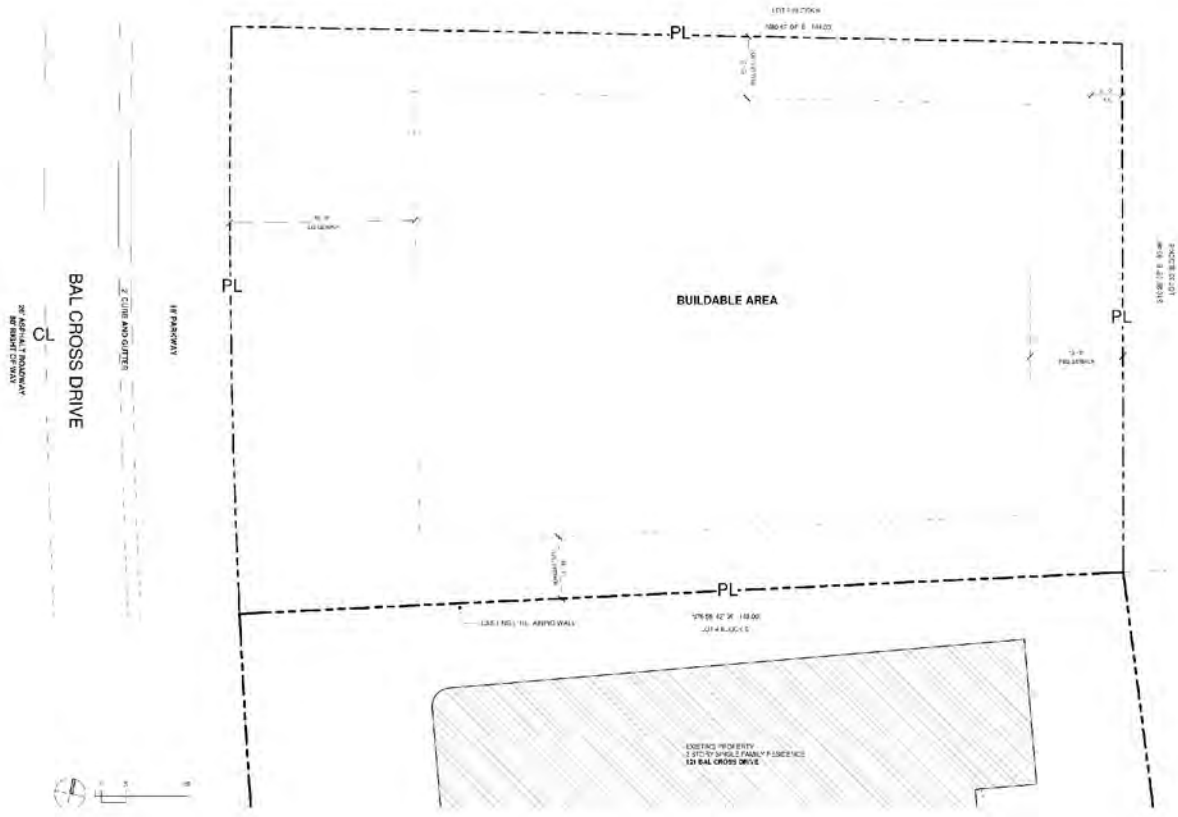
**131 BAL CROSS DRIVE**  
 131 BAL CROSS DRIVE, BAL WOODS FL  
 CLIENT NAME: BILLY JAMESON

PROJECT STATUS:  
 UNDERWAY

3/5/24  
 CHECKED BY: BB

REVISIONS:  
 1. 5/10/24

AKO D ASRAM



ZONING SETBACK DIAGRAM  
1/8" = 1'-0"

BAL CROSS DRIVE  
1/8" = 1'-0"

E. CURB AND GUTTER

18' PARKWAY

PL

BUILDABLE AREA

PL

LOT EASEMENT  
ABOVE OF E. BAL CROSS

PL

178.58' (E) X 113.00' (N)  
TO ADJACENT PROPERTY

PL

315.27' (E) X 107.25' (N)

PROFESSIONAL SEAL  
STATE OF FLORIDA  
REGISTERED PROFESSIONAL ENGINEER  
NO. 12345  
EXPIRES 12/31/2024



BOHROS BOHROS  
#123456789

21 NE 2ND STREET #527 MIAMI FL 33137  
BOHROSBOHROS@GMAIL.COM  
ADDRESS

**131 BAL CROSS DRIVE**

131 BAL CROSS DRIVE BAL W/CDUP FL

CLIENT NAME: BOHROS BOHROS

PROJECT STATUS:  
PREPARED

DATE:  
CHECKED BY: RB

REVISIONS:

ZONING DIAGRAM

**GENERAL NOTES:**

1. THE BUILDING SHALL PROVIDE A CONTINGENT TREATMENT FOR PRE-EXISTING WATER POLLUTION.
2. ALL SEWER LINES SHALL BE 12" DIA. AND SHALL BE 10' DEEP.
3. ALL FLOOR FINISHES SHALL BE 1/2" ABOVE FINISH FLOOR ELEVATION UNLESS OTHERWISE NOTED.
4. ALL WALLS SHALL BE 8" THICK UNLESS OTHERWISE NOTED.
5. ALL CEILING SHALL BE 8' HIGH UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS SHALL BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

**EXISTING AND PROPOSED UTILITIES:**

EXISTING UTILITIES SHALL BE SHOWN AS SHOWN ON THE SURVEY. ALL UTILITIES SHALL BE 10' DEEP UNLESS OTHERWISE NOTED. ALL UTILITIES SHALL BE 10' DEEP UNLESS OTHERWISE NOTED. ALL UTILITIES SHALL BE 10' DEEP UNLESS OTHERWISE NOTED.

**LOCAL DESCRIPTION:**

THIS BUILDING IS A RESIDENTIAL BUILDING LOCATED ON BAL CROSS DRIVE, A PUBLIC ROAD, IN THE CITY OF MIAMI, FLORIDA.

**PROJECT ZONING DATA:**

**GENERAL INFO**

ADDRESS: 131 BAL CROSS DR  
 ZONING DISTRICT: R-2 SINGLE FAMILY  
 LOT WIDTH: 60.00'  
 LOT DEPTH: 140.00'  
 LOT AREA: 12,900 SF (0.295 ACRE) (SEE SURVEY)  
 FLOOD ZONE: AE (BASE FLOOD ELEV. 8')  
 DESIGN FLOOD ELEVATION: 9.4 (BFE + 1.4')

**PROPOSED FLOOR AREA**

LEVEL 1 (UNDER AIR): 1,207 SF  
 LEVEL 2 (UNDER AIR): 2,005 SF  
 CARPORT: 242 SF  
 COVERED TERRACE: 1,588 SF

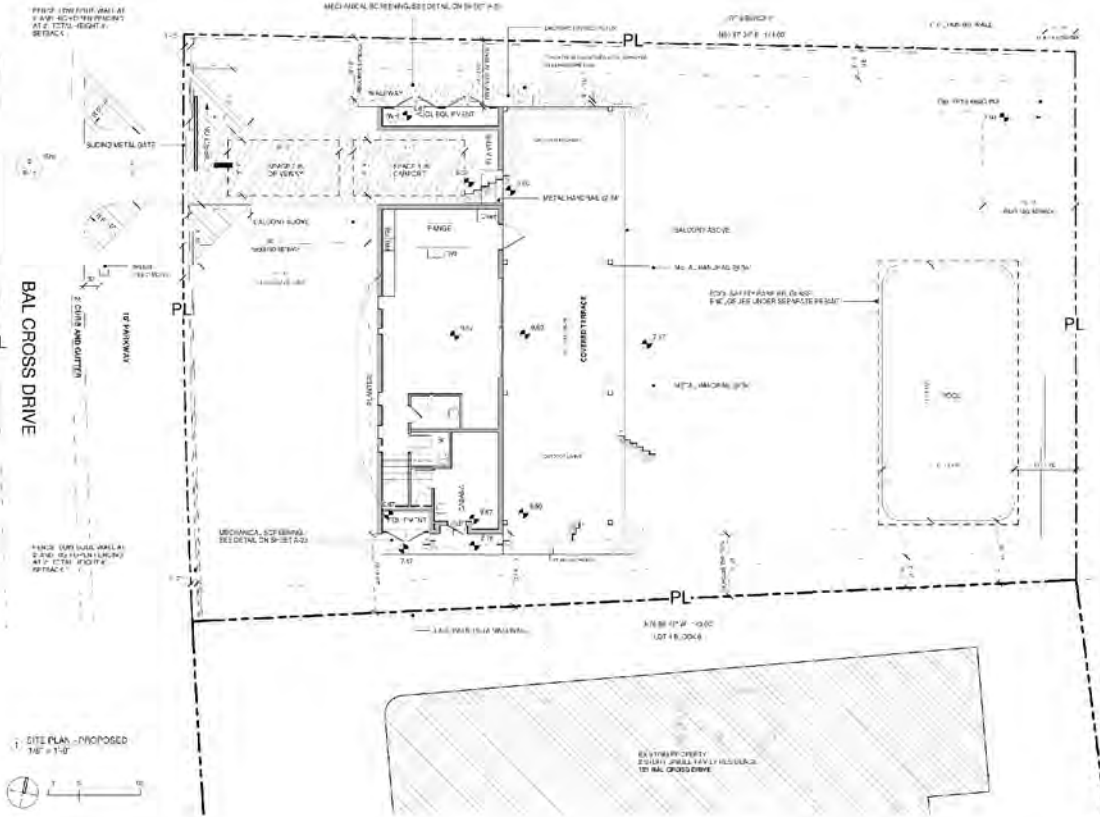
TOTAL AREA: 4,999 SF  
 TOTAL LIVING AREA: 3,997 SF (UNDER AIR)

LOT COVERAGE:	REQ.	PROPOSED
IMPERVIOUS (STRUCTURE):	47% MAX	3,480 SF (86.2%)
IMPERVIOUS (HARDSCAPE):	12% MAX	1,207 SF (8.7%)
	62% TOTAL MAX	4,222 SF (57.3%)
PERVIOUS (SOFTSCAPE):	53% MIN	2,270 SF (62.7%)

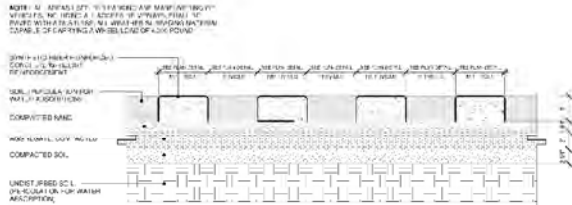
SETBACKS:	REQ.	PROPOSED
FRONT SETBACK:	33'	31' - 0" (SEE PLAN)
REAR SETBACK:	10'	79' - 10.5" (SEE PLAN)
SIDE SETBACK NORTH:	13'	16' - 0" (SEE SECTION)
SIDE SETBACK SOUTH:	13'	10' - 0" (SEE SECTION)
POOL SETBACK:	10' REAR & SIDE	10' - 0" (SEE PLAN)
PFE:	10' - 1" (SEE PLAN)	8' - 0" (SEE PLAN)
BUILDING HEIGHT:	33'	26' - 7"

**FLOOD LEGEND**

FLOOD ZONE:	AE (BASE FLOOD ELEV. 8')
DESIGN FLOOD ELEVATION:	9.4 (BFE + 1.4')
FLOOD DESIGN CLASS:	2 (ANCH-24 (1) WITH 1-1)
PROPOSED PFE ELEVATION:	9.67
FEET OF CLEARANCE:	8.4
LOWEST LEVEL OF EQUIPMENT PANEL NUMBER:	5/67
HIGHEST CROWN OF ROAD:	8.00 (SEE SURVEY)
LOWEST ADJACENT GRADE:	6.1
HIGHEST ADJACENT GRADE:	11.7



1. SITE PLAN - PROPOSED  
 1/8" = 1'-0"



2. DRIVEWAY DETAIL  
 1/2" = 1'-0"



3. TURF BLOCK  
 1/2" = 1'-0"

TOTAL AREA OF BLOCK:	4.999 SF
PERVIOUS TOTAL:	2,270 SF
IMPERVIOUS TOTAL:	1,207 SF
PERMANENT:	12%
COLOR:	NATURAL GRASS



**ROBERT R. BROUSSARD** Architect  
 21 NE 2ND STREET, SUITE 1000 MIAMI, FL 33137  
 (305) 375-1111  
 WWW.RRBR.COM

**131 BAL CROSS DRIVE**  
 101 BAL CROSS DRIVE, BAL CROSS DR, MIAMI, FL 33137  
 CLIENT NAME: BRYAN JACOBSON

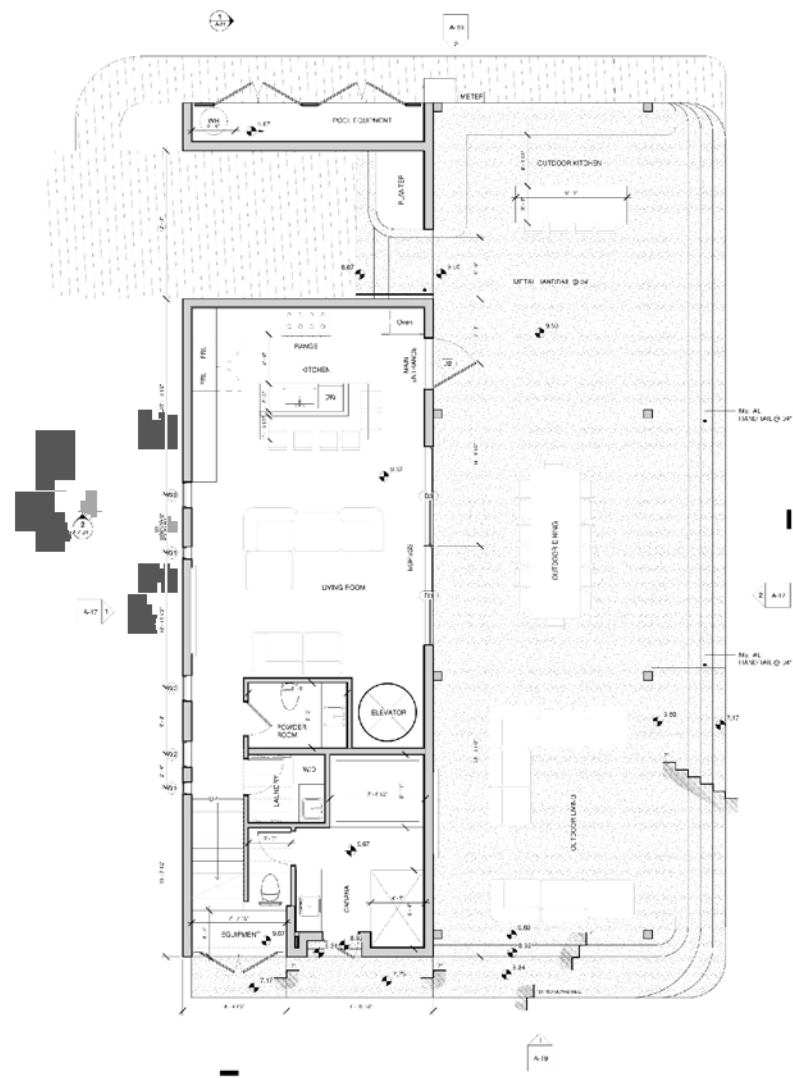
**PROJECT STATUS:**  
 UNDERWAY  
 CHECKED BY: RB  
 REVISIONS:  
 1. 5/18/24  
 2. 5/18/24

**A-11**

*51 - WINDOW SCHEDULE					
MARK	Width	Height	Head Finish	CONSTRUCTION	NO
W1	1'-0"	12'-0"	12'-0"	FIXED WINDOW	FL37319
W2	2'-1"	12'-0"	12'-0"	FIXED WINDOW	FL37319
W3	6'-0"	6'-0"	6'-0"	FIXED WINDOW	FL37319
W5	8'-0"	3'-0"	0'-0"	FIXED WINDOW	FL37319
W6	6'-7"	2'-3"	0'-0"	FIXED WINDOW	FL37319
W7	10'-4"	2'-3"	0'-0"	FIXED WINDOW	FL37319
W8	5'-5"	3'-3"	0'-0"	FIXED WINDOW	FL37319
W9	2'-0"	6'-0"	0'-0"	FIXED WINDOW	FL37319

*51 - DOOR SCHEDULE					
MARK	Width	Height	Description	NO	
D1	6'-0"	8'-0"	SLIDING DOOR (EGRESS)	23-0714.11	
D2	4'-0"	10'-0"	SWING EXTERIOR	H26342-H2	
D3	6'-0"	10'-0"	SLIDING DOOR (EGRESS)	23-0714.11	
D5	2'-0"	8'-0"	SWING INTERIOR		
D9	2'-10"	8'-0"	SWING INTERIOR		
D7	6'-0"	8'-0"	SLIDING INTERIOR		

- NOTES:
1. SPO\* ELEVATIONS ON THIS PLAN ARE TAKEN RELATIVE TO THE 66" FINISH FLOOR.
  2. FINISH ELEVATIONS FOR EACH CASING ARE TAKEN FROM FINISH FACE TO CENTER OF CASING WHEN AVAILABLE.



1 1ST FLOOR PLAN  
1/8" = 1'-0"

REGISTERED PROFESSIONAL ARCHITECT  
STATE OF FLORIDA  
NO. 12345  
BOULTRON BOUNAHRA



BOULTRON BOUNAHRA | architect  
21 NE 2ND STREET #527 MIAMI FL 33137  
BOULTRONBOUNAHRA.COM  
ADDRESS

131 BAL CROSS DRIVE  
131 BAL CROSS DRIVE BAL WOOD FL  
CLIENT NAME: BILLY ZACHRY

PROJECT STATUS:  
UNDERWAY

R/S/24  
CHECKED BY: BB

REVISIONS:  
1. 5/10/24

FIRST FLOOR PLAN

**EMERGENCY OVERFLOW DRAINAGE:**

AREA OF TRAP ONLY: 1.21 SQ FT  
 TOTAL SQM: 83.07 SQM

SCUPPER REQUIRED: 4 03 X 4 X 4"  
 SCUPPER PROVIDED: 4 03 X 4 X 4"

SCUPPER SHALL BE OPENING IN CONCRETE WALL AND FORMED CURBED WALL SCUPPER SHALL BE OPENING IN PLACE.

SCUPPER SHALL BE OPENING IN CONCRETE WALL AND FORMED CURBED WALL SCUPPER SHALL BE OPENING IN PLACE.

SCUPPER SHALL BE OPENING IN CONCRETE WALL AND FORMED CURBED WALL SCUPPER SHALL BE OPENING IN PLACE.

**EMERGENCY OVERFLOW DRAINAGE:**

AREA OF TRAP ONLY: 1.21 SQ FT  
 TOTAL SQM: 83.07 SQM

SCUPPER REQUIRED: 4 03 X 4 X 4"  
 SCUPPER PROVIDED: 4 03 X 4 X 4"

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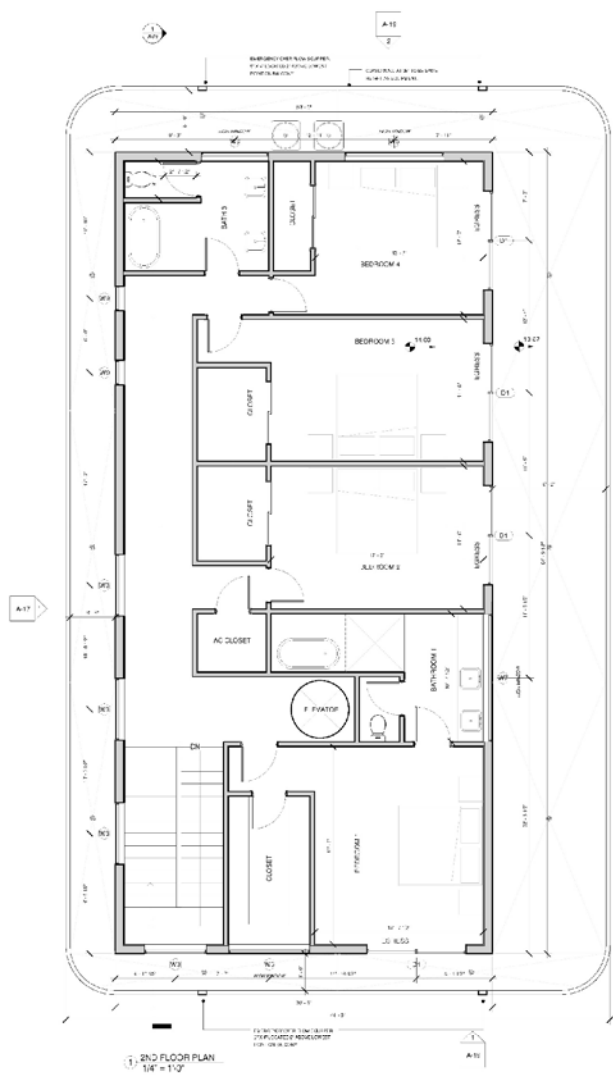
SCUPPER SHALL BE OPENING IN CONCRETE WALL AND FORMED CURBED WALL SCUPPER SHALL BE OPENING IN PLACE.

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SCUPPER SHALL BE OPENING IN CONCRETE WALL AND FORMED CURBED WALL SCUPPER SHALL BE OPENING IN PLACE.



2ND FLOOR PLAN  
 1/4" = 1'-0"

PROJECT STATUS:  
 UNDERWAY  
 R/S/24  
 CHECKED BY: BB  
 REVISIONS:  
 1. 5/10/24  
 SECOND FLOOR PLAN  
**A-13**

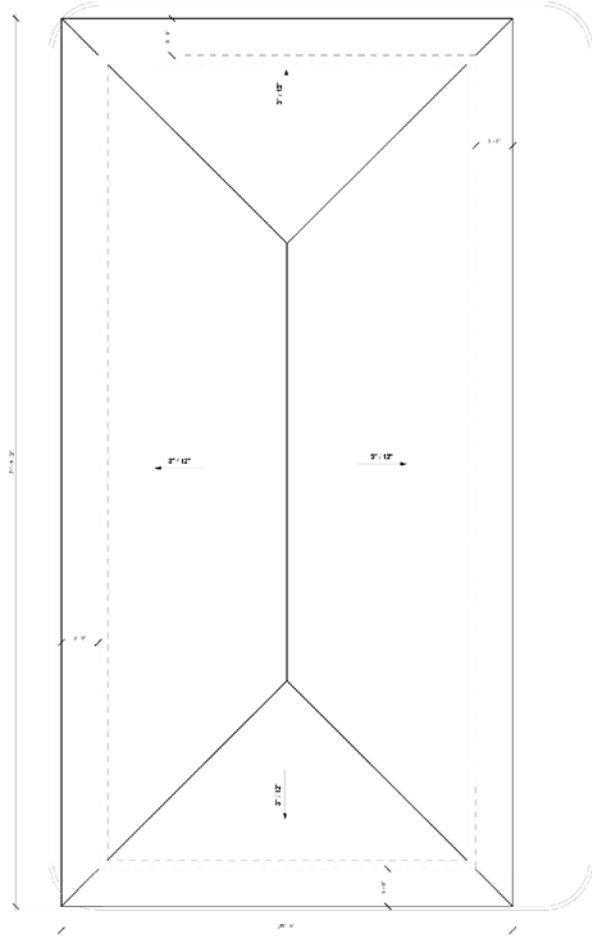
**BOUROS BOUNAHRA** Architect  
 21 NE 2ND STREET #527 MIAMI FL 33137  
 BOUROSBOUNAHRA.COM  
 ARS0825

CLIENT NAME: ELLYN ZACHRY

**131 BAL CROSS DRIVE**  
 131 BAL CROSS DRIVE, BAL WOODS FL

NOTE:

- 1. SEE PLAN FOR COF OVERHANG DIMENSIONS
- 2. MAXIMUM ALLOWED PROJECT ON OF ROOF OVER HANG IS 36"
- 3. MAXIMUM PERMISSIBLE ROOF PROJECT ON IS 36"



ROOF PLAN - PROPOSED  
1/4" = 1'-0"

PROFESSIONAL SEAL  
STATE OF FLORIDA  
REGISTERED PROFESSIONAL ARCHITECT  
NO. 12345  
EXPIRES 12/31/2024



**BOUTROS BOUNAHRA** architect  
21 NE 2ND STREET #527 MIAMI FL 33137  
BOU@BOUTROSBUNAHRA.COM  
BOU@BOUTROSBUNAHRA.COM  
AR58983

**131 BAL CROSS DRIVE**

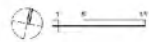
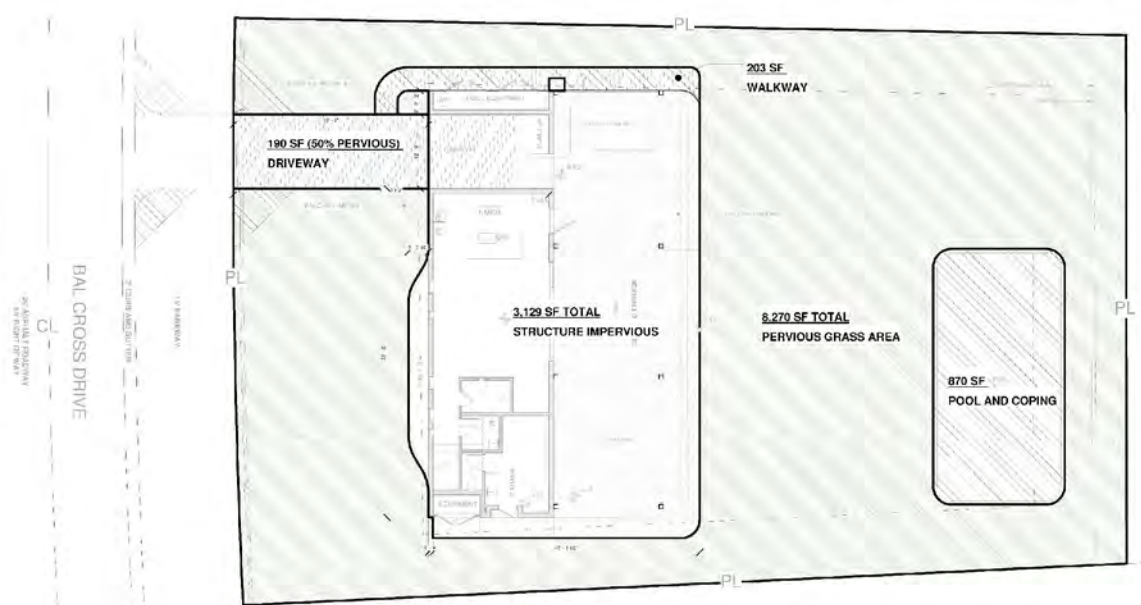
131 BAL CROSS DRIVE, BAL WOODS FL  
CLIENT NAME: BILLY ZACHRY

PROJECT STATUS:  
UNDERWAY

8/5/24  
CHECKED BY: BB

REVISIONS:  
^

ROOF PLAN



1 SITE PLAN - PROPOSED Copy 1  
1" = 1'-0"

**DETAILED LOT COVERAGE CALCULATIONS:**

LOT COVERAGE:	REQ.	PROVIDED
IMPERVIOUS (STRUCTURE):	40% max	3,469 SF (26.3%)
IMPERVIOUS (HARDSCAPE):	10% max	1,263 SF (9.7%)
POOL / COPING	870 SQF	
DRIVEWAY	190 SQF	
WALKWAY	203 SQF	
<b>TOTAL IMPERVIOUS</b>	<b>50% total max</b>	<b>4,723 SF (36.3%)</b>
PERVIOUS (SOFTSCAPE):	50% min	8,270 SF (63.7%)

**PROJECT ZONING DATA:**

GENERAL INFO  
 ADDRESS: 131 BAL CROSS DR.  
 ZONING DISTRICT: R-2 SINGLE FAMILY  
 LOT WIDTH: 90.00'  
 LOT DEPTH: 143.5'  
 LOT AREA: 12,963 SF / 0.29 ACRE (SEE SURVEY)  
 FLOOD ZONE: A1 (RA5B - 1.000 MSLV S)  
 DESIGN FLOOD ELEVATION: 9.4 (DFE +1.4)

**PROPOSED FLOOR AREA**

LEVEL 1 (UNDER AIR):	1,017 SF
LEVEL 2 (UNDER AIR):	2,095 SF
CARPORT:	243 SF
COVERED TERRACE:	1,564 SF

TOTAL AREA: 4,899 SF  
 TOTAL LIVING AREA: 3,952 SF (UNDER AIR)

LOT COVERAGE:	REQ.	PROVIDED
IMPERVIOUS (STRUCTURE):	40% max	3,469 SF (26.3%)
IMPERVIOUS (HARDSCAPE):	10% max	1,263 SF (9.7%)
	50% total max	4,723 SF (37%)
PERVIOUS (SOFTSCAPE):	50% min	8,270 SF (63.7%)

**LOT LIMITATIONS:**

REQ.	PROVIDED
FRONT SETBACK:	31' 6" (SFF PI AN)
REAR SETBACK:	77'-10" (SFF PI AN)
SIDE SETBACK NORTH:	16'-0" (SEE SECTION)
SIDE SETBACK SOUTH:	16'-0" (SEE SECTION)
POOL SETBACK:	10' REAR & SIDE
FFE:	SITE +1 (S.67' NGVD) 9.57' NGVD
BUILDING HEIGHT:	30'-7"



**BOUTROS BOUNINARA** *architect*  
 21 NE 2ND STREET #527 MIAMI FL 33137  
 BOUTROSBOUNINARA.COM  
 ADDRESS

**131 BAL CROSS DRIVE**  
 131 BAL CROSS DRIVE, BAL W/TCOUT FL  
 CLIENT NAME: BISHA ZACHMAN

**PROJECT STATUS:**  
 DRAFTING  
 R/S/24  
 CHECKED BY: BB  
 REVISIONS:  
 1 / 01/24  
 ZONING LOT COVERAGE

**A-15**



**PROJECT ZONING DATA**

**GENERAL INFO**

ADDRESS: 151 BAL CROSS CT.  
 ZONING DISTRICT: R-2 SINGLE FAMILY  
 LOT WIDTH: 90.20'  
 LOT DEPTH: 143.5'  
 LOT AREA: 12,993 SF / 0.29 ACRE (SEE SURVEY)  
 FLOOD ZONE: AE (BASE) FLOOD (ELEV: 17)  
 DESIGN FLOOD ELEVATION: 24.4 (CFE +1.4)

**PROPOSED FLOOR AREA**

LEVEL 1 (UNDER AIR): 1,047 SF  
 LEVEL 2 (UNDER AIR): 2,005 SF  
 CARPORT: 243 SF  
 COVERED TERRACE: 1,594 SF

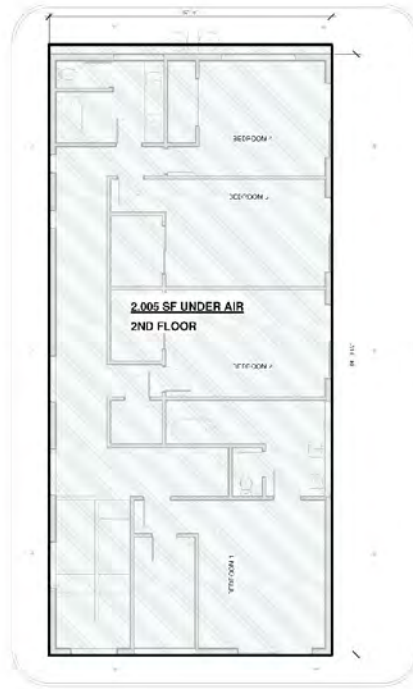
TOTAL AREA: 4,899 SF  
 TOTAL LIVING AREA: 3,092 SF (UNDER AIR)

**LOT COVERAGE:**

	REQ.	PROVIDED
IMPERVIOUS (STRUCTURE):	40% max	3,490 SF (68.3%)
IMPERVIOUS (HARDSCAPE):	10% max	1,262 SF (9.7%)
	50% MAX MAX	4,752 SF (37%)
PERVIOUS (SOFTSCAPE):	50% min	8,270 SF (63.7%)

**LOT LIMITATIONS:**

	REQ.	PROVIDED
FRONT SETBACK:	30'	31' - 0" (SEE PLAN)
REAR SETBACK:	15'	72' - 10.2" (SEE PLAN)
SIDE SETBACK NORTH:	10'	10' - 0" (SEE SEC. 106)
SIDE SETBACK SOUTH:	10'	10' - 0" (SEE SECTION)
POOL SETBACK:	10' REAR & SIDE	10' - 0" (SEE PLAN)
FFR:	100' ± 1 (9.67' X 10.5')	9.67' (NORTH)
BUILDING HEIGHT:	30'	28' - 7"



2) 2ND FLOOR PLAN AREA  
 3/16" = 1'-0"



1) 1ST FLOOR PLAN AREA  
 1/4" = 1'-0"

STATE OF FLORIDA  
 BOARD OF PROFESSIONAL ENGINEERS  
 REGISTERED PROFESSIONAL ENGINEER  
 NO. 12345  
 EXPIRES 12/31/2024



**BOUROS BOUNAHRA** architect  
 21 NE 2ND STREET #527 MIAMI FL 33137  
 BOUROSBOUNAHRA.COM  
 ABB6838

**131 BAL CROSS DRIVE**

131 BAL CROSS DRIVE BAL WOODS FL  
 CLIENT NAME: ELLYN ZACHRY

**PROJECT STATUS:**

ARCHITECT

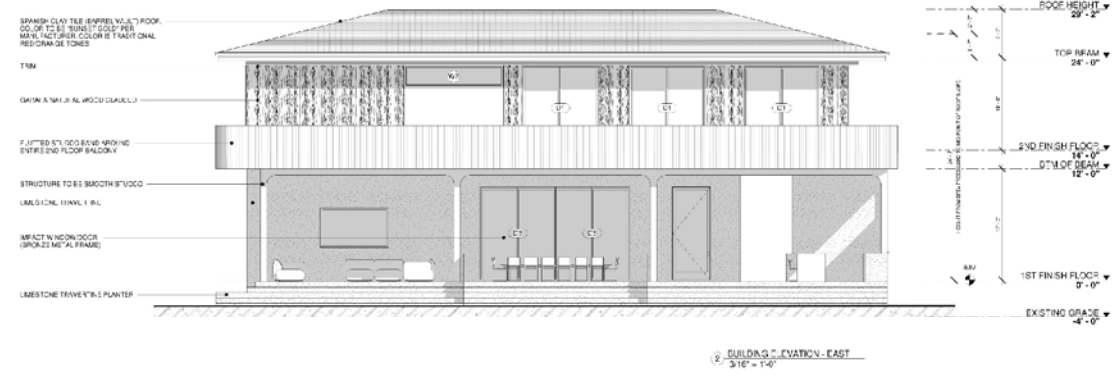
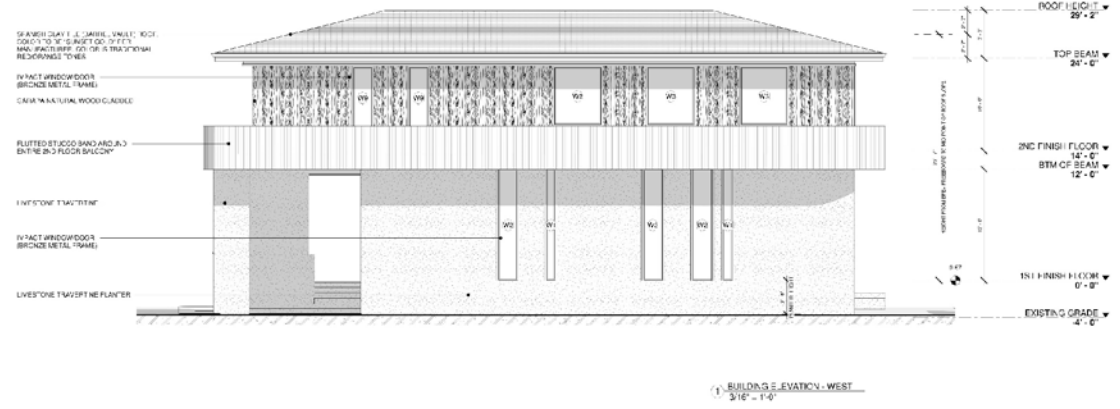
8/5/24

CHECKED BY: BB

**REVISIONS:**

1: 5/10/24

ZONING AREA



ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS OF THE STATE OF FLORIDA AND ANY LOCAL ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE OBTAINING OF PERMITS OR APPROVALS.



BOULTRUS BOUNAHARA Architect

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BOULTRUSBOUNAHARA.COM  
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AR000028

**131 BAL CROSS DRIVE**

PROJECT STATUS:  
ARCHITECT

R/S/24  
CHECKED BY: BB

REVISIONS:  
1. 5/10/24

CLIENT NAME: BILLY ZACHRY



SPANISH CLAY TILE (SPANISH VAULTED ROOF)  
 COLOR TO BE SUGGESTED BY THE  
 MANUFACTURER (COLOR & TRADITIONAL  
 INLAND SWISS TONES)

IMPACT WINDOWS (DOOR)  
 SPANISH METAL FRAME

GARAPA NATURAL WOOD CLADDED

FLUTED STUCCO BALCONY AND  
 ENTIRE 2ND FLOOR BALCONY

LIMESTONE TRAVERTINE

IMPACT WINDOWS (DOOR)  
 SPANISH METAL FRAME

LIMESTONE TRAVERTINE PLASTER

ROOF HEIGHT 29'-2"

TOP BEAM 24'-0"

2ND FINISH FLOOR 14'-0"

BTM OF BEAM 12'-0"

1ST FINISH FLOOR 0'-0"

EXISTING GRADE -4'-0"

1 BUILDING ELEVATION - WEST  
 3/16" = 1'-0"



SPANISH CLAY TILE (SPANISH VAULTED ROOF)  
 COLOR TO BE SUGGESTED BY THE  
 MANUFACTURER (COLOR & TRADITIONAL  
 INLAND SWISS TONES)

TIN

GARAPA NATURAL WOOD CLADDED

FLUTED STUCCO BALCONY AND  
 ENTIRE 2ND FLOOR BALCONY

SPANISH METAL FRAME (DOOR)

LIMESTONE TRAVERTINE

IMPACT WINDOWS (DOOR)  
 SPANISH METAL FRAME

LIMESTONE TRAVERTINE PLASTER

ROOF HEIGHT 29'-2"

TOP BEAM 24'-0"

2ND FINISH FLOOR 14'-0"

BTM OF BEAM 12'-0"

1ST FINISH FLOOR 0'-0"

EXISTING GRADE -4'-0"

2 BUILDING ELEVATION - EAST  
 3/16" = 1'-0"

PROFESSIONAL SEAL  
 ARCHITECTURE



BOITROS BOUNAHRA  
 architect  
 21 NE 2ND STREET #527 MIAMI FL 33137  
 BOITROSBOUNAHRA.COM  
 ARCHITECT

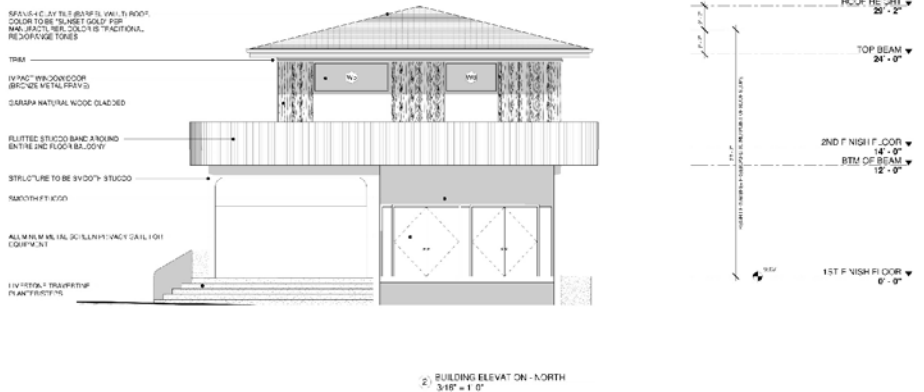
131 BAL CROSS DRIVE  
 131 3A CT 030 319C DAL WTCOUT FL  
 CLIENT NAME: BILLY ZACHRY

PROJECT STATUS:  
 ARCHITECT

8/5/24  
 CHECKED BY: BH

REVISIONS:  
 1 9/10/24

PLANNING ELEVATION



ARCHITECT'S SEAL  
 STATE OF FLORIDA  
 PROFESSIONAL SEAL



BOUTROS BOUNAHRA  
 21 NE 2ND STREET #527 MIAMI, FL 33137  
 BOUTROSBOUNAHRA.COM  
 AR08983

131 BAL CROSS DRIVE  
 101 3A, C/O BOB TRUC BAL WOODS FL  
 CLIENT NAME: ELIYAN ZACHARIAN

PROJECT STATUS:  
 ARCHITECT  
 8/5/24  
 CHECKED BY: BB  
 REVISIONS:  
 1. 5/10/24

BUILDING ELEVATION



1. BUILDING ELEVATION - SOUTH  
3/18" = 1'-0"



2. BUILDING ELEVATION - NORTH  
3/18" = 1'-0"

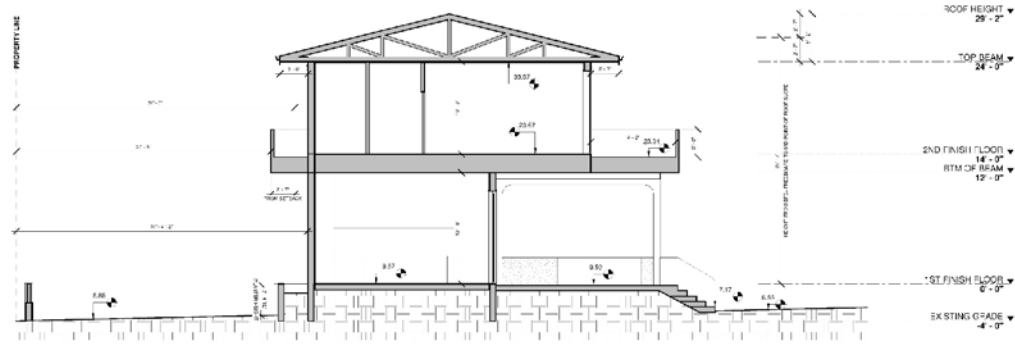


**BOUTROS BOUNAHRA** *architect*  
 21 NE 2ND STREET #527 MIAMI FL 33137  
 BOUTROSBOUNAHRA.COM  
 ADDRESS

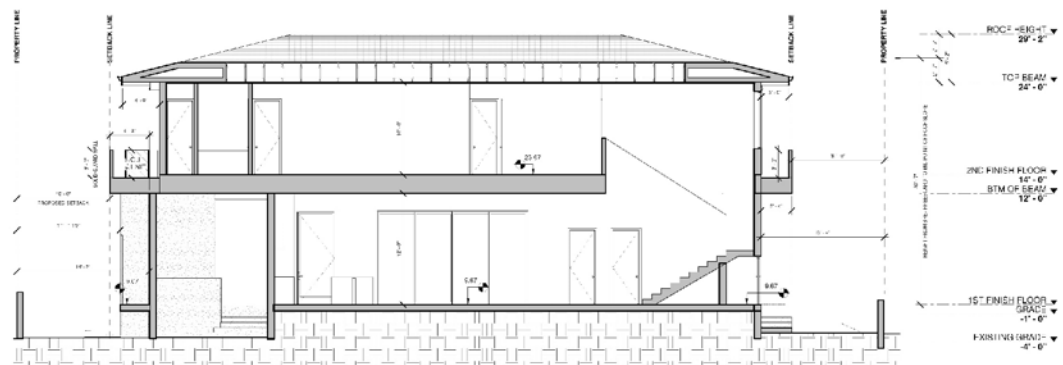
**131 BAL CROSS DRIVE**  
 131 BAL CROSS DRIVE, BAL WOODS FL  
 CLIENT NAME: ELSA JACHEN

PROJECT STATUS:  
 UNDERWAY  
 8/5/24  
 CHECKED BY: BH  
 REVISIONS:  
 1. 8/10/24

PLAN AND ELEVATION



2. BUILDING SECTION 1  
3/15" = 1'-0"



1. BUILDING SECTION 2  
3/15" = 1'-0"

PROFESSIONAL SEAL  
STATE OF FLORIDA  
REGISTERED PROFESSIONAL ARCHITECT  
NO. 12345  
DATE: 10/20/2024



BOUTROS BOUNAHRA | architect  
21 NE 2ND STREET #527 MIAMI FL 33137  
BOU@BOUTROSBNAHRA.COM  
BOU@BOUTROSBNAHRA.COM  
AR58835

131 BAL CROSS DRIVE  
131 BAL CROSS DRIVE BAL WOOD FL  
CLIENT NAME: ELIYAN ZACHARIAN

PROJECT STATUS:  
UNDERWAY

8/5/24  
CHECKED BY: BB

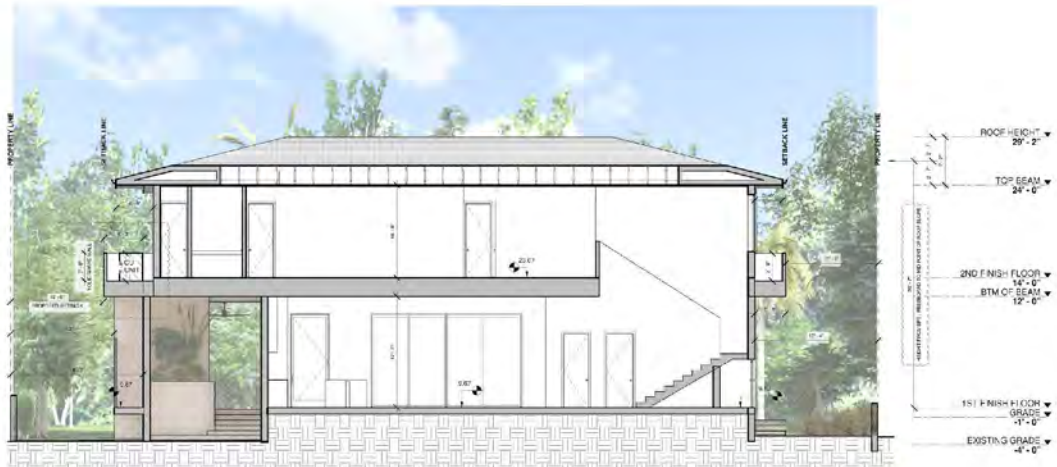
REVISIONS:  
1. 9/10/24

BUILDING SECTION

A-21



2 BUILDING SECTION 1  
3'10" x 1'-0"



1 BUILDING SECTION 2  
3'10" x 1'-0"

STATE OF FLORIDA  
REGISTERED PROFESSIONAL ARCHITECT  
NO. 12457  
BOULTRUS BOUINAHARA  
131 BAL CROSS DRIVE  
DALE WOODS, FL 33137  
BOULTRUSBOUINAHARA.COM  
ADDRESS



BOULTRUS BOUINAHARA | architect  
21 NE 2ND STREET #527 MIAMI, FL 33137  
BOULTRUSBOUINAHARA.COM  
ADDRESS

131 BAL CROSS DRIVE

131 BAL CROSS DRIVE, DALE WOODS, FL  
CLIENT NAME: BILLY JAMES WALKER

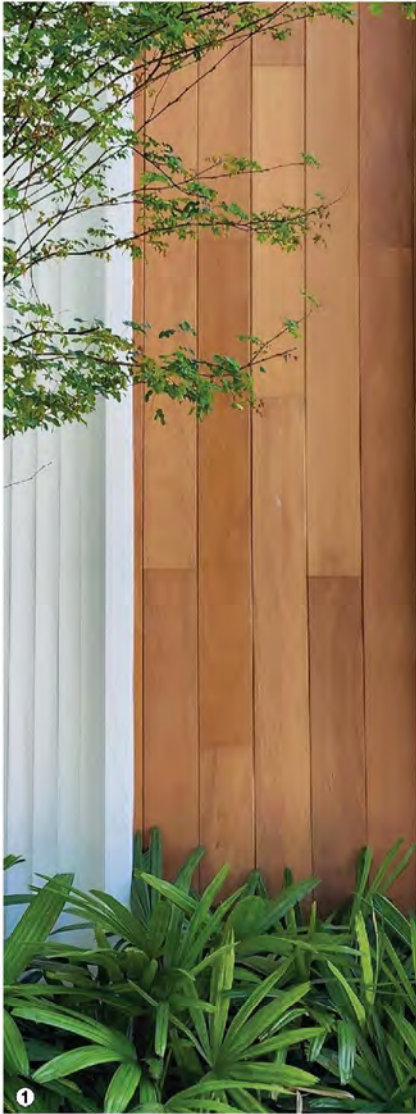
PROJECT STATUS:  
ARCHITECT

10/03/24  
CHECKED BY: BB

REVISIONS:  
1 10/03/24

PREFERRED SECTION

A-21.1



1



2



3



4



5



6

- ① **BRAZILIAN GARAPA**  
EXTERIOR GRAPE AND LIGHT/MEDIUM BROWN IN COLOR
- ② **FLUTTED STUCCO**  
COLOR TO BE PURE WHITE SW 7006
- ③ **SMOOTH STUCCO**  
COLOR TO BE ALABASTER SW 7006
- ④ **TURFBLOCK**  
TO BE INSTALLED IN A RECTILINEAR GRID NOT 45 DEGREE
- ⑤ **SPANISH BARREL VAULT TILE**  
COLOR TO BE "SUNSET GOLD" PER MANUFACTURER  
COLOR IS TRADITIONAL RED/ORANGE TONES
- ⑥ **TRAVERTINE LIMESTONE**  
FINISH AND GRADE FOR EXTERIOR AREAS



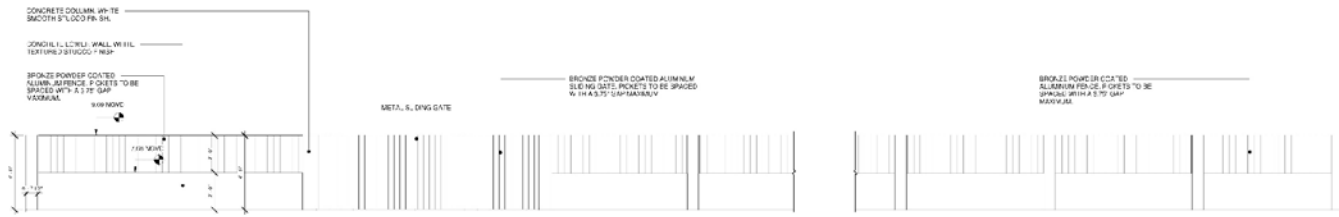
**BOUTROS BOUNAHRA** architect  
 21 NE 2ND STREET #527 MIAMI FL 33137  
 BOUTROSBOUNAHRA.COM  
 A988983

**131 BAL CROSS DRIVE**  
 131 BAL CROSS DRIVE BAL WOODS FL  
 CLIENT NAME: BILLY JAMISON

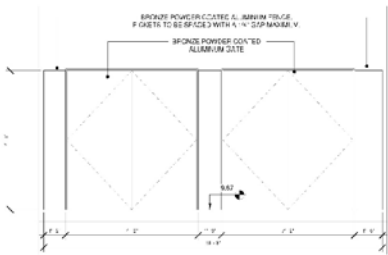
**PROJECT STATUS:**  
 UNDERWAY  
 10/23/24  
**CHECKED BY:** BB  
**REVISIONS:**  
 1: 9/10/24

MATERIAL BOARD  
**A-22**

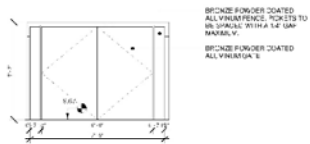




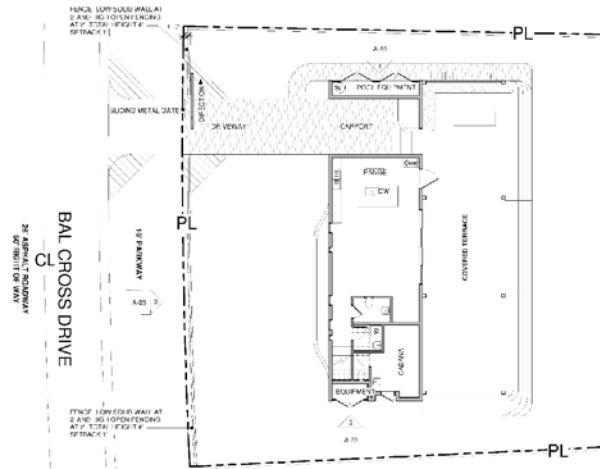
3. SITE DETAIL - MAIN FENCE PICKET  
36" = 1'-0"



2. SITE DETAIL - NORTH ENCLOSURE  
36" = 1'-0"



3. SITE DETAIL - SOUTH ENCLOSURE  
36" = 1'-0"



4. REVISION - SITE DETAILS  
3/22/24 = 1'-0"

STATE OF FLORIDA  
DEPARTMENT OF TRANSPORTATION  
FLORIDA TURNPIKE AUTHORITY  
ADDRESS: 6850 W. BOULEVARD, SUITE 200, MIAMI, FL 33147  
PHONE: (305) 536-6000  
WWW.FLORIDATRAFFIC.COM



**BOULDER BOUNDARY** *architect*  
21 NE 2ND STREET #527 MIAMI, FL 33137  
BOULDERBOUNDARY.COM  
ADDRESS

**131 BAL CROSS DRIVE**

PROJECT STATUS:  
UNDERWAY  
R/S/24  
CHECKED BY: BB  
REVISIONS:  
1. 5/10/24  
R/S/24



THIS DOCUMENT IS THE PROPERTY OF BOUTROS BOUNAHRA ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF BOUTROS BOUNAHRA ARCHITECTS IS STRICTLY PROHIBITED. THE USER OF THIS DOCUMENT AGREES TO HOLD BOUTROS BOUNAHRA ARCHITECTS HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST BOUTROS BOUNAHRA ARCHITECTS AS A RESULT OF SUCH REUSE OR MODIFICATION.

ARCHITECT OF RECORD (SEAL):



**BOUTROS BOUNAHRA** | architect  
 21 NE 2ND STREET #527 MIAMI FL 33137  
 INFO@BOUTROSBNAHRA.COM  
 BOUTROSBNAHRA.COM  
 4088928

**131 BAL CROSS DRIVE**

131 BAL CROSS DRIVE, BAL WOODS FL  
 CLIENT NAME: EILEEN ZACHRY

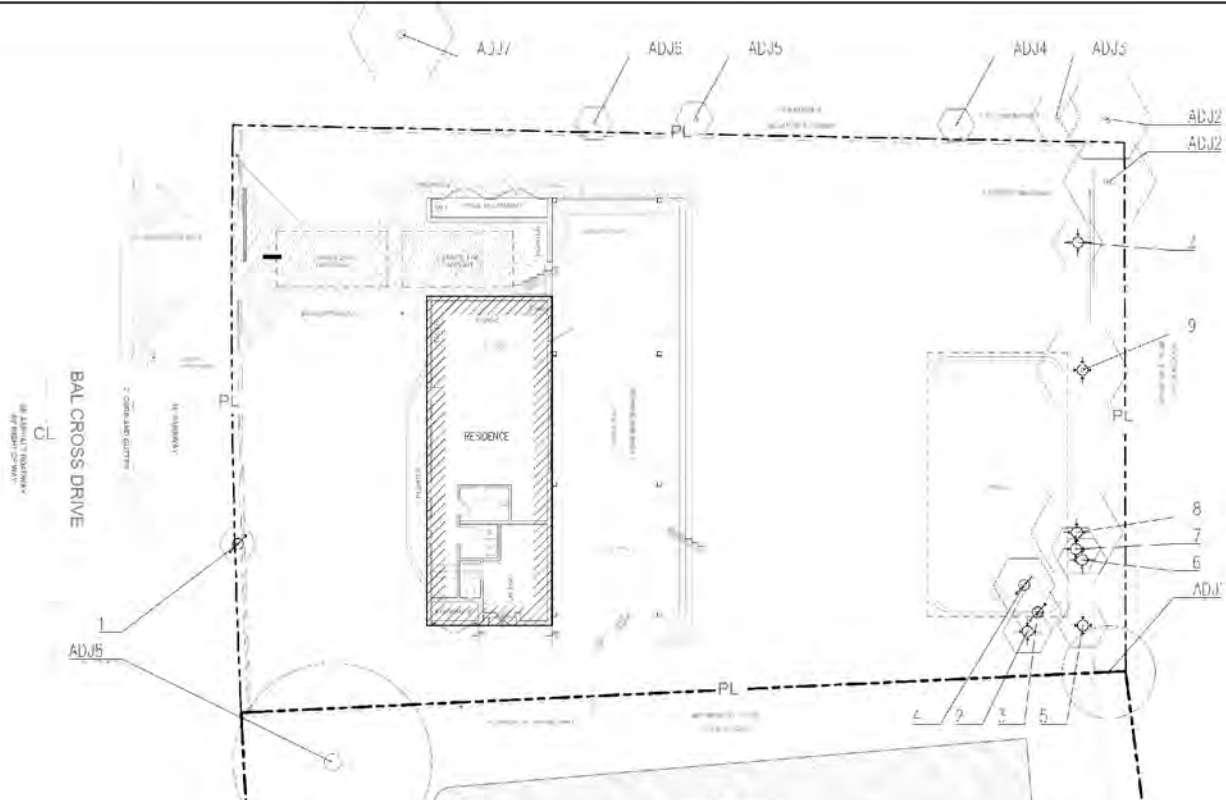
PROJECT STATUS:  
 100% PERMIT

3/5/24  
 CHECKED BY: BH

REVISIONS:

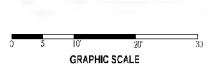
1

RENDER NO:



**EXISTING TREES & PALMS**

Number	Common Name	Botanical Name	Height (ft)	DBH (")	Number of Items	Species (1)	canopy (sq ft)	Category	Condition	Disposition	Mitigation
<b>TREES</b>											
1	Fraxino sp. palm	Fraxino sp. palm	12	7	1	4	14	Fraxino tree	Fair	To relocate	
2	Acia sp. palm	Acia sp. palm	20	4.4	1	3	30	Fraxino tree	Fair	To retain	
3	Acia sp. palm	Acia sp. palm	20	4.4	1	3	30	Fraxino tree	Fair	To relocate	
4	Fraxino sp. palm	Fraxino sp. palm	10	10	1	11	38	Fraxino tree	Fair	To relocate	
5	Fraxino sp. palm	Fraxino sp. palm	20	7	1	3	20	Fraxino tree	Good	To retain	
6	Fraxino sp. palm	Fraxino sp. palm	20	7	1	3	20	Fraxino tree	Good	To retain	
7	Fraxino sp. palm	Fraxino sp. palm	20	7	1	3	20	Fraxino tree	Good	To retain	
8	Fraxino sp. palm	Fraxino sp. palm	20	7	1	3	20	Fraxino tree	Good	To retain	
9	Fraxino sp. palm	Fraxino sp. palm	20	7	1	3	20	Fraxino tree	Good	To retain	
ADJ1	Fraxino sp. palm	Fraxino sp. palm	20	7	1	3	20	Fraxino tree	Good	To retain	
ADJ2	Fraxino sp. palm	Fraxino sp. palm	20	7	1	3	20	Fraxino tree	Good	To retain	
ADJ3	Fraxino sp. palm	Fraxino sp. palm	20	7	1	3	20	Fraxino tree	Good	To retain	
ADJ4	Fraxino sp. palm	Fraxino sp. palm	20	7	1	3	20	Fraxino tree	Good	To retain	
ADJ5	Fraxino sp. palm	Fraxino sp. palm	20	7	1	3	20	Fraxino tree	Good	To retain	
ADJ6	Fraxino sp. palm	Fraxino sp. palm	20	7	1	3	20	Fraxino tree	Good	To retain	



**PARAMERIA LAND & DESIGN**  
 Geospatial Information  
 Volcano Office - 16652740

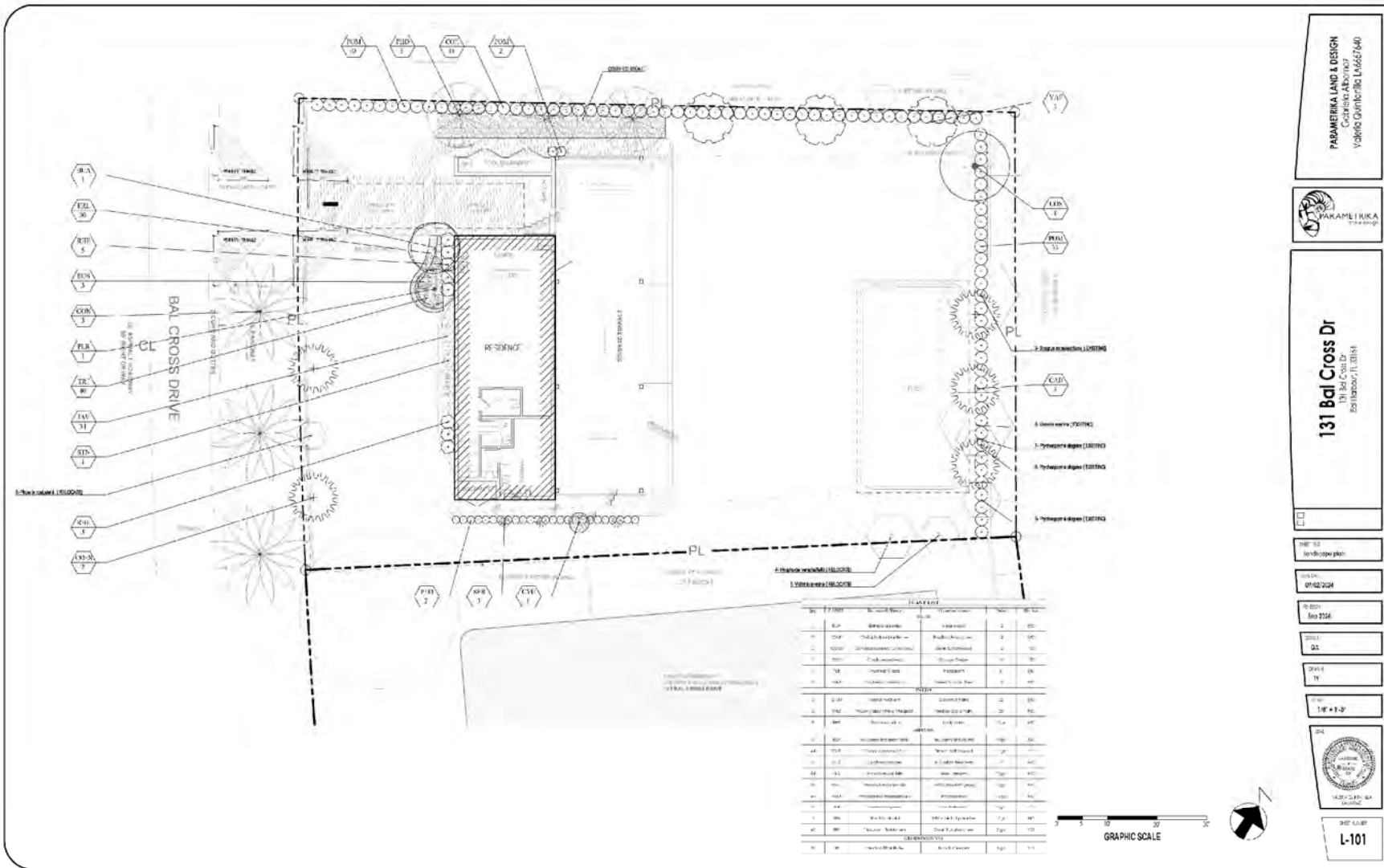


**131 Bal Cross Dr**  
 (31) Bal Cross Dr  
 Bal Harbor, HI 96119

DATE: 08/02/2024  
 SHEET: 100-204  
 SCALE: 1/8" = 1'-0"



L-100



NO.	PLANTING	QUANTITY	UNIT	PRICE	TOTAL
01	PLANTING	1	EA	100	100
02	PLANTING	2	EA	150	300
03	PLANTING	3	EA	200	600
04	PLANTING	4	EA	250	1000
05	PLANTING	5	EA	300	1500
06	PLANTING	6	EA	350	2100
07	PLANTING	7	EA	400	2800
08	PLANTING	8	EA	450	3600
09	PLANTING	9	EA	500	4500
10	PLANTING	10	EA	550	5500
11	PLANTING	11	EA	600	6600
12	PLANTING	12	EA	650	7800
13	PLANTING	13	EA	700	9100
14	PLANTING	14	EA	750	10500
15	PLANTING	15	EA	800	12000
16	PLANTING	16	EA	850	13600
17	PLANTING	17	EA	900	15300
18	PLANTING	18	EA	950	17100
19	PLANTING	19	EA	1000	19000
20	PLANTING	20	EA	1050	21000
21	PLANTING	21	EA	1100	23100
22	PLANTING	22	EA	1150	25300
23	PLANTING	23	EA	1200	27600
24	PLANTING	24	EA	1250	30000
25	PLANTING	25	EA	1300	32500
26	PLANTING	26	EA	1350	35100
27	PLANTING	27	EA	1400	37800
28	PLANTING	28	EA	1450	40600
29	PLANTING	29	EA	1500	43500
30	PLANTING	30	EA	1550	46500
31	PLANTING	31	EA	1600	49600
32	PLANTING	32	EA	1650	52800
33	PLANTING	33	EA	1700	56100
34	PLANTING	34	EA	1750	59500
35	PLANTING	35	EA	1800	63000
36	PLANTING	36	EA	1850	66600
37	PLANTING	37	EA	1900	70300
38	PLANTING	38	EA	1950	74100
39	PLANTING	39	EA	2000	78000
40	PLANTING	40	EA	2050	82000
41	PLANTING	41	EA	2100	86100
42	PLANTING	42	EA	2150	90300
43	PLANTING	43	EA	2200	94600
44	PLANTING	44	EA	2250	99000
45	PLANTING	45	EA	2300	103500
46	PLANTING	46	EA	2350	108100
47	PLANTING	47	EA	2400	112800
48	PLANTING	48	EA	2450	117600
49	PLANTING	49	EA	2500	122500
50	PLANTING	50	EA	2550	127500

PANAMERIKA LAND & DESIGN  
 Cosentino Abreu  
 Valdele Quiñones L. 6662740

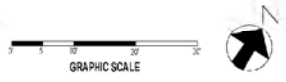


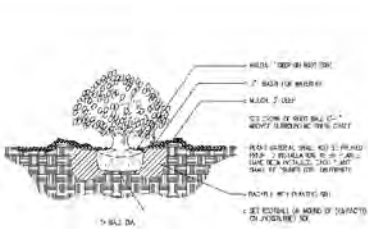
**131 Bal Cross Dr**  
 131 Bal Cross Dr  
 Baltimore, MD 21218

SHEET NO.  
 07/02/2024  
 SHEET NO. 2354  
 DATE  
 11/11/24  
 SCALE  
 1/8" = 1'-0"

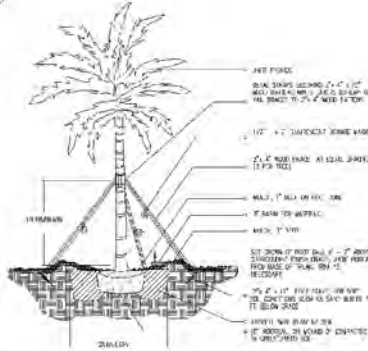


SHEET NO. 1-101

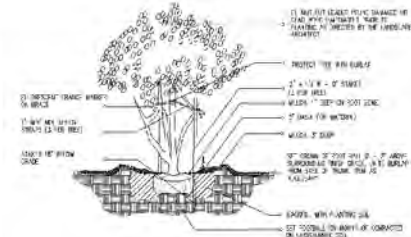




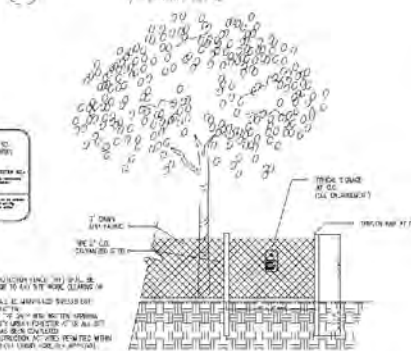
(1-1) 3' x 3' / PLANTING DETAIL



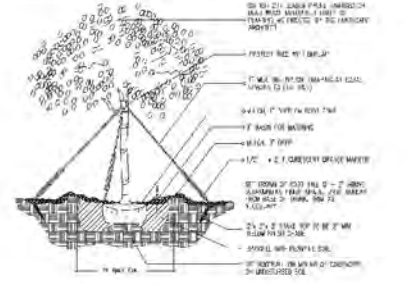
(1-1) LARGE PALM / PLANTING DETAIL



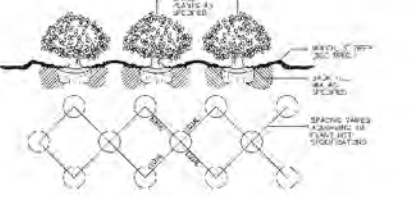
(2) MULTI-TRUNK AND SMALL TREE (7' and over) / PLANTING DETAIL



(1-5) 4' CHAIN LINK TREE PROTECTION FENCE BARRICADE FENCING DETAIL



(1-4) 12' tall tree / PLANTING DETAIL



(1-6) 5' ROUNDCOVER SPACING PLANTING DETAIL

SYMBOL	DESCRIPTION	QTY	UNIT	PRICE
1	1' x 1' x 1' concrete curb	100	sq ft	10.00
2	2' x 2' x 2' concrete curb	100	sq ft	10.00
3	3' x 3' x 3' concrete curb	100	sq ft	10.00
4	4' x 4' x 4' concrete curb	100	sq ft	10.00
5	5' x 5' x 5' concrete curb	100	sq ft	10.00
6	6' x 6' x 6' concrete curb	100	sq ft	10.00
7	7' x 7' x 7' concrete curb	100	sq ft	10.00
8	8' x 8' x 8' concrete curb	100	sq ft	10.00
9	9' x 9' x 9' concrete curb	100	sq ft	10.00
10	10' x 10' x 10' concrete curb	100	sq ft	10.00

**NOTES:**  
 1. All work shall be done in accordance with the City of Chicago specifications for landscape construction.  
 2. All materials used shall be of the highest quality and approved by the City of Chicago.  
 3. All work shall be completed within the specified time frame.  
 4. The contractor shall be responsible for obtaining all necessary permits and approvals.  
 5. The contractor shall provide a detailed schedule of work to the City of Chicago.  
 6. The contractor shall maintain access to all utilities at all times.  
 7. The contractor shall be responsible for the safety of all workers and the public.  
 8. The contractor shall be responsible for the removal and disposal of all debris.  
 9. The contractor shall be responsible for the protection of all existing trees and structures.  
 10. The contractor shall be responsible for the installation and maintenance of all irrigation systems.  
 11. The contractor shall be responsible for the watering and maintenance of all plants and trees.  
 12. The contractor shall be responsible for the overall appearance and maintenance of the landscape.  
 13. The contractor shall be responsible for the completion and final inspection of all work.

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**PARABERIA LAND & DESIGN**  
 COUNCIL ARCHITECTS  
 10800 QUINCY AVENUE SUITE 100



**131 Bal Cross Dr**  
 131 BAL CROSS DR  
 131 BAL CROSS DR

PROJECT NO.: 131 BAL CROSS DR  
 DATE: 08/02/2024  
 SHEET NO.: 355-204  
 SCALE: 1/4" = 1'-0"



SHEET NO.: 355-204  
 L-102



Bulnesia arborea



Collophylum brasiliense



Conocarpus erectus 'sericeus'



Cordia sebestena



Plumeria Rubra



Vochellia famesiana



Cocos nucifera



Phoenix dactylifera 'Medjool'



Rhaps excelsa



Bougainvillea spectabilis



Conocarpus erectus



Cyathea cooperi



Jasminum volubile



Pennisetum orientale



Podocarpus macrophyllus



Serenoa repens



Streitzia nicolai



Tripsacum floridanum



Ernodea littoralis Sw.

PANAMERIKA LAND & DESIGN  
Cezayirli Abonmet  
Vogelia Oviticirila L.6667140



131 Bal Cross Dr  
131 Bal Cross Dr  
Bal Harbour, FL 33134

PROJECT

Project materials

ISSUE DATE

08/02/2024

REVISED

2024-2024

SCALE

DATE

SCALE

SCALE

SCALE

SCALE

SCALE

SCALE

SCALE

SCALE

SCALE

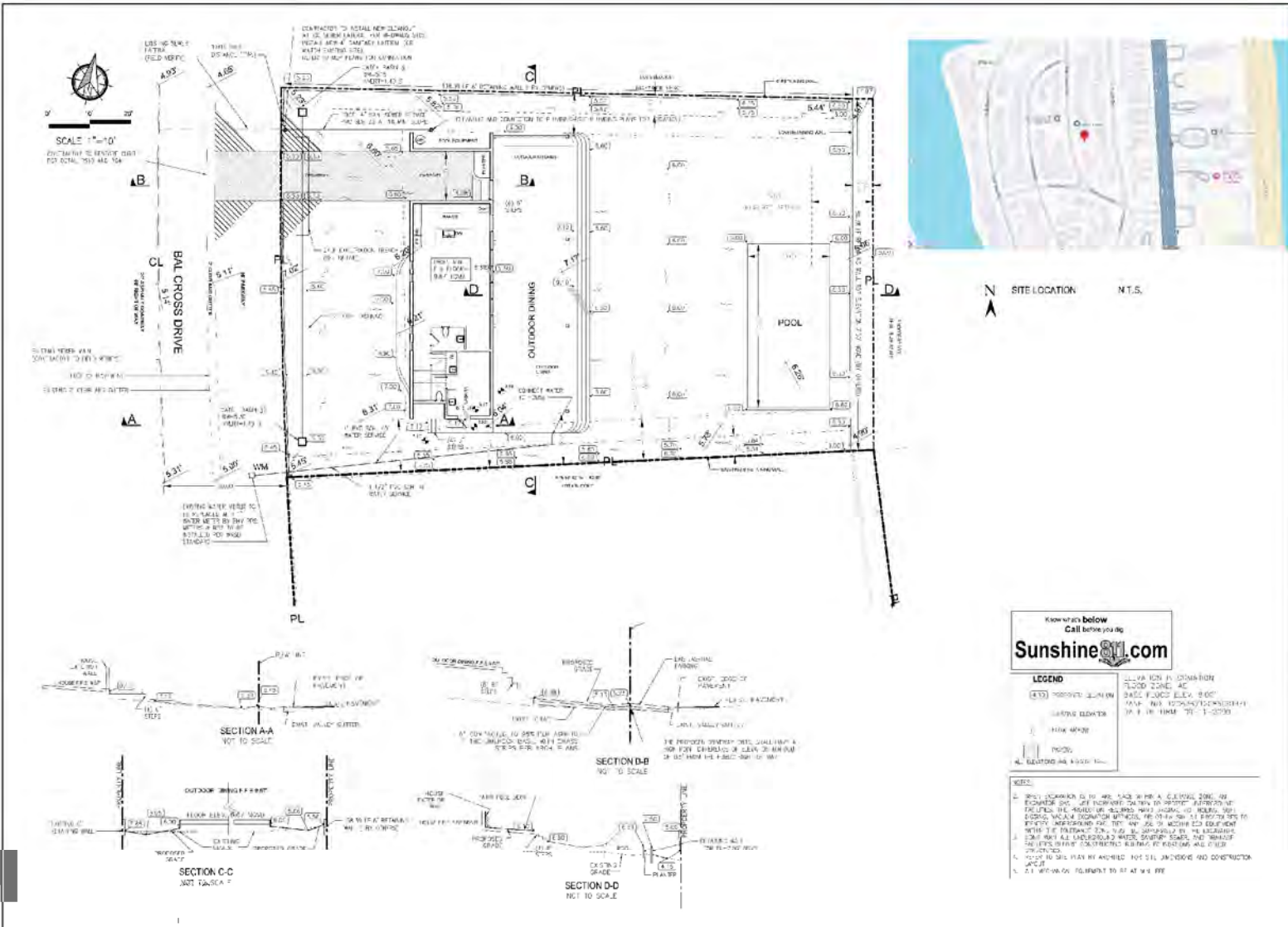
SCALE

SCALE

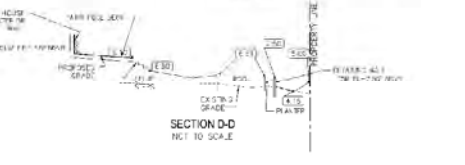
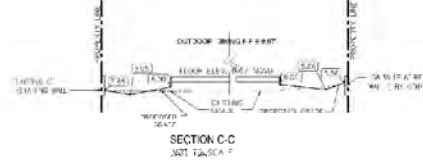
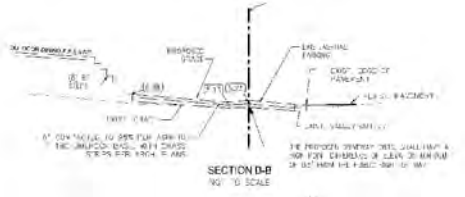
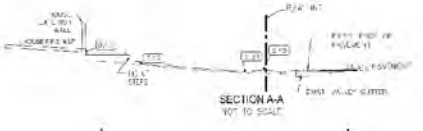
SCALE

SCALE

SCALE



N  
SITE LOCATION  
N.T.S.



Know what's below  
Call before you dig  
**Sunshine**  
.com

**LEGEND**

(E) EXISTING ELEVATION	PROPOSED ELEVATION
(E) EXISTING ELEVATION	PROPOSED ELEVATION
(E) EXISTING ELEVATION	PROPOSED ELEVATION

- NOTES:**
1. SEE PLAN FOR ALL DIMENSIONS AND NOTES.
  2. ALL DIMENSIONS ARE TO CENTER UNLESS NOTED OTHERWISE.
  3. ALL DIMENSIONS ARE TO CENTER UNLESS NOTED OTHERWISE.
  4. ALL DIMENSIONS ARE TO CENTER UNLESS NOTED OTHERWISE.
  5. ALL DIMENSIONS ARE TO CENTER UNLESS NOTED OTHERWISE.

**Florida Consulting Engineers, Inc.**



OFFICE: 1000 N. W. 10TH ST.  
SUITE 1000  
MIAMI, FL 33136  
TEL: (305) 351-1111  
FAX: (305) 351-1111  
WWW.FCEI.COM

DATE	1/15/2014



This Seal was issued to the holder hereof by the State of Florida on 01/15/2014. It is valid until 01/15/2018. The holder of this Seal must maintain the required continuing education credits to remain in good standing. The holder of this Seal must also maintain the required insurance coverage. The holder of this Seal must also maintain the required fees. The holder of this Seal must also maintain the required information. The holder of this Seal must also maintain the required records. The holder of this Seal must also maintain the required documents. The holder of this Seal must also maintain the required files. The holder of this Seal must also maintain the required data. The holder of this Seal must also maintain the required information. The holder of this Seal must also maintain the required records. The holder of this Seal must also maintain the required documents. The holder of this Seal must also maintain the required files. The holder of this Seal must also maintain the required data.

DATE	01/15/2014

13. B4. CROSS SECTION A-A TO SECTION C-C

**GRADING, PAVING AND DRAINAGE PLAN AND SECTIONS**

Sheet No. **C-1**  
OF 4



REGISTERED PROFESSIONAL ENGINEERS  
 STATE OF FLORIDA  
 LICENSE NO. 12345  
 EXPIRES 12/31/2025

DATE	DESCRIPTION



THOMAS M. JALKOVIC  
 REGISTERED PROFESSIONAL ENGINEER  
 STATE OF FLORIDA  
 LICENSE NO. 12345  
 EXPIRES 12/31/2025

DATE	DESCRIPTION

DATE	DESCRIPTION

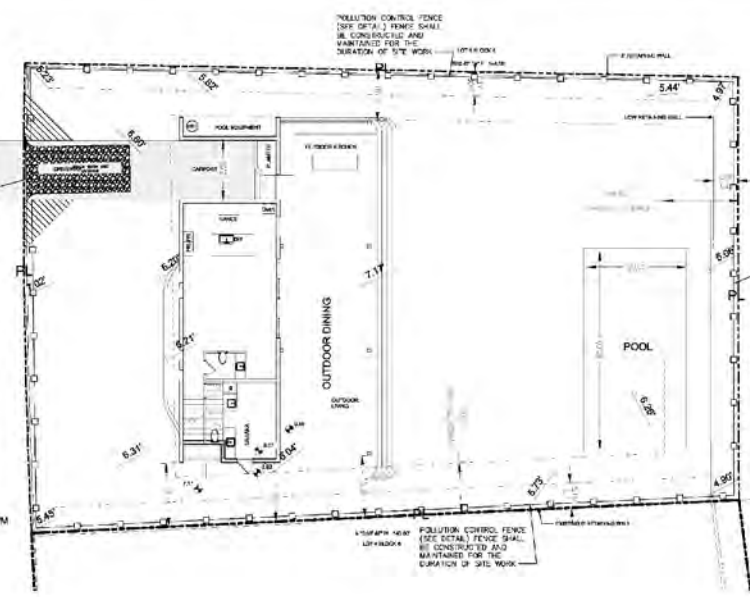
**POLLUTION PREVENTION PLAN**

SHEET NUMBER  
**C-2**  
 OF 4



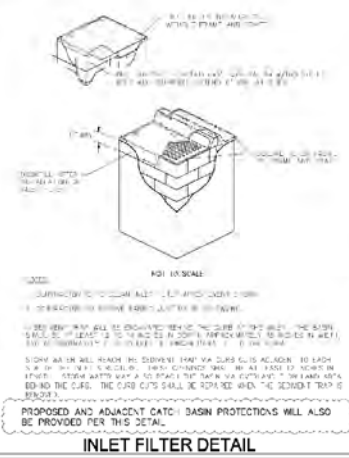
CONCRETE ANCHORS AND FENCE SHALL BE CAST IN PLACE AND SHALL BE VENTILATED FOR THE DURATION OF SITE WORK.

**BAL CROSS DRIVE**

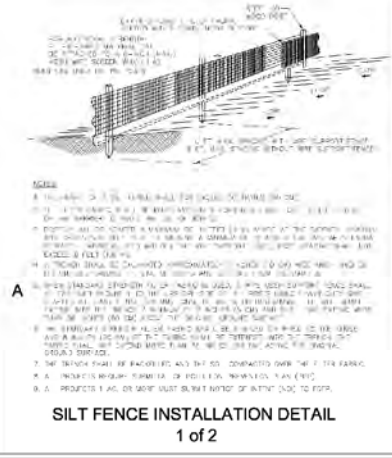


POLLUTION CONTROL FENCE (SEE DETAIL) FENCE SHALL BE CONSTRUCTED AND MAINTAINED FOR THE DURATION OF SITE WORK.

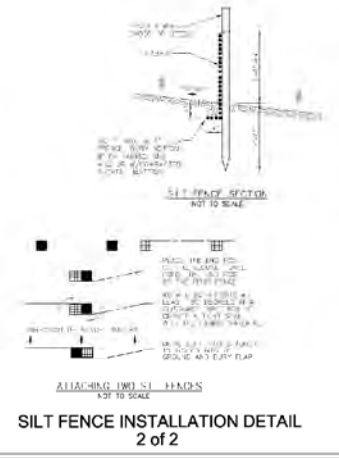
POLLUTION CONTROL FENCE (SEE DETAIL) FENCE SHALL BE CONSTRUCTED AND MAINTAINED FOR THE DURATION OF SITE WORK.



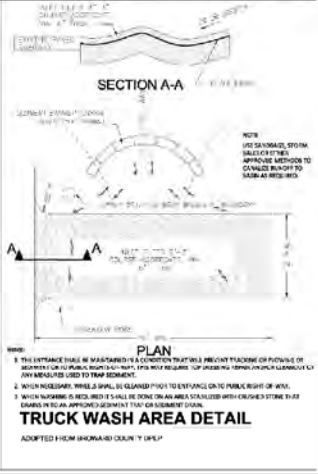
**INLET FILTER DETAIL**



**SILT FENCE INSTALLATION DETAIL**  
 1 of 2



**SILT FENCE INSTALLATION DETAIL**  
 2 of 2



**TRUCK WASH AREA DETAIL**  
 ADOPTED FROM BROWARD COUNTY PLAN



**DRAINAGE CALCULATIONS**

**DESIGN REQUIREMENTS**

STORM FLOW TO BEAL 48 HOUR  
CONSTRUCTIVE IMPROVEMENTS TO POST IMPROVEMENT FLOOD SHALL BE CONTROLLED NOT TO EXCEED  
PRE-IMPROVEMENT SCOUR ON

WINDMILL PRE-COULVERTS DRAIN WATER TREATMENT TO THE WATER QUALITY REQUIREMENTS

**RAINFALL DATA**

RAINFALL RATE (P) (INCH)  
12 year 24 hour = 8.02 SOURCE: SWFWMD  
12 year 24 hour = 8.02  
AVERAGE FOR 10 YEAR 48 H. SEE USE: USE: NATIONAL

**PRE-IMPROVEMENT DRAINAGE CALCULATIONS**

**PRE-IMPROVEMENT SITE DATA**

Abstraction	Value	Units
Subsidiary Plot	0.000 Acres	38.4'
Street, Intersected Accession	0.004 Acres	39.5'
Area	0.000 Acres	3.0'
Permeability	0.000 Acres	39.5'
Topography	0.000 Acres	174.1'

**Other Level Elevations**

100 Year Flood Elevation	2.00 FT. ABOVE 100Y
100 Year Flood Elevation	1.00 FT. ABOVE 100Y
100 Year Flood Elevation	1.00 FT. ABOVE 100Y
100 Year Flood Elevation	4.00 FT. ABOVE
100 Year Flood Elevation	1.18 inches 100Y

**RAINFALL DATA**

RAINFALL RATE (P) (INCH)  
12 year 24 hour = 8.02

**PRE-IMPROVEMENT WATER QUALITY COMPUTATIONS**

1. The first section of runoff from the site is the greater of:
  - a. The amount of runoff from the site
  - b. The amount of runoff from the site

- a. The amount of runoff from the site (P x A) x (1 - I) x (1 - C) x R (inches) (100)
  - b. The amount of runoff from the site (P x A) x (1 - I) x (1 - C) x R (inches) (100)
3. The amount of runoff from the site is the greater of:  
a. The amount of runoff from the site (P x A) x (1 - I) x (1 - C) x R (inches) (100)  
b. The amount of runoff from the site (P x A) x (1 - I) x (1 - C) x R (inches) (100)
4. The amount of runoff from the site is the greater of:  
a. The amount of runoff from the site (P x A) x (1 - I) x (1 - C) x R (inches) (100)  
b. The amount of runoff from the site (P x A) x (1 - I) x (1 - C) x R (inches) (100)

**PRE-IMPROVEMENT SCS Curve Number - Soil Storage**

The Average depth to the water table = 4.00 ft.  
Storage depth is equal to 0.5 x 4.0 ft. = 2.00 ft.  
Available Curve Soil Storage = 1.00 ft. (inches) (100)  
SCS Curve Number = 1.00 (inches) (100)  
SCS Curve Number = 1.00 (inches) (100)  
SCS Curve Number = 1.00 (inches) (100)

**PRE-IMPROVEMENT Storm Retrofit**

STORM EVENT	Precipitation (P) (inches)	Runoff (Q) (inches)	Runoff (Q) (inches)
PRE-IMPROVEMENT	8.02	4.01	4.01
POST-IMPROVEMENT	8.02	4.01	4.01

**POST IMPROVEMENT DRAINAGE CALCULATIONS**

**POST-IMPROVEMENT SITE DATA**

Abstraction	Value	Units
Subsidiary Plot	0.000 Acres	38.4'
Street, Intersected Accession	0.004 Acres	39.5'
Area	0.000 Acres	3.0'
Permeability	0.000 Acres	39.5'
Topography	0.000 Acres	174.1'

**Other Level Elevations**

100 Year Flood Elevation	2.00 FT. ABOVE 100Y
100 Year Flood Elevation	1.00 FT. ABOVE 100Y
100 Year Flood Elevation	1.00 FT. ABOVE 100Y
100 Year Flood Elevation	4.00 FT. ABOVE
100 Year Flood Elevation	1.18 inches 100Y

**RAINFALL DATA**

Abstraction	Value	Units
Subsidiary Plot	0.000 Acres	38.4'
Street, Intersected Accession	0.004 Acres	39.5'
Area	0.000 Acres	3.0'
Permeability	0.000 Acres	39.5'
Topography	0.000 Acres	174.1'

**POST IMPROVEMENT WATER QUALITY COMPUTATIONS**

1. The first section of runoff from the site is the greater of:
  - a. The amount of runoff from the site
  - b. The amount of runoff from the site
2. The amount of runoff from the site is the greater of:
  - a. The amount of runoff from the site (P x A) x (1 - I) x (1 - C) x R (inches) (100)
  - b. The amount of runoff from the site (P x A) x (1 - I) x (1 - C) x R (inches) (100)
3. The amount of runoff from the site is the greater of:
  - a. The amount of runoff from the site (P x A) x (1 - I) x (1 - C) x R (inches) (100)
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  - b. The amount of runoff from the site (P x A) x (1 - I) x (1 - C) x R (inches) (100)
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  - b. The amount of runoff from the site (P x A) x (1 - I) x (1 - C) x R (inches) (100)

**POST IMPROVEMENT SCS Curve Number - Soil Storage**

The Average depth to the water table = 4.00 ft.  
Storage depth is equal to 0.5 x 4.0 ft. = 2.00 ft.  
Available Curve Soil Storage = 1.00 ft. (inches) (100)  
SCS Curve Number = 1.00 (inches) (100)  
SCS Curve Number = 1.00 (inches) (100)  
SCS Curve Number = 1.00 (inches) (100)

**POST IMPROVEMENT Storm Retrofit**

STORM EVENT	Precipitation (P) (inches)	Runoff (Q) (inches)	Runoff (Q) (inches)
POST-IMPROVEMENT	8.02	4.01	4.01
POST-IMPROVEMENT	8.02	4.01	4.01

**STORM WATER VOLUME FOR REQUIRED RETENTION**

**STORM WATER VOLUME FOR REQUIRED RETENTION**

Abstraction	Value	Units
Subsidiary Plot	0.000 Acres	38.4'
Street, Intersected Accession	0.004 Acres	39.5'
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100 Year Flood Elevation	1.00 FT. ABOVE 100Y
100 Year Flood Elevation	1.00 FT. ABOVE 100Y
100 Year Flood Elevation	4.00 FT. ABOVE
100 Year Flood Elevation	1.18 inches 100Y

**RAINFALL DATA**

Abstraction	Value	Units
Subsidiary Plot	0.000 Acres	38.4'
Street, Intersected Accession	0.004 Acres	39.5'
Area	0.000 Acres	3.0'
Permeability	0.000 Acres	39.5'
Topography	0.000 Acres	174.1'

**POST IMPROVEMENT WATER QUALITY COMPUTATIONS**

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  - a. The amount of runoff from the site (P x A) x (1 - I) x (1 - C) x R (inches) (100)
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  - b. The amount of runoff from the site (P x A) x (1 - I) x (1 - C) x R (inches) (100)
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**POST IMPROVEMENT SCS Curve Number - Soil Storage**

The Average depth to the water table = 4.00 ft.  
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Available Curve Soil Storage = 1.00 ft. (inches) (100)  
SCS Curve Number = 1.00 (inches) (100)  
SCS Curve Number = 1.00 (inches) (100)  
SCS Curve Number = 1.00 (inches) (100)

**POST IMPROVEMENT Storm Retrofit**

STORM EVENT	Precipitation (P) (inches)	Runoff (Q) (inches)	Runoff (Q) (inches)
POST-IMPROVEMENT	8.02	4.01	4.01
POST-IMPROVEMENT	8.02	4.01	4.01

Florida Consulting Engineers, Inc.



Professional Engineer License No. 12000  
Professional Engineer License No. 12000  
Professional Engineer License No. 12000  
Professional Engineer License No. 12000

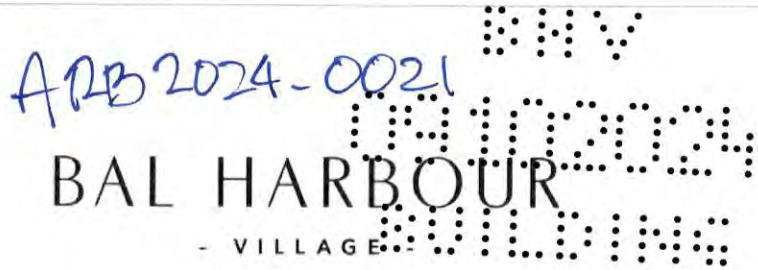


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Professional Engineer License No. 12000

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Professional Engineer License No. 12000  
Professional Engineer License No. 12000  
Professional Engineer License No. 12000

DRAINAGE CALCULATIONS

Sheet No. C-4 OF 4



The undersigned Agent/Owner request(s) Architectural Review Board review of the following application(s):

New Building (\$2,500.00)     Alteration/ Additions (\$1,000.00)     Revision (\$250.00)

**PROJECT INFORMATION**

Street Address of the Subject Property: 131 BAL CROSS DRIVE, BAL HARBOUR, FL 33154

Property/Project Name: 131 BAL CROSS

Legal description: Lot(s) BAL HARBOUR RES SEC PB 44-98  
LOT 5 BLK 6

Block(s) 6 Section(s) \_\_\_\_\_

Folio No. 12-2226-002-1160

Owner(s): EITAN ZIMERMAN

Mailing Address: 131 BAL CROSS DRIVE, BAL HARBOUR, FL 33154

Telephone: 561.245.0844 Fax \_\_\_\_\_

Other \_\_\_\_\_ Email EITAN @ EZBHLLC.COM

Architect(s)/Engineer(s): BOUTROS BOU-NAHRA ARCHITECT, LLC

Architect(s)/Engineer(s) Mailing Address: 21 NE 22ND STREET #527, MIAMI, FL 33137

Telephone: Business 954.804.4168 Fax \_\_\_\_\_

Other \_\_\_\_\_ Email MAIL @ BOUTROSBOUNAHRA.COM

**PROJECT INFORMATION**

Project Description(s): DEMOLITION OF EXISTING 1 STORY HOUSE - CONSTRUCTION OF NEW 2 STORY SINGLE FAMILY RESIDENCE

Estimated project cost\*: \_\_\_\_\_

(\*Estimated cost shall be +/- 10% of actual cost)

Date(s) of Previous Submittal(s) and Action(s): ~~\$1,077,368~~ 1,569,175.86

<b>Applicant / Owner / Architect / Engineer/ Affirmation and Consent</b>
--

I acknowledge, affirm, and certify to all of the following:

1. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Plan and Code of Ordinances of Bal Harbour Village unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
2. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
3. Understand that the application, all attachments and fees become a part of the official records of Bal Harbour Village and are not returnable.
4. All application representatives have registered with and completed lobbyist forms for the Bal Harbour Village City Clerk's office.
5. Understand that under Florida Law, all the information submitted as part of the application are public records.
6. Failure to provide the information required for submittal/necessary for review by the Architectural Review Board may cause the application to be deferred without review.
7. That applications for Architectural Review Board review require the presence of the applicant and/or architect/engineer at the meeting unless otherwise notified.
8. All fees shall be paid at the time of submittal.
9. A written narrative explaining the architectural style of the proposed building or alteration.
10. I have received consent from the owner of the property to file this application.



NOTE: BOTH SIGNATURES OR AFFIRMATION/CONSENT ARE REQUIRED

Owner / Representative Printed Name: EITAN ZIMERMAN			Architect(s)/Engineer(s) Printed Name: BOUTROS BOU-NAHRA		
Owner / Representative Signature: 			Architect(s)/Engineer(s) Signature: 		
Address: 131 BAL CROSS DR, BAL HARBOUR, FL 33154			Address: 21 NE 22ND STREET #527, MIAMI, FL 33137		
Telephone: 310 922.2804	Fax:	Email: EITAN@EZBHLLC.COM	Telephone: 954 804.4168	Fax:	Email: MAIL@BOUTROSBOUNAHRA.COM

			Architect/Engineer Seal: 		
--	--	--	------------------------------	--	--

**NOTARIZATION**

STATE OF FLORIDA  
COUNTY OF MIAMI-DADE

Sworn to or affirm and subscribed before me this 6 day of SEPTEMBER, in the year 2024 by EITAN ZIMERMAN who has taken an oath and is personally known to me or has produced        as identification.

My Commission Expires: 10.12.26

Notary Public

**NOTARIZATION**

STATE OF FLORIDA  
COUNTY OF MIAMI-DADE

Sworn to or affirm and subscribed before me this 6 day of SEPTEMBER, in the year 2024 by BOUTROS BOU-NAHRA who has taken an oath and is personally known to me or has produced as identification.

My Commission Expires: 10.12.26

Notary Public

## EXHIBIT E

## REQUEST FOR ADMINISTRATIVE REVIEW OF REVISIONS TO APPROVED ARB SUBMITTAL

## E-1: BUILDING OR STRUCTURE REVISION TO ARB

To qualify for an administrative review the proposed revision to the external architectural features must not be a material deviation from the approved ARB plans, specifications, drawings, materials and conditions of approval. The External Architectural features as defined in Section 5.5-2(b)(11) is defined as follows:

*The architectural style and general arrangement of such portion of a building or structure as is designated to be open to view from a public street, place or way, including the kind, color, and texture of the building material of such portion and type of window, doors and lights attached or ground signs, and other fixtures appurtenant to such portion.*

The Building Official determines whether the deviation is material. See 5.5-2(d)(2)

**Submittal Requirements for Administrative Review for Revisions to Approved Building or Structure:**

Architect to submit a signed and sealed narrative explaining the architectural revisions and reason for the revision.

Architect to submit the previously approved ARB project and the proposed revised plans with the revisions bubbled in.

Architect to explain in the narrative how or why the revision is not a material deviation to the architectural design elements as shown in the approved plans.

If the proposed revision involves architectural elements that can be seen from the public ROW they must be minor in nature and not consist of a material deviation from the plans approved by the ARB.

Architect to request meeting with Building Official to present revision and obtain administrative approval.

Approved : \_\_\_\_\_ Denied: \_\_\_\_\_ see attached Deficiency

Building Official Approval Signature: \_\_\_\_\_ Date of Approval: \_\_\_\_\_

**E-2: LANDSCAPE REVISION TO ARB****Request for Administrative Review of Revisions to Approved ARB Submittal Landscape Plans**

To qualify for an administrative review the proposed revision to the external architectural features must not be a material deviation from the approved ARB plans, specifications, drawings, materials and conditions of approval. The External Architectural features as defined in Section 5.5-2(b)(11) is defined as follows:

*The architectural style and general arrangement of such portion of a building or structure as is designated to be open to view from a public street, place or way, including the kind, color, and texture of the building material of such portion and type of window, doors and lights attached or ground signs, and other fixtures appurtenant to such portion.*

The Building Official determines whether the deviation is material. See 5.5-2(d)(2)

Landscape Architect to submit a signed and sealed narrative explaining the landscape revisions and reasons for the revision. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.

Landscape Architect to submit the previously approved ARB landscape plan and proposed revised plans with the revisions bubbled in.

Landscape Architect to explain in the narrative why the revision to the external landscape architectural features is not a material deviation from the approved ARB plans, specifications, drawings, materials and conditions of approval.

Landscape Architect to request meeting with Building Official and Parks & Public Spaces Director to present revision and obtain administrative approval.

Approved: \_\_\_\_\_ Denied: \_\_\_\_\_ see attached Deficiency

Building Official Approval Signature: \_\_\_\_\_ Date of Approval: \_\_\_\_\_

**E-3: MINOR ARB APPLICATION**

To qualify for an administrative review the proposed minor scope of work as listed on pages 7 thru 9 of the Minor Application Requirements to the external architectural features must not be a material deviation from the existing design of the building or structure.

The External Architectural features as defined in Section 5.5-2(b)(11) is defined as follows:

*The architectural style and general arrangement of such portion of a building or structure as is designated to be open to view from a public street, place or way, including the kind, color, and texture of the building material of such portion and type of window, doors and lights attached or ground signs, and other fixtures appurtenant to such portion.*

The Building Official determines whether the deviation is material. See 5.5-2(d)(2)

**Submittal Requirements for Administrative Review for Revisions to Approved Building or Structure:**

Owner to Architect to submit narrative explaining the architectural revisions and reason for the revision.

If the proposed minor work involves architectural elements that can be seen from the public ROW they must be minor in nature and not consist of a material deviation from the design of the existing building or structure.

Architect to request meeting with Building Official to present revision and obtain administrative approval.

Approved: \_\_\_\_\_ Denied: \_\_\_\_\_ see attached Deficiency

Building Official Approval Signature: \_\_\_\_\_ Date of Approval: \_\_\_\_\_



# Cash Register Receipt

Bal Harbour Village

**Receipt Number**  
**ARB15**

DESCRIPTION	ACCOUNT	QTY	PAID
ProjectTRAK			\$2,500.00
ARB2024-0021 Address: 131 BAL CROSS DR	APN: 1222260021160		\$2,500.00
NEW ARB			\$2,500.00
ARB REVISION	01-24-322000	0	\$2,500.00
<b>TOTAL FEES PAID BY RECEIPT: ARB15</b>			<b>\$2,500.00</b>

SECURITY FEATURES INCLUDE TRUE WATERMARK PAPER, HEAT SENSITIVE ICON AND FOIL HOLOGRAM.

EPC SERVICES LLC  
4127 WOODHILL PL  
BOYNTON BEACH, FL 33436-9429  
561.245.0844

WELLS FARGO BANK, N.A.  
www.wellsfargo.com  
63-751/631


3799

9.10.24

PAY TO THE ORDER OF Village of Bal Harbour \$2,500.00  
Two Thousand Five Hundred DOLLARS

MEMO 131 Bal Cross - ARB

VALID VALID  
VALID VALID  
VALID VALID  
VALID VALID

AUTHORIZED SIGNATURE 

HEAT SENSITIVE

⑈0000003799⑈ ⑆063107513⑆ 3676481405⑈

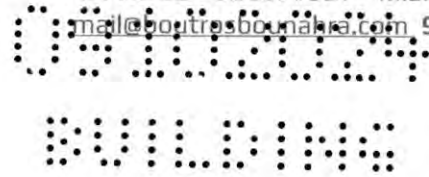
Date Paid: Tuesday, September 10, 2024

Paid By: EPC SERVICES

Cashier: HM

Pay Method: CHECK 3799





Date: 9/6/2024

Bal Harbour  
Building Department

**Architect Narrative** Project Name: 131 Bal Cross Drive – New Single Family Residence

Dear Members of the Architecture Review Board,

This residential project is a serene sanctuary, where architecture and nature seamlessly intertwine. Designed to embrace the essence of Florida living, the structure celebrates open spaces, cross breezes, and the quiet harmony between indoors and outdoors. Its soul lies in simplicity, where the architecture breathes alongside the environment rather than overpowering it.

The ground floor, with its expansive, covered, open-air layout, offers a haven where one can enjoy the rhythm of the wind, the shade, and the coolness of the breeze that sweeps effortlessly through. Here, the home becomes a gentle conduit for natural ventilation, inviting the cross breezes to dance freely through the spaces. It is a place where you can experience the outdoors while sheltered from the elements, creating a perfect balance between comfort and nature.

The second floor rises gracefully above, almost disappearing behind a sculptural curve of fluted stucco, a gesture that softens the building's profile and allows it to recede into the landscape. This curved band serves not only as an architectural flourish but also as a protective visor, minimizing the home's visual impact from the street while still providing ample covered terraces for moments of quiet reflection. The subtlety of its form speaks to an ethos of humility—where architecture honors the land it stands upon.

Limestone, warm to the touch and timeless in its presence, forms the base of the structure, grounding the home in its natural surroundings. The fluted stucco band, delicate in its texture, adds a rhythm to the façade, catching light in ways that soften its appearance. Above, garapa wood—rich, golden, and natural—imbues warmth and character, adding an organic touch that harmonizes with the lush greenery surrounding the home.

This home is a love letter to minimalism, where the footprint is not about conquering space but rather yielding to it, leaving room for nature to breathe and thrive. Its large overhangs provide respite from the intensity of the sun, creating shaded outdoor living areas that extend the home's interior into the landscape.

Each element of this residence invites you to pause, to connect with the environment, and to live in harmony with the natural world. It is an experience that resonates deeply, where every breeze, every shadow, and every material tells the story of thoughtful, intentional living.

This residence has been meticulously designed to adhere to all setback and height requirements, ensuring it remains within the prescribed regulations without necessitating waivers or variances. As the architect, I extend my gratitude for your consideration of this project description and respectfully request the Board's approval for this proposed design.

Boutros Bou-Nahra, *Architect*



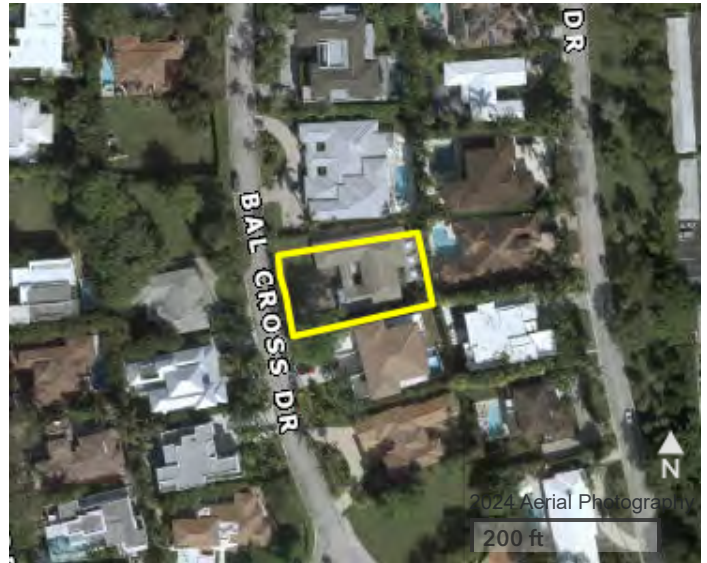


# OFFICE OF THE PROPERTY APPRAISER

## Detailed Report

Generated On: 12/23/2024

PROPERTY INFORMATION	
<b>Folio</b>	12-2226-002-1160
<b>Property Address</b>	131 BAL CROSS DR BAL HARBOUR, FL 33154-1316
<b>Owner</b>	800 WEST 47TH LLC
<b>Mailing Address</b>	125 NE 32 ST E1 MIAMI, FL 33137
<b>Primary Zone</b>	0800 SGL FAMILY - 1701-1900 SQ
<b>Primary Land Use</b>	0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT
<b>Beds / Baths /Half</b>	4 / 4 / 0
<b>Floors</b>	1
<b>Living Units</b>	1
<b>Actual Area</b>	4,740 Sq.Ft
<b>Living Area</b>	3,763 Sq.Ft
<b>Adjusted Area</b>	4,103 Sq.Ft
<b>Lot Size</b>	12,993.12 Sq.Ft
<b>Year Built</b>	Multiple (See Building Info.)



ASSESSMENT INFORMATION			
Year	2024	2023	2022
<b>Land Value</b>	\$4,937,024	\$4,937,024	\$2,111,562
<b>Building Value</b>	\$549,858	\$550,753	\$551,647
<b>Extra Feature Value</b>	\$2,612	\$2,626	\$2,652
<b>Market Value</b>	\$5,489,494	\$5,490,403	\$2,665,861
<b>Assessed Value</b>	\$3,166,245	\$2,878,405	\$2,616,732

BENEFITS INFORMATION				
Benefit	Type	2024	2023	2022
<b>Non-Homestead Cap</b>	Assessment Reduction	\$2,323,249	\$2,611,998	\$49,129

Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).

TAXABLE VALUE INFORMATION			
Year	2024	2023	2022
<b>COUNTY</b>			
<b>Exemption Value</b>	\$0	\$0	\$0
<b>Taxable Value</b>	\$3,166,245	\$2,878,405	\$2,616,732
<b>SCHOOL BOARD</b>			
<b>Exemption Value</b>	\$0	\$0	\$0
<b>Taxable Value</b>	\$5,489,494	\$5,490,403	\$2,665,861
<b>CITY</b>			
<b>Exemption Value</b>	\$0	\$0	\$0
<b>Taxable Value</b>	\$3,166,245	\$2,878,405	\$2,616,732
<b>REGIONAL</b>			
<b>Exemption Value</b>	\$0	\$0	\$0
<b>Taxable Value</b>	\$3,166,245	\$2,878,405	\$2,616,732

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>



# OFFICE OF THE PROPERTY APPRAISER

Generated On: 12/23/2024

## Property Information

Folio: 12-2226-002-1160

Property Address: 131 BAL CROSS DR

## Roll Year 2024 Land, Building and Extra-Feature Details

LAND INFORMATION						
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value	
GENERAL	R-2	0800	Front Ft.	90.23	\$4,937,024	

BUILDING INFORMATION						
Building Number	Sub Area	Year Built	Actual Sq.Ft.	Living Sq.Ft.	Adj Sq.Ft.	Calc Value
1	3	2006	624	624	416	\$74,235
1	2	1961	733	421	525	\$67,725
1	1	1952	3,383	2,718	3,162	\$407,898

EXTRA FEATURES			
Description	Year Built	Units	Calc Value
Wood Fence	1995	90	\$1,066
Patio - Screened over Concrete Slab	1972	272	\$1,306
Patio - Concrete Slab	1972	100	\$240

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# OFFICE OF THE PROPERTY APPRAISER

Generated On: 12/23/2024

## Property Information

Folio: 12-2226-002-1160

Property Address: 131 BAL CROSS DR

## Roll Year 2023 Land, Building and Extra-Feature Details

LAND INFORMATION						
The calculated values for this property have been overridden. Please refer to the Land, Building, and XF Values in the Assessment Section, in order to obtain the most accurate values.						
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value	
GENERAL	R-2	0800	Front Ft.	90.23		
BUILDING INFORMATION						
The calculated values for this property have been overridden. Please refer to the Land, Building, and XF Values in the Assessment Section, in order to obtain the most accurate values.						
Building Number	Sub Area	Year Built	Actual Sq.Ft.	Living Sq.Ft.	Adj Sq.Ft.	Calc Value
1	3	2006	624	624	416	
1	2	1961	733	421	525	
1	1	1952	3,383	2,718	3,162	
EXTRA FEATURES						
The calculated values for this property have been overridden. Please refer to the Land, Building, and XF Values in the Assessment Section, in order to obtain the most accurate values.						
Description	Year Built		Units	Calc Value		
Wood Fence	1995		90			
Patio - Screened over Concrete Slab	1972		272			
Patio - Concrete Slab	1972		100			

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# OFFICE OF THE PROPERTY APPRAISER

Generated On: 12/23/2024

## Property Information

Folio: 12-2226-002-1160

Property Address: 131 BAL CROSS DR

## Roll Year 2022 Land, Building and Extra-Feature Details

LAND INFORMATION						
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value	
GENERAL	R-2	0800	Front Ft.	90.23	\$2,111,562	

BUILDING INFORMATION						
Building Number	Sub Area	Year Built	Actual Sq.Ft.	Living Sq.Ft.	Adj Sq.Ft.	Calc Value
1	3	2006	624	624	416	\$76,024
1	2	1961	733	421	525	\$67,725
1	1	1952	3,383	2,718	3,162	\$407,898

EXTRA FEATURES			
Description	Year Built	Units	Calc Value
Wood Fence	1995	90	\$1,094
Patio - Screened over Concrete Slab	1972	272	\$1,316
Patio - Concrete Slab	1972	100	\$242

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# OFFICE OF THE PROPERTY APPRAISER

Generated On: 12/23/2024

## Property Information

**Folio:** 12-2226-002-1160

**Property Address:** 131 BAL CROSS DR

### FULL LEGAL DESCRIPTION

26-27 52 42  
BAL HARBOUR RES SEC PB 44-98  
LOT 5 BLK 6  
AND PROP INT IN & TO COMMON  
ELEMENTS NOT DEDICATED TO PUBLIC  
LOT SIZE IRREGULAR  
OR 20408-3251 05 2002 1  
COC 25366-2685 01 2007 1

### SALES INFORMATION

Previous Sale	Price	OR Book-Page	Qualification Description
08/26/2024	\$6,400,000	34383-0196	Qual by exam of deed
12/10/2023	\$0	34006-0203	Federal, state or local government agency
01/01/2007	\$1,810,000	25366-2685	Sales which are qualified
07/01/2005	\$0	23647-2599	Sales which are disqualified as a result of examination of the deed
11/01/2003	\$1,075,000	21874-3288	Sales which are qualified
05/01/2002	\$969,900	20408-3251	Sales which are qualified
12/01/2001	\$0	20408-3249	Sales which are disqualified as a result of examination of the deed
04/01/1994	\$425,000	16357-2686	Sales which are qualified
03/01/1977	\$1	00000-00000	Sales which are disqualified as a result of examination of the deed
02/01/1977	\$165,000	00000-00000	Sales which are qualified


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# BAL HARBOUR

- V I L L A G E -

## ARCHITECTURAL REVIEW BOARD MEMORANDUM

TO: Architectural Review Board Members

FROM: Eliezer Palacio, Building Director 

DATE: 01/23/2025

SUBJECT: 10295 Collins Avenue (One Bal Harbour Condominium)  
Proposed renovation on the exterior yard amenities

### **BACKGROUND**

The Village of Bal Harbour (the "Village") received an Architectural Review Board (ARB) application on October 7, 2024, for the Proposed exterior yard amenities renovation on the oceanfront of an existing multifamily condominium, Residences at One Bal Harbour, located at 10295 Collins Avenue ("the Property"). In November of 2025, the ARB previously reviewed an application to add cabanas on the Property.

The Property is located in the Ocean Front zoning district of the Village.

### **THE PROJECT ( AE Description)**

This letter is to advise you that it is the owner's intention to renovate the exterior yard amenities, which will include:

- New spa within existing pool
- New outdoor bar structure to serve outdoor spaces adjacent to new pool
- New pool and extended pool deck with new shade elements (new pavers proposed)
- Outdoor cabanas as accessory structures
- New outdoor furniture for existing and new paved pool decks
- New exterior open stair connecting ground level pool deck with existing second floor deck

### **RECOMMENDATION**

It is the opinion of this writer that the proposed exterior yard amenities renovation follow the Village's Appearance Code and Zoning Ordinance. The Village Planning and Zoning Consultant and the Park's and Public Spaces Department has reviewed the plans and concur that the plans comply.

I recommend that the Board review the submittal for compliance and if they concur with my recommendation, issue a Certificate of Appropriateness.

If approved, the following conditions should be added to the motion:

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water

meters, and Section 21-358 regarding walls, fences and landscape plantings.

4. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
5. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
6. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
7. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
8. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.







RITZ CARLTON BAL HARBOUR- POOL AREA  
 8000 C.B. JONES AVE  
 BAL HARBOUR, FL 33154



DWG. TITLE	AERIAL VIEWS
SCALE	1/8" = 1'-0"
PROJECT NO.	10000000
DATE	10/05/21
SHEET NUMBER	A-002

CONSTRUCTION | ARCHITECTURE | INTERIOR DESIGN | LANDSCAPE ARCHITECTURE | PLANNING | ENVIRONMENTAL DESIGN | HISTORIC PRESERVATION | WELLNESS DESIGN | RETAIL DESIGN | EDUCATIONAL DESIGN | HEALTHCARE DESIGN | HOUSING DESIGN | COMMERCIAL DESIGN | TRANSPORTATION DESIGN | INFRASTRUCTURE DESIGN

DATE | REVISION



RITZ CARLTON BAL HARBOUR- POOL AREA  
 800E C.B. JONES AVE  
 BAL HARBOUR, FL 33154



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DWG. TITLE	SITE PHOTOGRAPHS
SCALE	1/8" = 1'-0"
PROJECT NO.	100721
DATE	10/14/14
SHEET NUMBER	A-003



RITZ CARLTON BAL HARBOUR- POOL AREA  
 8095 COLLAS AVE.  
 BAL HARBOUR, FL 33154



DWG TITLE SITE PHOTOGRAPHS  
 SCALE 1/4" = 1'-0"  
 PROJECT QT  
 DATE 02/12/15  
 SHEET NUMBER 18-05-21

A-004

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ALTERATION LEVEL 2  
 OCCUPANCY LOAD POOL DECK (ASSEMBLY IV)  
 F.B.C. B. 1604.5  
 RISK CATEGORY OF BLDG AND OTHER STRUCTURES  
 CATEGORY II  
 1609.4.3 EXPOSURE CATEGORY  
 EXPOSURE D

F.B.C. B. CH. 10		
POOL	4,775 S.F.	96 OCCUP.
POOL DECK	12,495 S.F.	833 OCCUP.
BAR	50 L.F. X 4 / 7	29 OCCUP.
<b>TOTAL</b>		<b>958 OCCUP.</b>

**EXISTING REAR YARD**  
 SCALE 1/32" = 1'-0"

EXISTING PAVED AREA:	14,388 S.F. (32.9%)
EXISTING GREEN AREA:	22,152 S.F. (50.6%)
WATER:	3,810 S.F.
SAND PATH:	3,360 S.F.
<b>TOTAL AREA IN SCOPE:</b>	<b>43,730 S.F. (100%)</b>

**PROPOSED REAR YARD**  
 SCALE 1/32" = 1'-0"

PROPOSED PAVED AREA:	18,698 S.F. (42.8%)
PROPOSED GREEN AREA:	16,052 S.F. (36.7%)
WATER AREA:	4,775 S.F.
SAND PATH:	4,195 S.F.
<b>TOTAL AREA IN SCOPE:</b>	<b>43,730 S.F. (100%)</b>

**GENERAL NOTES:**  
 DISTRICT: OF-OCEAN FRONT  
 NEW, BAR AND METAL SHADE STRUCTURE  
 ARE PROPOSED TO THE WEST OF EROSION  
 CONTROL LINE

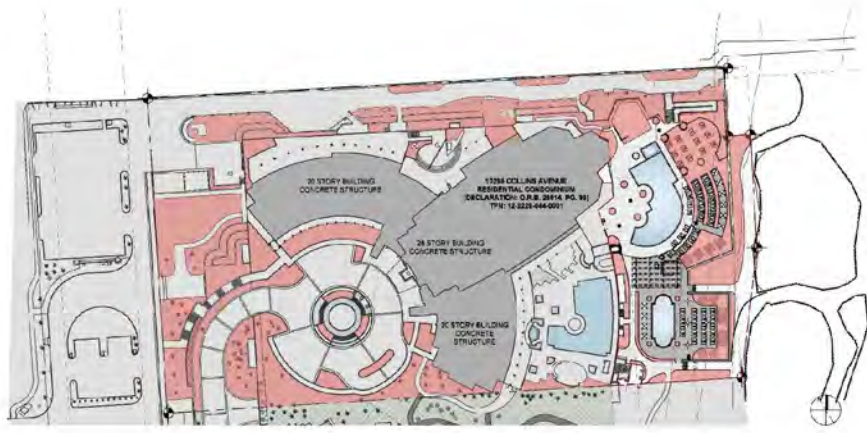
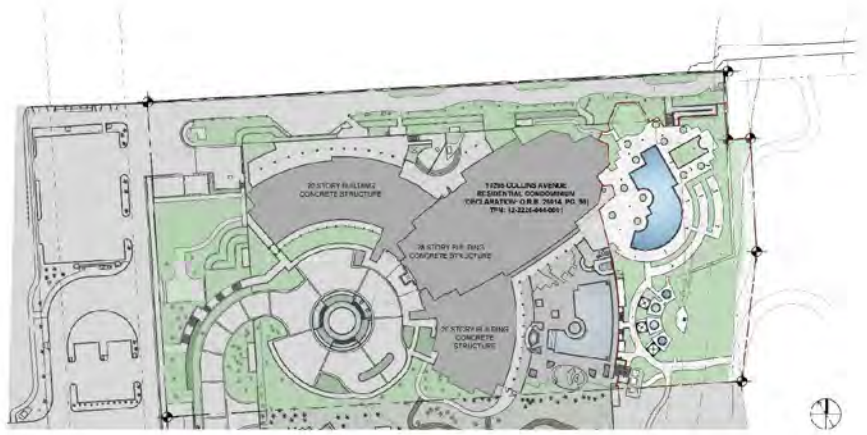
- LEGEND:**
- AREA IN SCOPE
  - GREEN AREA
  - SAND PATH
  - WATER

**RITZ CARLTON BAL HARBOUR- POOL AREA**

1508 L.L. JRG ARC  
 820 HAVENUM PL. 33154



DWG. TITLE	DIAGRAM
SCALE	1/32"
PROJECT NO.	1054-24
DATE	10-24-24
SHEET NUMBER	A-005



LANDSCAPING AREAS		
	SQ. FT.	%
TOTAL AREA	218,357 SQ. FT.	
LANDSCAPING AREA ALLOWED	54,839 SQ. FT.	25% MIN.
EXISTING LANDSCAPED SPACES	66,902 SQ. FT.	27.8%
PROPOSED LANDSCAPED SPACE	55,638 SQ. FT.	23.5%
AREA SCOPE OF WORK		

RITZ CARLTON BAL HARBOUR- POOL AREA  
 1128 COLLINS AVE  
 BAL HARBOUR, FL 33154



DWG. TITLE	DIAGRAMS
SCALE:	1/8" = 1'-0"
PROJECT NO.	10272
DATE	12/21/14
SHEET NUMBER	A-005.1

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RITZ CARLTON BAL HARBOUR- POOL AREA  
RIZZO COLLIPORE  
BAL HARBOUR FL 33154



DWG. TITLE	ADDENDUM 1
SCALE	1/4" = 1'-0"
PROJEC. NO.	2004-21
DATE	05-05-21
SHEET NUMBER	A-006

COMERCIAL

ARCHITECTS 1818 J. ROBERTSON ROAD, SUITE 200, BAL HARBOUR, FL 33154



PAVER IVORY SHELL STONE

RITZ CARLTON BAL HARBOUR- POOL AREA  
 800E C.B. BUS-006  
 8041 HARBOUR BL 33154



DWG. TITLE	RENDERING
SCALE	1:100
PROJECT NO.	2007-2
DATE	10/20/11
SHEET NUMBER	A-007

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PLANTER

PAINTED SMOOTH STUCCO  
COLOR TO MATCH EXT BLDG

PROPOSED WATER  
FEATURE

PROPOSED PAVERS  
IVORY SHELL STONE

RITZ CARLTON BAL HARBOUR- POOL AREA  
18025 COLLINGS AVE  
BAL HARBOUR, FL 33154



DWG. TITLE	ARCH PLAN
SCALE	1/4" = 1'-0"
PROJECT NO.	2024-21
DATE	05-05-24
DRAWN BY	
CHECKED BY	
DATE	

A-008

COMERCIAL

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DARK BRONZE POWDER COATED ALUM

PORCELAIN PAVER

RITZ CARLTON BAL HARBOUR- POOL AREA  
 11000 COLLINS AVE  
 BAL HARBOUR, FL 33154



DATE	10-15-24
PROJECT NO.	200424
SCALE	1/4" = 1'-0"
DWG. TITLE	ARCH PLAN 1
DESIGNED BY	GREY & BARR
DATE	10-15-24
PROJECT NO.	200424
DWG. TITLE	ARCH PLAN 1
SCALE	1/4" = 1'-0"
PROJECT NO.	200424
DATE	10-15-24
DESIGNED BY	GREY & BARR

A-009

COMERCIAL

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PORCELAIN PAVER

RITZ CARLTON BAL HARBOUR- POOL AREA  
 11025 COLLINS AVE  
 BAL HARBOUR, FL 33154



DWG. TITLE	ARCHITECTURE
SCALE	1/4" = 1'-0"
PROJECT NO.	2004-21
DATE	10-05-04
DESIGNER	
DATE	
REVISION	

A-010



POOL DECK IVORY SHELL  
STONE

PROPOSED BREEZE BLOCK

RITZ CARLTON BAL HARBOUR- POOL AREA  
11005 COLLINS AVE  
BAL HARBOUR, FL 33154



DWG. TITLE	ARCHITECTS
SCALE	1/4" = 1'-0"
PROJECT NO.	2004-21
DATE	10-05-04
DESIGNER	
DATE	
REVISION	

A-011



DARK BRONZE POWDER COATED ALUM

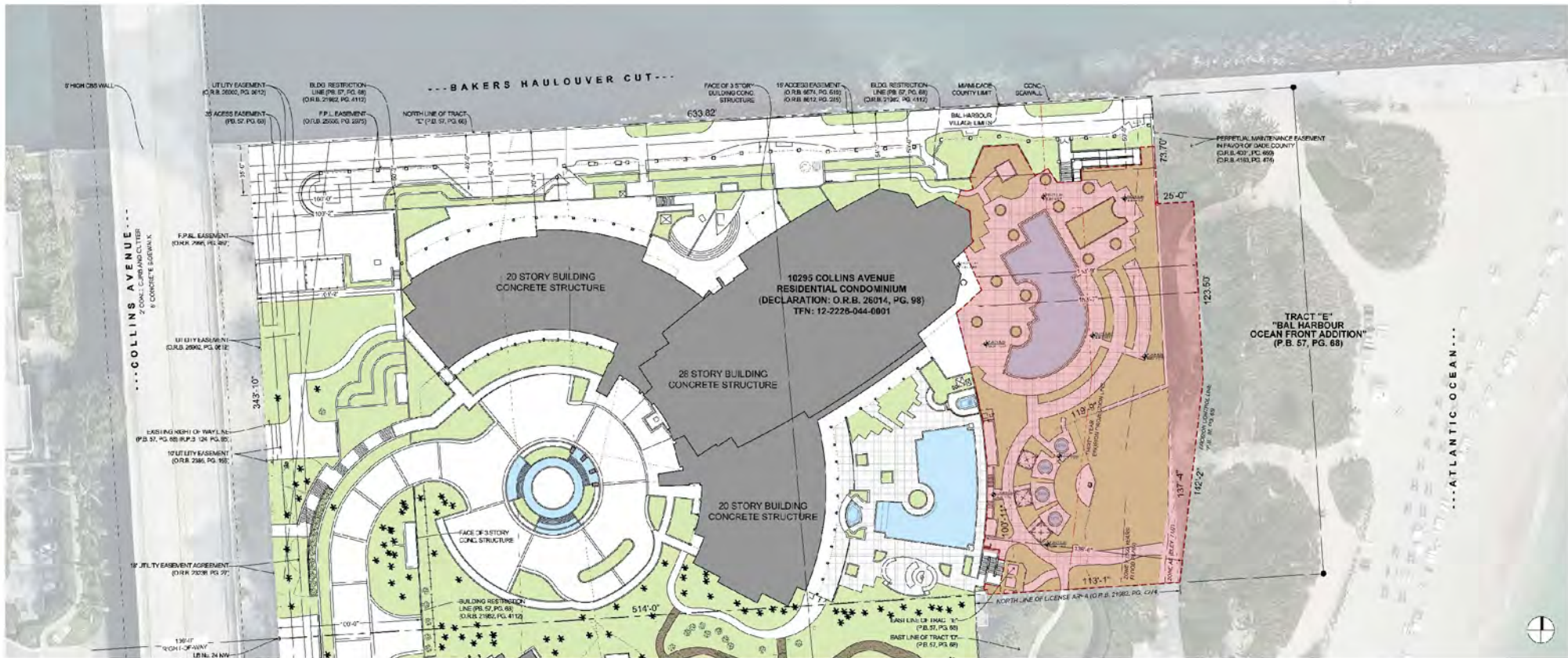
QUARTZ BAR COUNTER TOP

PROPOSED SAND STONE PAVERS

RITZ CARLTON BAL HARBOUR- POOL AREA  
 11025 COLLINGS AVE  
 BAL HARBOUR, FL 33154



DWG. TITLE	A-012
SCALE	1/4" = 1'-0"
PROJECT NO.	2004-21
DATE	05-05-04
CLIENT NAME	
ARCHITECT	



LEGEND:  
 AREA IN SCOPE

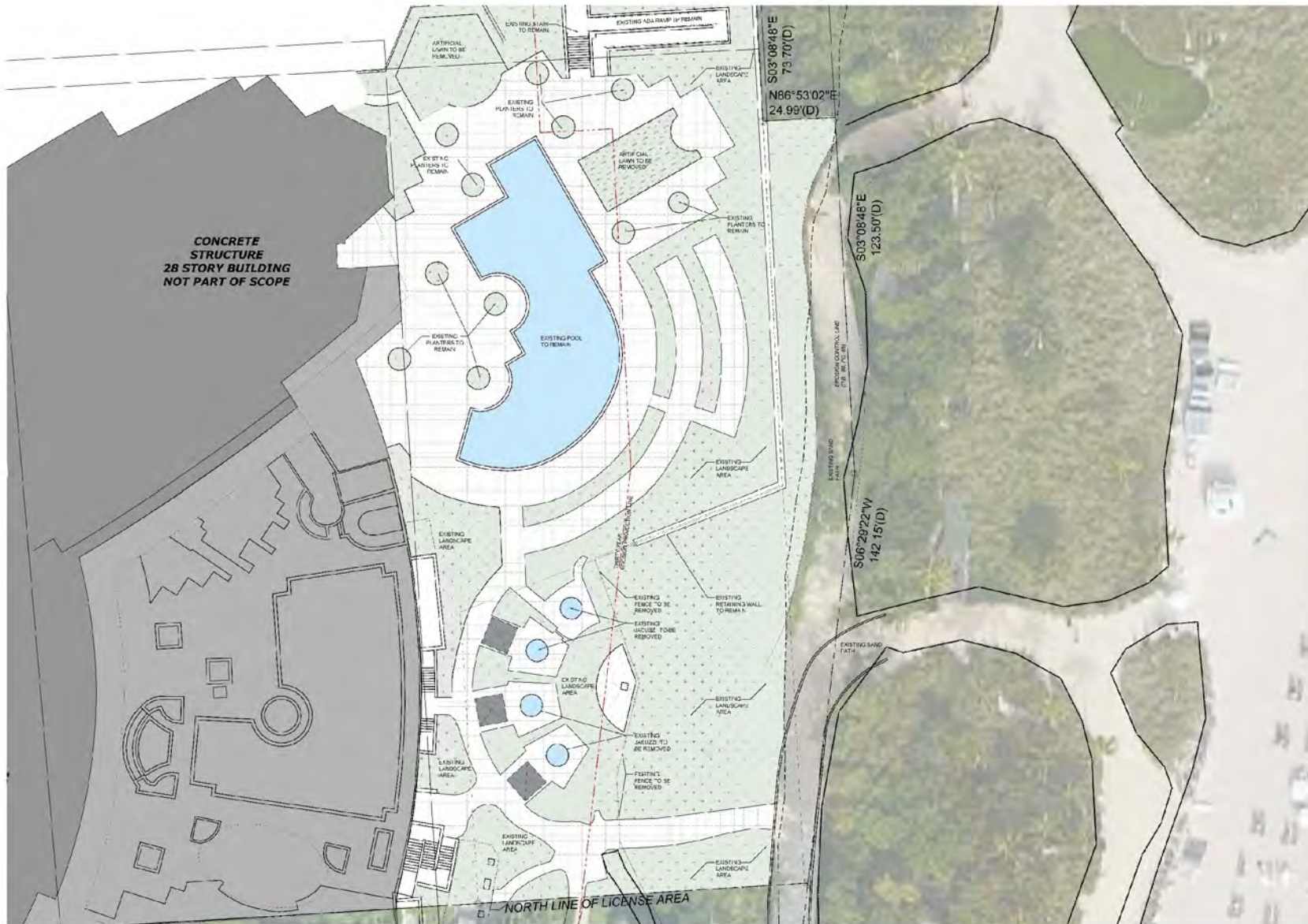
RITZ CARLTON BAL HARBOUR- POOL AREA  
 10295 COLLINS AVENUE  
 BAL HARBOUR FL 33154






DWG. TITLE: EXISTING SITE PLAN  
 NDRN: 1/20/11  
 PROJECT NO: 10295-11  
 DATE: 1/20/11  
 SHEET NUMBER: 10295-11-SP-100

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Scale bar and north arrow.



DEMO NOTES:

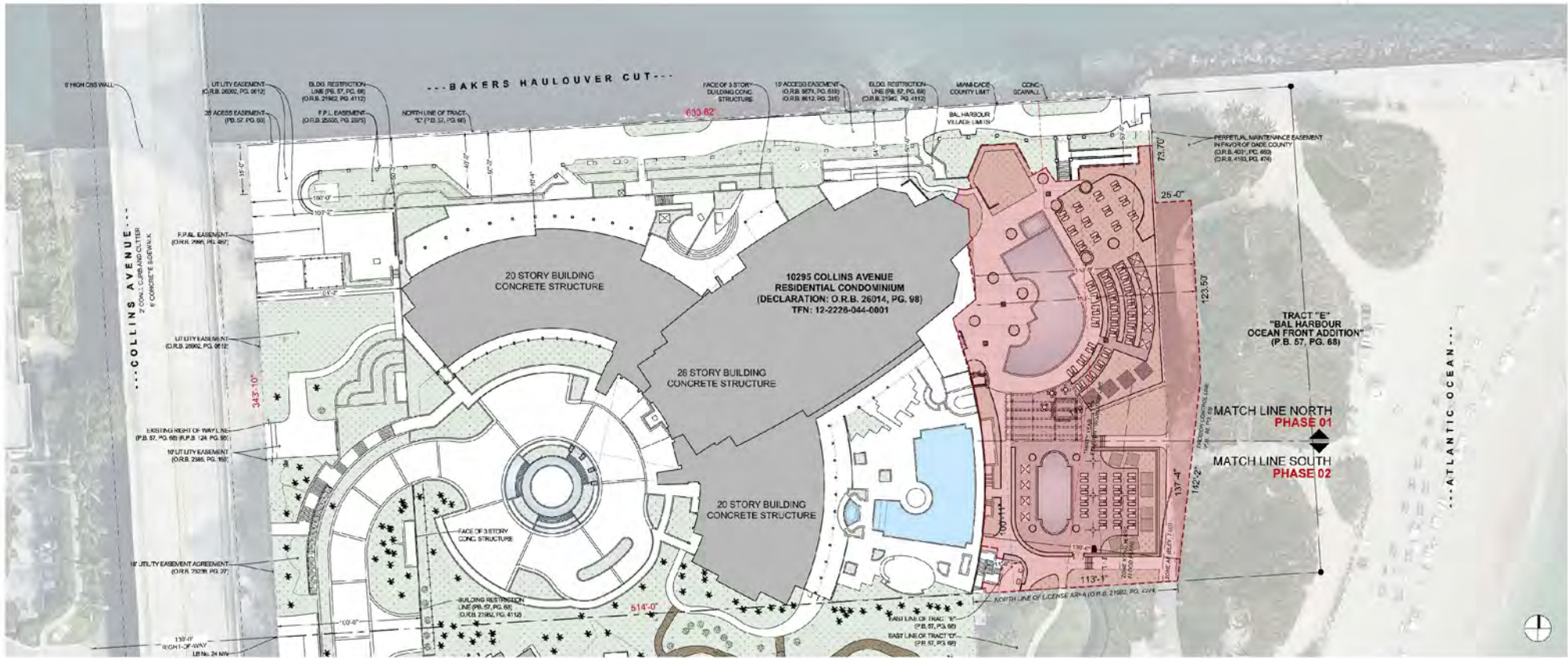
-  EXISTING PAVERS TO BE REMOVED
-  EXISTING CONCRETE DECK TO BE DEMOLISHED
-  EXISTING CABANAS TO BE REMOVED


RITZ CARLTON BAL HARBOUR - POOL AREA  
 10000 COLLETT AVENUE  
 BAL HARBOUR, FL 33154



DWG TITLE	EXISTING (GRAB) GROUND LEVEL
SCALE	1/8" = 1'-0"
PROJECT NO.	2004-21
DATE	10-25-21
SHEET NUMBER	EXIST-100

ARCHITECTS 1000 COLLETT AVENUE BAL HARBOUR, FL 33154



LEGEND:  
 AREA IN SCOPE

RITZ CARLTON BAL HARBOUR- POOL AREA  
 10295 COLLINS AVENUE  
 BAL HARBOUR FL 33154



DATE: 10/25/21  
 PROJECT NO: 10295-14  
 SHEET NO: 10295-14-01  
 PROJECT TITLE: PROPOSED SITE PLAN

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DATE: 10/25/21  
 PROJECT NO: 10295-14  
 SHEET NO: 10295-14-01  
 PROJECT TITLE: PROPOSED SITE PLAN

SHEET NUMBER  
**SP-101**

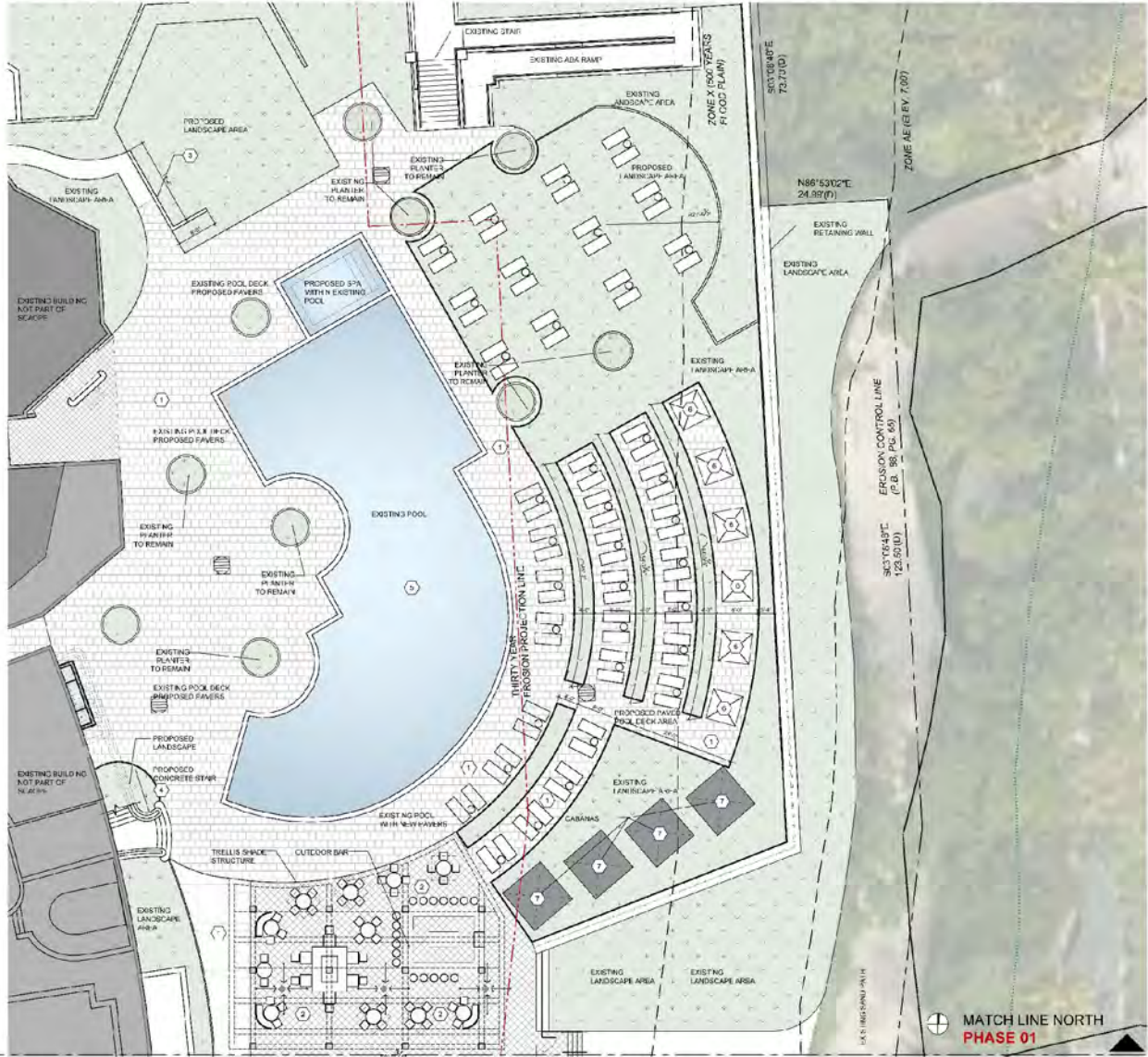




**RITZ CARLTON BAL HARBOUR - POOL AREA**  
 3333E C2A-333A AVE  
 BAL HARBOUR FL 33154



DATE	10/24/21
PROJECT NO.	200-F-1
SHEET NUMBER	A-100
DATE	10/24/21
PROJECT NO.	200-F-1
SHEET NUMBER	A-100
DATE	10/24/21
PROJECT NO.	200-F-1
SHEET NUMBER	A-100

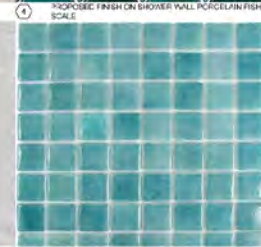
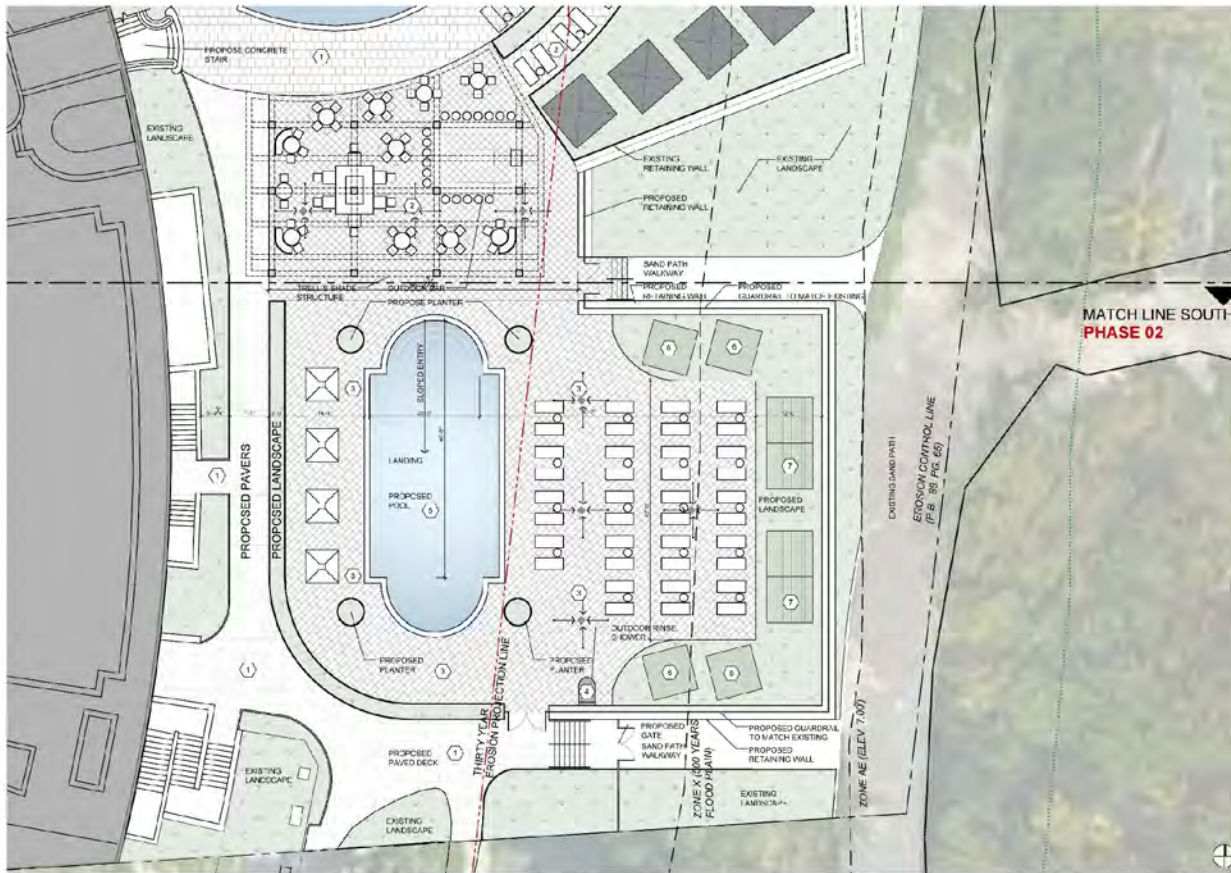


- PAVER LEGEND**
-  1. PROPOSED PAVERS ON POOL DECK (IVORY SHELL STONE)
  -  2. PROPOSED SAND STONE PAVERS

**RITZ CARLTON BAL HARBOUR - POOL AREA**  
 3333E COLLETT AVENUE  
 BAL HARBOUR, FL 33154



DRG. TITLE	ENLARGED FLOOR PLAN
SCALE	1/4" = 1'-0"
PROJECT NO.	2010-01
DATE	10/16/11
SHEET NUMBER	A-101



PROPOSED CABANA (SINGLE 10' X 12')



PROPOSED CABANA (DOUBLE 10' X 24')

1 PROPOSED PAVERS ON POOL DECK IVORY SHELL STONE

PAVER LEGEND

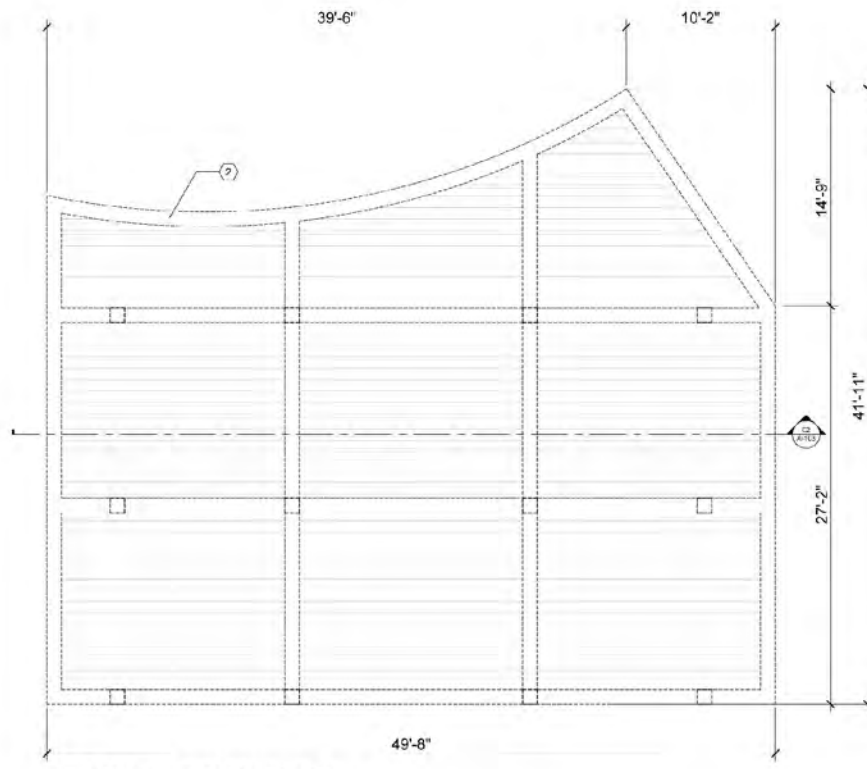
- 1 PROPOSED PAVERS ON POOL DECK IVORY SHELL STONE
- 2 PROPOSED SAND STORE PAVERS
- 3 PORCELAIN PAVER (12X12)

RITZ CARLTON BAL HARBOUR- POOL AREA

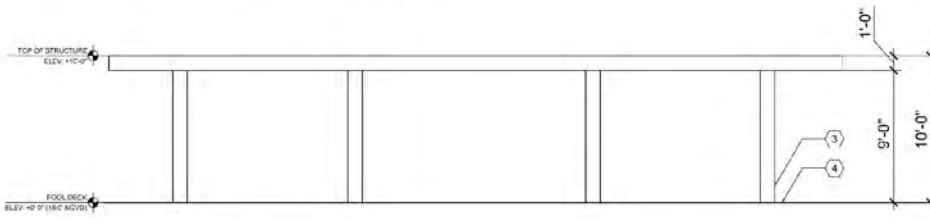
3030 C.B. BBS AVE  
BAL HARBOUR FL 33154



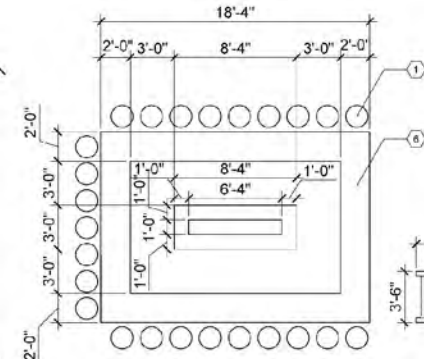
DWG. TITLE	ENLARGED FLOOR PLAN
SCALE	1/8" = 1'-0"
PROJECT NO.	100-21
DATE	10/25/11
SHEET NUMBER	A-102



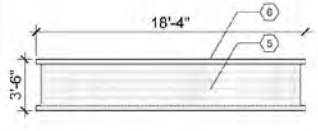
01 ENLARGED SHADE STRUCTURE  
SCALE: 1/8" = 1'-0"



02 ENLARGED SECTION  
SCALE: 1/8" = 1'-0"

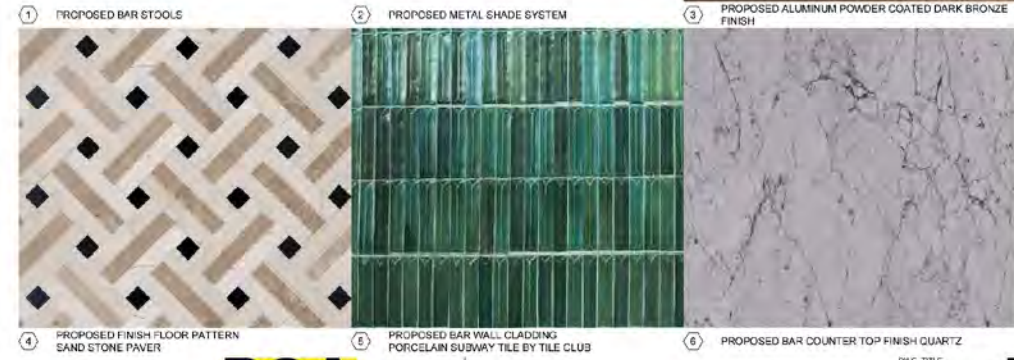


03 ENLARGED OUTDOOR BAR  
SCALE: 1/8" = 1'-0"



03 ENLARGED OUTDOOR BAR ELEV.  
SCALE: 1/8" = 1'-0"

**NOTE:**  
ALL FABRIC TO MEET NFPA-701 FIRE CODE  
SUBMIT SHOP DRAWINGS TO ARCHITECT FOR REVIEW

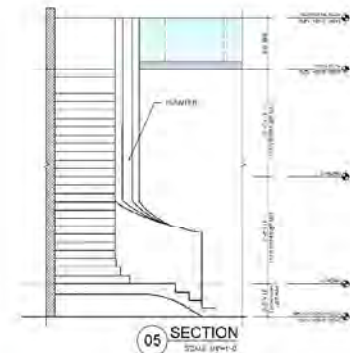
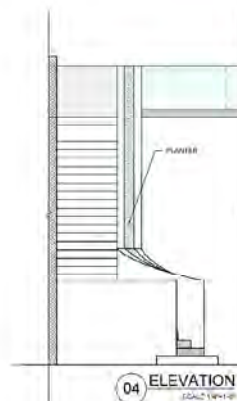
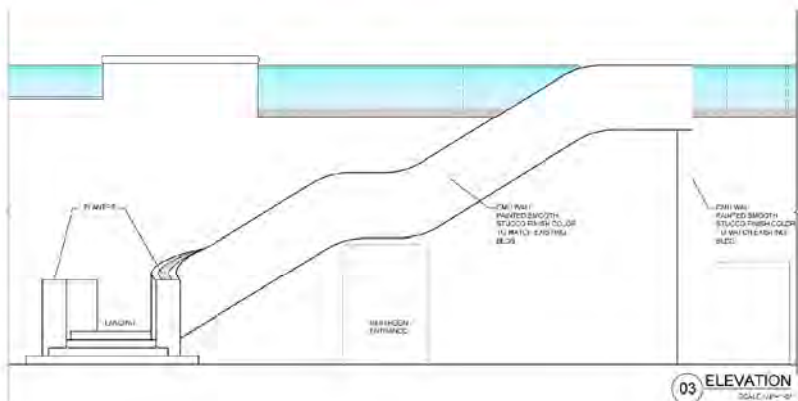
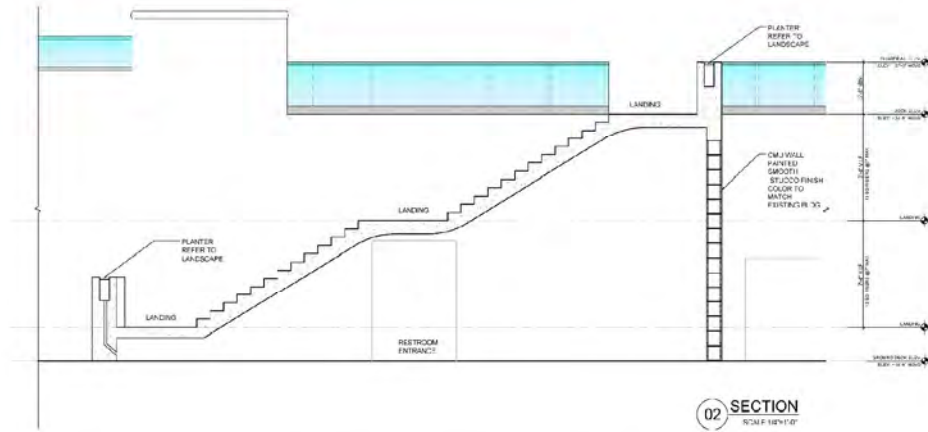
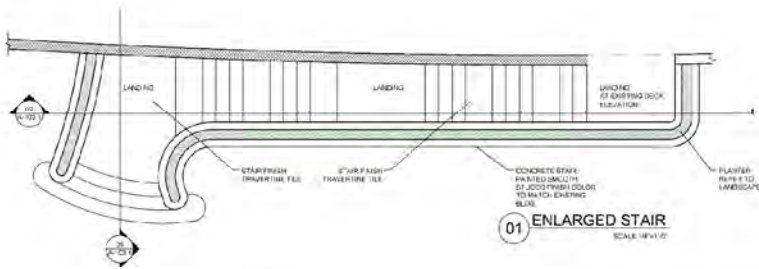


RITZ CARLTON BAL HARBOUR- POOL AREA

NOISE CONSULTING  
BAL HARBOUR, FL 33154



DWG. TITLE	ENLARGED BAR AND METAL SHADE STRUCTURE
SCALE	
PROJECT NO.	2477-01
DATE	10/23
SHEET NUMBER	104/114



NOTES: ALL DIMENSIONS TO BE FIELD VERIFIED



PROPOSED PAVERS ON POOL TREAD AND LANDING

PAINTED SMOOTH STUCCO FINISH COLOR TO MATCH EXISTING BLDG

RITZ CARLTON BAL HARBOUR- POOL AREA  
RIVER CLUB ASSOCIATE  
BAL HARBOUR 14 32104

**BGA**rchitects

ARCHITECTURE JOSE J. GOMEZ

TWO TITLE	1/2\"/>
DATE	AS SHOWN
PROJECT NO.	204-21
DATE	1/2014
DRAWING NUMBER	A-103.1

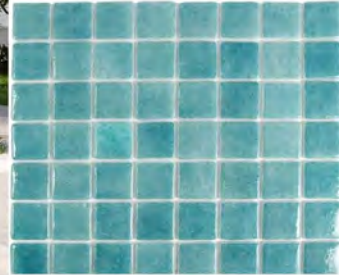


1 PROPOSED STONE WALL CLADDING  
 2 PROPOSED PAVERS ON POOL DECK, IVORY SHELL STONE  
 3 PAINTED SMOOTH STUCCO FINISH, COLOR TO MATCH EXISTING BLDG

**RITZ CARLTON BAL HARBOUR- POOL AREA**  
 800E C.B. DR. S.W. MIAMI BEACH, FL 33154



DWG. TITLE	
MATERIALS AND FINISHES	
SCALE	1:100
PROJECT NO.	2022-01
DATE	10/20/22
SHEET NUMBER	A-104



8 PROPOSED POOL PORCELAIN TILE



7 PORCELAIN PAVER



1 TUUCI ALUM-TEAK UMBRELLA WITH GALVANIZED UMBRELLA BASE PROPOSED UMBRELLA



2 TUUCI MEGA MAX CANTILEVER UMBRELLA ALUMITEAK CONSTRUCTION WITH GALVANIZED METAL BASE PROPOSED UMBRELLA



3 BATYLINE COVER WITH ANTI FIRE, QUICK DRY FOAM PROPOSED DOUBLE SUN BED



4 ALUMINUM CHAISE, BATYLINE TOP PROPOSED DECK CHAIR



5 PROPOSED CABANA (SINGLE 10' X 12')



6 PROPOSED CABANA (DOUBLE 10' X 24')

RITZ CARLTON BAL HARBOUR- POOL AREA

800E C.B. DR. #106  
BAL HARBOUR FL 33404



MATERIALS AND FINISHES	
DATE:	YES
PROJECT NO.:	NO. 21
DATE:	NO. 21
SHEET NUMBER:	NO. 21



8 PROPOSED PAVERS ON POOL DECK IVORY SHELL STONE



7 PROPOSED SAND STONE PAVERS



1 TULICI ALUMI TEAK UMBRELLA WITH GALVANIZED UMBRELLA BASE  
PROPOSED UMBRELLA



2 ALUMINIUM CHAISE, BATYLINE TOP  
PROPOSED DECK CHAIR



3 PROPOSED CARANAS



4 PROPOSED BAR CHAIR



5 PROPOSED BAR TABLE



6 PROPOSED CEILING FAN

RITZ CARLTON BAL HARBOUR- POOL AREA

800E C.B. DR. 505 AVE  
BAL HARBOUR FL 33154



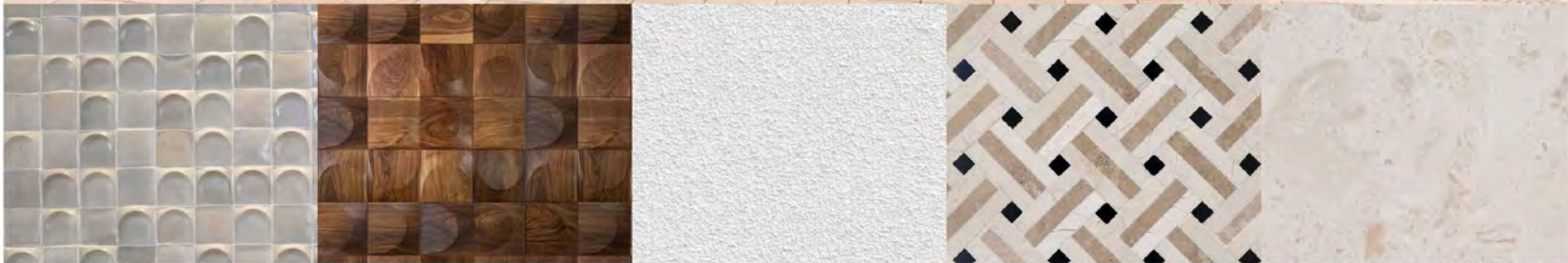
DWG. TITLE	MATERIALS AND FINISHES
SCALE	1:100
PROJECT NO.	10000000
DATE	10/01/20
SHEET NUMBER	A-106

CONSULTANT

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DATE: 10/01/20





1 PROPOSED 3D TILE PATTERN     
 2 PROPOSED DECORATIVES WOOD TILES     
 3 PAINTED SMOOTH STUCCO FINISH COLOR TO MATCH EXISTING BLDG     
 4 PROPOSED POOL DECK TILE BASALT WAVE TRINE SNADSTONE     
 5 PROPOSED PAVERS ON POOL DECK IVORY SHELL STONE

**RITZ CARLTON BAL HARBOUR- POOL AREA**

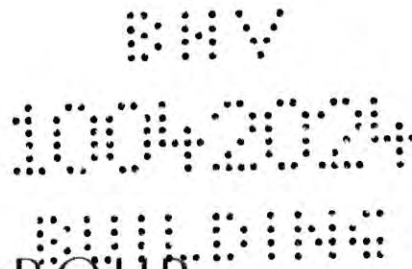
8000 C.B. RD. 5TH FLOOR  
BAL HARBOUR FL 33154



DWG. TITLE	
SCALE:	MATERIALS AND FINISHES
PROJECT NO.:	1173
DATE:	10/27/21
SHEET NUMBER	10/27/21

A-107

ARB2024-0022



# BAL HARBOUR

- VILLAGE -

The undersigned Agent/Owner request(s) Architectural Review Board review of the following application(s):

New Building (\$2,500.00)     Alteration/ Additions (\$1,000.00)     Revision (\$250.00)

**PROJECT INFORMATION**

Street Address of the Subject Property: 10295 COLLINS AVE

Property/Project Name: RITZ CARLTON BAL HARBOUR- POOL AREA

Legal description: Lot(s) ALL THAT LOT, PIECE OR PARCEL OF LAND SITUATE, LYING AND BEING IN SECTION 26, TOWNSHIP 52 SOUTH, RANGE 42 EAST, VILLAGE OF BAL HARBOUR

Block(s) \_\_\_\_\_ Section(s) Bal Harbour Ocean Front Add

Folio No. 12-2226-044-0001

Owner(s): ~~THE~~ LK Hotel LLC.

Mailing Address: 4100 NE 2<sup>nd</sup> Ave., Suite 202

Telephone: 239-825-2495 Fax \_\_\_\_\_

Other Michael Hawkins Email mhawkins @ eblpartners.com

Architect(s)/Engineer(s): BEILINSON GOMEZ ARCHITECTS PA | JPSE L. GOMEZ, AIA

Architect(s)/Engineer(s) Mailing Address: 8101 BISCAYNE BLVD., SUITE 309-310 - MIAMI, FL 33138-4664

Telephone: Business (305) 559.1250 Fax \_\_\_\_\_

Other \_\_\_\_\_ Email \_\_\_\_\_ @ \_\_\_\_\_

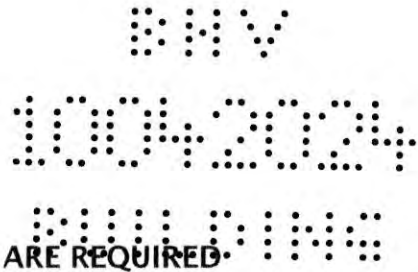
**PROJECT INFORMATION**

Project Description(s): New spa within existing pool, outdoor bar, new pool and extended paved deck, outdoor cabanas as accessory structures and new exterior stair.

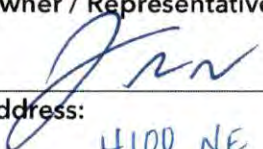
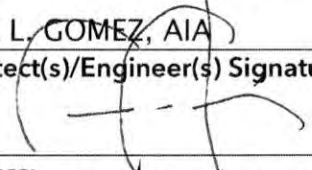
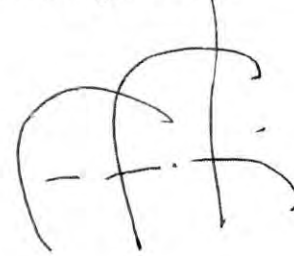

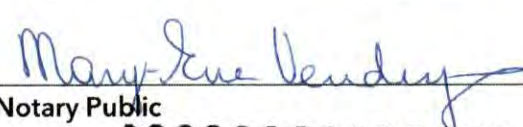
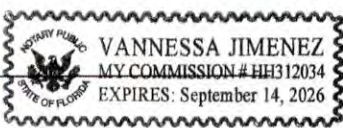
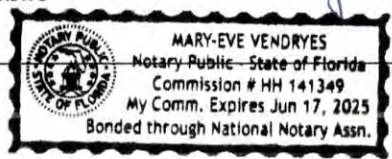
Estimated project cost\*: \_\_\_\_\_

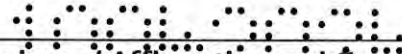
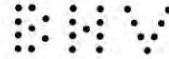
(\*Estimated cost shall be +/- 10% of actual cost)

Date(s) of Previous Submittal(s) and Action(s): \_\_\_\_\_

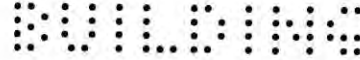


NOTE: BOTH SIGNATURES OR AFFIRMATION/CONSENT ARE REQUIRED

<b>Owner / Representative Printed Name:</b> LK Hotel LLC / Javier Granda			<b>Architect(s)/Engineer(s) Print Name:</b> JOSE L. GOMEZ, AIA		
<b>Owner / Representative Signature:</b> 			<b>Architect(s)/Engineer(s) Signature:</b> 		
<b>Address:</b> 4100 NE 2ND AVE SUITE 202 MIAMI, FL 33137			<b>Address:</b> 8101 BISCAYNE BLVD., SUITE 309-310 - MIAMI, FL 33138-4664		
<b>Telephone:</b> 305 672 5466	<b>Fax:</b>	<b>Email:</b>	<b>Telephone:</b> (305) 559.1250	<b>Fax:</b>	<b>Email:</b>
			<b>Architect/Engineer Seal:</b> 		
<b>NOTARIZATION</b>  STATE OF FLORIDA COUNTY OF MIAMI-DADE  Sworn to or affirm and subscribed before me this <u>3</u> day of <u>OCTOBER</u> , in the year 20 <u>24</u> by <u>JAVIER GRANDA</u> who has taken an oath and is <u>personally known to me</u> or has produced <u>as identification</u> .  My Commission Expires: <u>SEPTEMBER 14, 2026</u>			<b>NOTARIZATION</b>  STATE OF FLORIDA COUNTY OF MIAMI-DADE  Sworn to or affirm and subscribed before me this <u>2<sup>nd</sup></u> day of <u>OCTOBER</u> , in the year 20 <u>24</u> by <u>JOSE L. GOMEZ</u> who has taken an oath and is <u>personally known to me</u> or has produced <u>as identification</u> .  My Commission Expires: <u>06/17/2025</u>		
 Notary Public			 Notary Public		
					

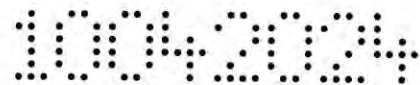
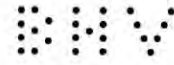


**Applicant / Owner / Architect / Engineer / Affirmation and Consent**



I acknowledge, affirm, and certify to all of the following:

1. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Plan and Code of Ordinances of Bal Harbour Village unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
2. That all the information contained in this application and all documentation submitted herewith is true to the best of (my)(our) knowledge and belief.
3. Understand that the application, all attachments and fees become a part of the official records of Bal Harbour Village and are not returnable.
4. All application representatives have registered with and completed lobbyist forms for the Bal Harbour Village City Clerk's office.
5. Understand that under Florida Law, all the information submitted as part of the application are public records.
6. Failure to provide the information required for submittal/necessary for review by the Architectural Review Board may cause the application to be deferred without review.
7. That applications for Architectural Review Board review require the presence of the applicant and/or architect/engineer at the meeting unless otherwise notified.
8. All fees shall be paid at the time of submittal.
9. A written narrative explaining the architectural style of the proposed building or alteration.
10. I have received consent from the owner of the property to file this application.



**EXHIBIT E**

**REQUEST FOR ADMINISTRATIVE REVIEW OF REVISIONS TO APPROVED ARB SUBMITTAL**

**E-1: BUILDING OR STRUCTURE REVISION TO ARB**

To qualify for an administrative review the proposed revision to the external architectural features must not be a material deviation from the approved ARB plans, specifications, drawings, materials and conditions of approval. The External Architectural features as defined in Section 5.5-2(b)(11) is defined as follows:

*The architectural style and general arrangement of such portion of a building or structure as is designated to be open to view from a public street, place or way, including the kind, color, and texture of the building material of such portion and type of window, doors and lights attached or ground signs, and other fixtures appurtenant to such portion.*

The Building Official determines whether the deviation is material. See 5.5-2(d)(2)

**Submittal Requirements for Administrative Review for Revisions to Approved Building or Structure:**

Architect to submit a signed and sealed narrative explaining the architectural revisions and reason for the revision.

Architect to submit the previously approved ARB project and the proposed revised plans with the revisions bubbled in.

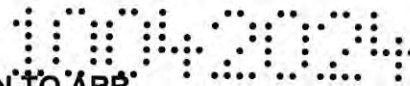
Architect to explain in the narrative how or why the revision is not a material deviation to the architectural design elements as shown in the approved plans.

If the proposed revision involves architectural elements that can be seen from the public ROW they must be minor in nature and not consist of a material deviation from the plans approved by the ARB.

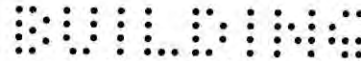
Architect to request meeting with Building Official to present revision and obtain administrative approval.

Approved : \_\_\_\_\_ Denied: \_\_\_\_\_ see attached Deficiency

Building Official Approval Signature: \_\_\_\_\_ Date of Approval: \_\_\_\_\_



**E-2: LANDSCAPE REVISION TO ARB**



**Request for Administrative Review of Revisions to Approved ARB Submittal Landscape Plans**

To qualify for an administrative review the proposed revision to the external architectural features must not be a material deviation from the approved ARB plans, specifications, drawings, materials and conditions of approval. The External Architectural features as defined in Section 5.5-2(b)(11) is defined as follows:

*The architectural style and general arrangement of such portion of a building or structure as is designated to be open to view from a public street, place or way, including the kind, color, and texture of the building material of such portion and type of window, doors and lights attached or ground signs, and other fixtures appurtenant to such portion.*

The Building Official determines whether the deviation is material. See 5.5-2(d)(2)

Landscape Architect to submit a signed and sealed narrative explaining the landscape revisions and reasons for the revision. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.

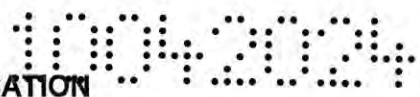
Landscape Architect to submit the previously approved ARB landscape plan and proposed revised plans with the revisions bubbled in.

Landscape Architect to explain in the narrative why the revision to the external landscape architectural features is not a material deviation from the approved ARB plans, specifications, drawings, materials and conditions of approval.

Landscape Architect to request meeting with Building Official and Parks & Public Spaces Director to present revision and obtain administrative approval.

Approved: \_\_\_\_\_ Denied: \_\_\_\_\_ see attached Deficiency

Building Official Approval Signature: \_\_\_\_\_ Date of Approval: \_\_\_\_\_



**E-3: MINOR ARB APPLICATION**

To qualify for an administrative review the proposed minor scope of work as listed on pages 7 thru 9 of the Minor Application Requirements to the external architectural features must not be a material deviation from the existing design of the building or structure.

The External Architectural features as defined in Section 5.5-2(b)(11) is defined as follows:

*The architectural style and general arrangement of such portion of a building or structure as is designated to be open to view from a public street, place or way, including the kind, color, and texture of the building material of such portion and type of window, doors and lights attached or ground signs, and other fixtures appurtenant to such portion.*

The Building Official determines whether the deviation is material. See 5.5-2(d)(2)

**Submittal Requirements for Administrative Review for Revisions to Approved Building or Structure:**

Owner to Architect to submit narrative explaining the architectural revisions and reason for the revision.

If the proposed minor work involves architectural elements that can be seen from the public ROW they must be minor in nature and not consist of a material deviation from the design of the existing building or structure.

Architect to request meeting with Building Official to present revision and obtain administrative approval.

Approved: \_\_\_\_\_ Denied: \_\_\_\_\_ see attached Deficiency

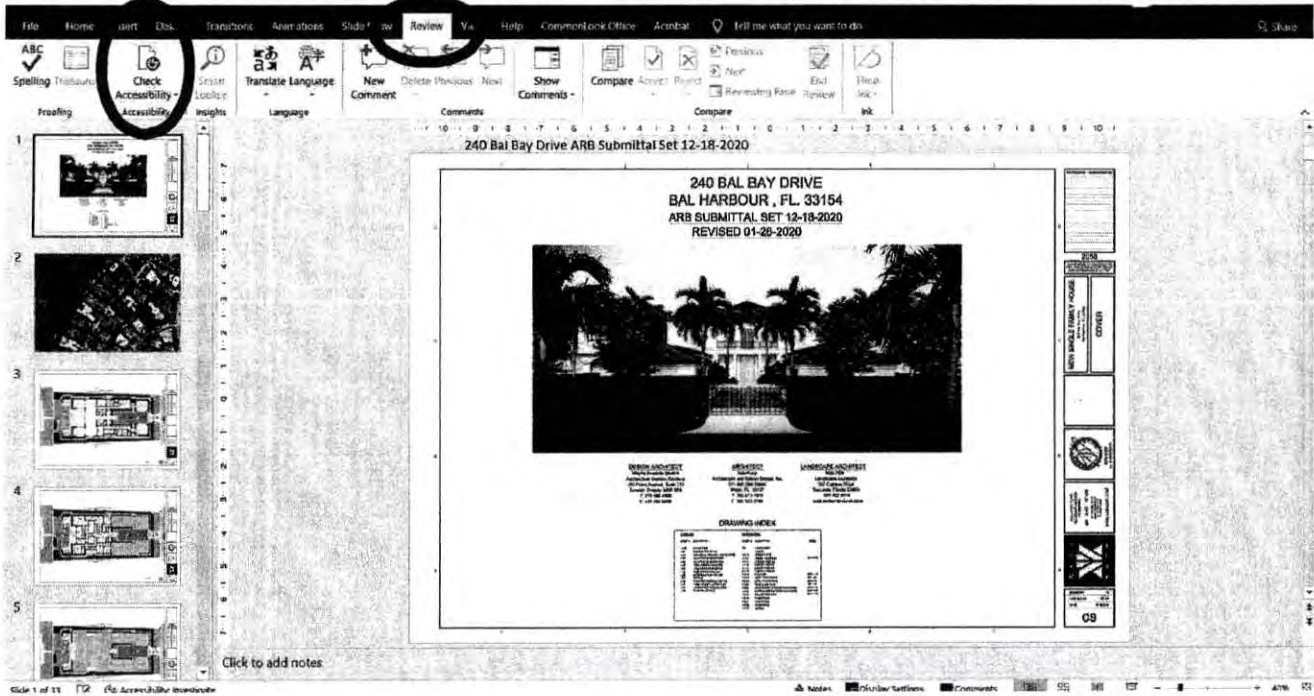
Building Official Approval Signature: \_\_\_\_\_ Date of Approval: \_\_\_\_\_

# EXHIBIT D

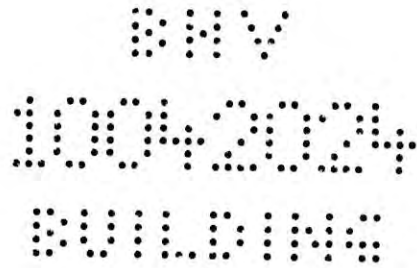


## Instructions for Ensuring the Accessibility of PowerPoint

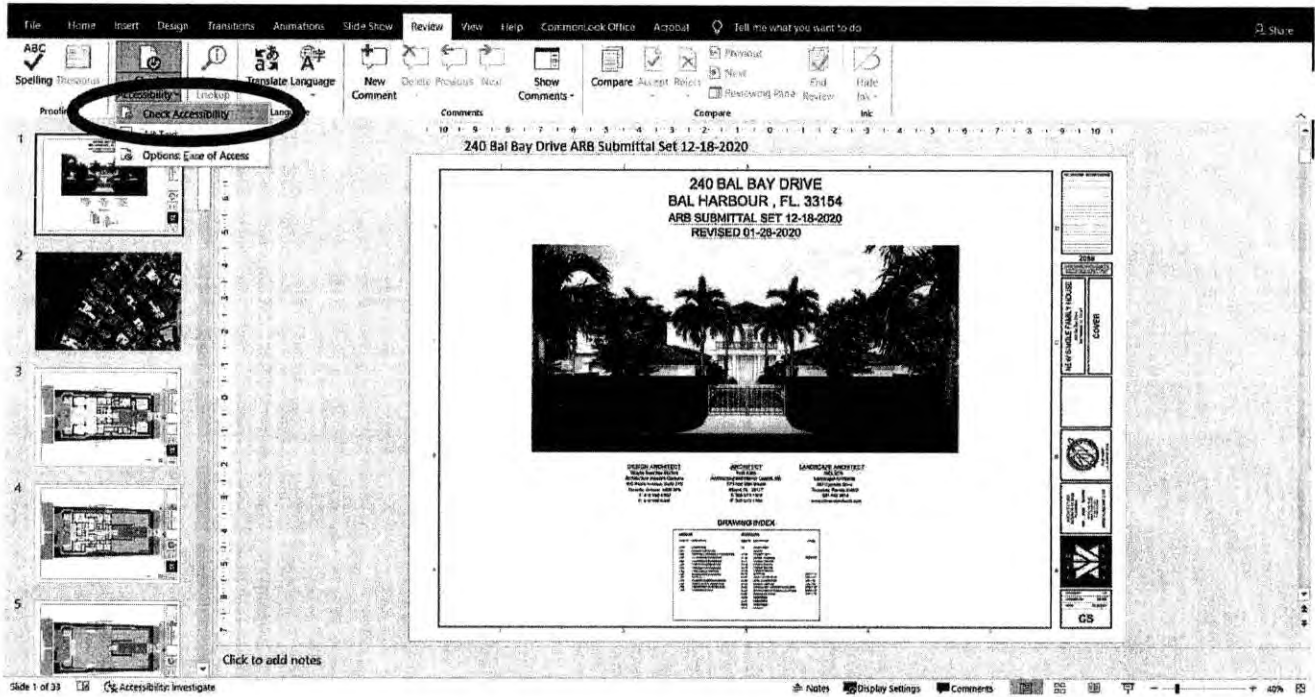
(1) Turn on the Check Accessibility function under the Review Tab in PowerPoint.

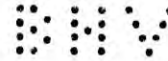






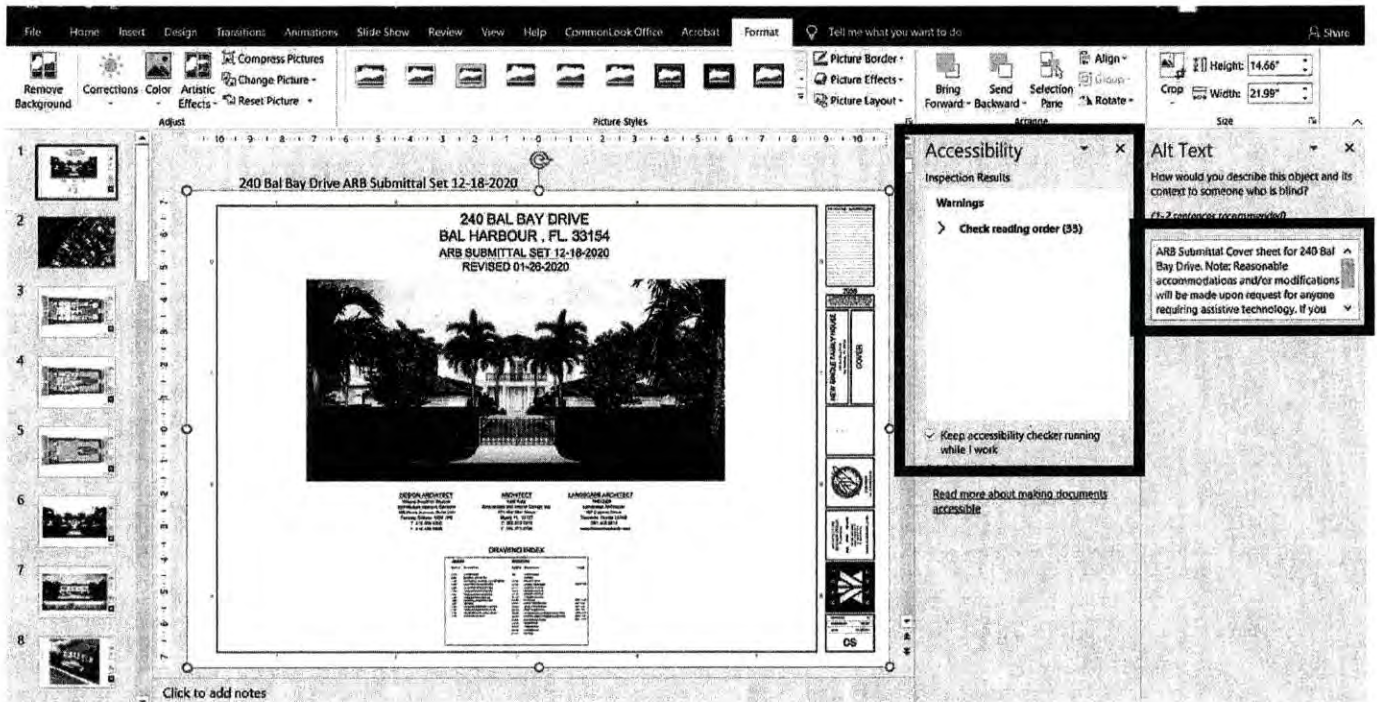
(2) Select Check Accessibility.





(3) Review the inspection results, and address any issues. Please provide alternate text for any images; this will include a brief description of the image, as well as the Village's disclaimer language (below):

*Note: Reasonable accommodations and/or modifications will be made upon request for anyone requiring assistive technology. If you require assistance, please contact us at [webaccessibility@balharbourfl.gov](mailto:webaccessibility@balharbourfl.gov).*





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## ARB REQUIREMENTS

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### ARB SUBMITTAL REQUIREMENTS CONSIST OF TWO (2) PHASES AS DESCRIBED BELOW:

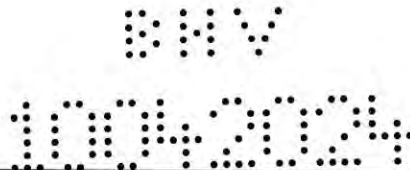
#### PHASE ONE (1) PRELIMINARY REVIEW

1. Please submit to Village Hall two (2) sets of 24"x36" plans to:  
Bal Harbour Village Building Department, 655 96<sup>th</sup> Street, Bal Harbour, FL 33154
2. Original ARB Application (have a copy of the app attached to each plan)
3. Signed and sealed architect's narrative (have a copy of the narrative attached to each plan) together with a pdf and electronic word document on a USB drive.
4. Print out from Miami-Dade Property Appraiser Office
5. Cost estimate/budget proposal for the work
6. Elevation Certificate FEMA FORM 086-0-33 signed by the Florida Licensed Surveyor
7. Survey signed and sealed by a Florida Licensed Surveyor (not older than six months)
8. *\*If the proposed work is a renovation or an addition to the building, submit a new certified appraisal of the structure in order to calculate substantial improvement. The appraisal shall include a separate appraisal cost for the building/structure only and the depreciated value of the building or structure not including the land.*

#### PHASE TWO (2): FINAL SUBMITTAL

The following shall be submitted after the complete submittal has been Approved and ready for ARB meeting.

1. A PDF and Power-point Presentation of the approved ARB submittal that is ADA accessible. Please find attached **Exhibit D** that contains the ADA accessible format for the power-point presentation.



**Major Applications, New Structure, Additions, Remodel**

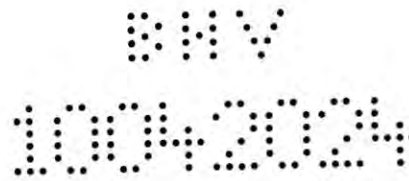
**NOTE:** Please refer to page 1 of the application for instructions regarding submittal requirements for Phase One and Phase Two submittal in addition to the submittal requirements outlined below.

The information provided herein must be true and correct, and the application must be submitted with all of the documents necessary for review by the Board. Failure to provide the information necessary for review by the Board may cause the application to be deferred without review.

- Architectural Review Board fee(s). Posting, resubmittal, and late fees may apply where applicable. All fees must be paid at the time of submittal to secure placement for the meeting's docket (agenda).
- Signed and sealed survey of the property, which is less than 6 (six) months old, accurately reflecting the existing conditions of the property, including: all improvements, site elevations, square footage, structures, sidewalks, crown of road, and **existing trees with three inch or greater caliper trunks within the property and adjacent right-of-way** or a statement by the land surveyor that there are no trees on the property. Properties abutting a waterway or bay must show mangroves, or there are no trees on the property.
- Architectural and Landscaping plans and elevations in color, the architectural plans shall clearly contain a legend that depicts in color the materials used.
- Tree disposition plan, which includes a tree protection plan for all specimen trees on the site and in the public right of way.
- Colored photographs (NO black & white photos) of the building site, any existing structures, and the neighboring structures which show the character of the surrounding neighborhood. (printed on plan sheets)
- Color rendering of street and bayside elevations.
- If you are governed under Homeowners or Condominium Association Covenants, you must receive those approvals prior to submittal.
- Sample Board of Materials

**\*\*Plans must include the following statement below. Fill in the blanks and it must coordinate with information on plans:**

The lot sits on lot/s \_\_\_\_\_ block \_\_\_\_\_, and is located in the \_\_\_\_\_ zoning district of the village residential section. The lot is \_\_\_\_\_ square feet and the applicant is proposing \_\_\_\_\_ on the property \_\_\_\_\_ with \_\_\_\_\_ square feet of conditioned interior space and \_\_\_\_\_ square feet of unconditioned outdoor areas for a total square footage of 43,730.  
The entrance to the residence faces \_\_\_\_\_ and the proposed garage entry does not face the street.



**Minor Applications Requirement Checklist**

**\*\* Please note that the Bal Harbour Village Building Department will be responsible for the classification of the application. Prior to its submittal it will be determining whether the application is going to be considered Minor or Major \*\***

Some of the below listed items may qualify for ARB Administrative Review. ARB Administrative review if permitted by the Building Official are projects that may be approved administratively and do not have to go before the ARB Hearing. Please submit the ARB Administrative Review Application (Exhibit E) along with the items listed below submit the ARB application If it does not qualify you will be informed as soon as possible.

The information provided herein must be true and correct, and the application must be submitted with all of the documents necessary for review by the Board. Failure to provide the information necessary for review by the Board may cause the application to be deferred without review.

- Architectural Review Board fee(s). Posting, resubmittal, and late fees may apply where applicable. All fees must be paid at the time of submittal to secure placement for the meeting's docket (agenda).

**After approved by all parties:**

**Antennas**

- 11" x 17", complete sets of the site plan and detail drawings including building elevation drawings showing the location and size of the antenna and whether it is visible from public view. (a survey cannot serve as the site plan).
- 11" x 17" copies of installation details
- Survey
- 4" x 6" colored photographs (NO black & white photos), printed on 11" x 17" sheets.

**Docks/Moorings/Wharves**

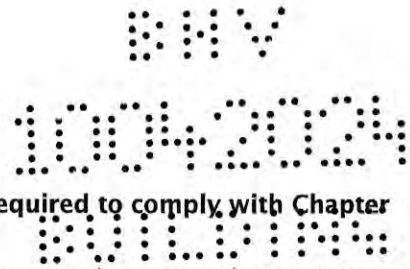
- Plans that include the site plan showing the location of the proposed dock/mooring/wharves and existing mangroves. Plans must show dimensions across waterway and must have preliminary approval from Miami-Dade County Department of Environmental Resources Management.
- 4" x 6" colored photographs (NO black & white photos), printed on 11" x 17" sheets.
- Survey

**Doors/Skylights/Windows**

- Drawings including full floor plan, elevation drawings (1/8" = 1' scale), and details (3/4" = 1' scale). Provide quantity of doors/skylights/windows, color of frames and glass and/or mullions. (a survey cannot serve as the site plan).
- For commercial or multi-unit residential projects, nine (9) copies of building plans, elevation drawings.
- Condominium letter authorization, if applicable.
- 4" x 6" colored photographs (NO black & white photos), printed on 11" x 17" sheets.

**Railings/Ironwork**

- 11" x 17" site plans and elevation drawings (1/4" = 1' scale), installation drawings and details for railings (linear footage, height, color and type of railing). (a survey cannot serve as the site plan).
- 4" x 6" colored photographs (NO black & white photos), printed on 11" x 17" sheets.
- Survey



**Signs (all signs require council approval) and are required to comply with Chapter 15 of the Village Zoning Code.**

- Plans including the following: complete building elevation drawings with signs (1/2" = 1' scale); site plan showing location of signs; detail drawings including anchor patterns, all parts and fasteners, color, dimensions, and style of letters. Include mounting details and electrical drawings, if applicable. Provide drawings and calculations for signs on buildings over three stories in height, for freestanding signs, blade signs, etc. by an engineer. **Include all existing signage.** (A survey cannot serve as the site plan).
- Completed signed and notarized Building Permit Application.
- 4" x 6" colored photographs (NO black & white photos). The submitted photos must show the entire building and the location of the proposed signage, printed on 11" x 17" sheets.
- Photos with the sign superimposed
- Survey, if the sign is not painted directly on the building.



December 18, 2024

Bal Harbour Village  
655 96th Street  
Bal Harbour, FL 33154

Re: Ritz Carlton Bal Harbour  
10295 Collins Avenue  
Bal Harbour, FL 33154

Sir/Madam:

This letter is to advise you that it is the owner's intention to renovate the exterior yard amenities, which will include:

- New spa within existing pool
- New outdoor bar structure to serve outdoor spaces adjacent to new pool
- New pool and extended pool deck with new shade elements (new pavers proposed)
- Outdoor cabanas as accessory structures
- New outdoor furniture for existing and new paved pool decks
- New exterior open stair connecting ground level pool deck with existing second floor deck

Your kind consideration would be greatly appreciated. In the meantime, please give us a call if you have any questions.

Respectfully,

Jose L. Gomez, AIA  
Beilinson\_Gomez Architects P.A.  
Florida Registered Architect, License # AR001546

JLG/mev



# OFFICE OF THE PROPERTY APPRAISER

## Detailed Report

Generated On: 12/19/2024

PROPERTY INFORMATION	
<b>Folio</b>	12-2226-044-0001 (Reference)
<b>Property Address</b>	0 , FL
<b>Owner</b>	REFERENCE ONLY
<b>Mailing Address</b>	
<b>Primary Zone</b>	5000 HOTELS & MOTELS - GENERAL
<b>Primary Land Use</b>	0000 REFERENCE FOLIO
<b>Beds / Baths /Half</b>	0 / 0 / 0
<b>Floors</b>	0
<b>Living Units</b>	0
<b>Actual Area</b>	0 Sq.Ft
<b>Living Area</b>	0 Sq.Ft
<b>Adjusted Area</b>	0 Sq.Ft
<b>Lot Size</b>	0 Sq.Ft
<b>Year Built</b>	0



ASSESSMENT INFORMATION			
Year	2024	2023	2022
<b>Land Value</b>	\$0	\$0	\$0
<b>Building Value</b>	\$0	\$0	\$0
<b>Extra Feature Value</b>	\$0	\$0	\$0
<b>Market Value</b>	\$0	\$0	\$0
<b>Assessed Value</b>	\$0	\$0	\$0

BENEFITS INFORMATION				
Benefit	Type	2024	2023	2022
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).				

TAXABLE VALUE INFORMATION			
Year	2024	2023	2022
<b>COUNTY</b>			
<b>Exemption Value</b>	\$0	\$0	\$0
<b>Taxable Value</b>	\$0	\$0	\$0
<b>SCHOOL BOARD</b>			
<b>Exemption Value</b>	\$0	\$0	\$0
<b>Taxable Value</b>	\$0	\$0	\$0
<b>CITY</b>			
<b>Exemption Value</b>	\$0	\$0	\$0
<b>Taxable Value</b>	\$0	\$0	\$0
<b>REGIONAL</b>			
<b>Exemption Value</b>	\$0	\$0	\$0
<b>Taxable Value</b>	\$0	\$0	\$0

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>





# OFFICE OF THE PROPERTY APPRAISER

Generated On: 12/19/2024

## Property Information

Folio: 12-2226-044-0001

Property Address: 0

## Roll Year **2024** Land, Building and Extra-Feature Details

LAND INFORMATION					
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value

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# OFFICE OF THE PROPERTY APPRAISER

Generated On: 12/19/2024

## Property Information

Folio: 12-2226-044-0001

Property Address: 0

## Roll Year **2023** Land, Building and Extra-Feature Details

LAND INFORMATION					
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value

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# OFFICE OF THE PROPERTY APPRAISER

Generated On: 12/19/2024

## Property Information

Folio: 12-2226-044-0001

Property Address: 0

## Roll Year **2022** Land, Building and Extra-Feature Details

LAND INFORMATION					
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value

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# OFFICE OF THE PROPERTY APPRAISER

Generated On: 12/19/2024

## Property Information

**Folio:** 12-2226-044-0001

**Property Address:** 0

FULL LEGAL DESCRIPTION
THE RESIDENCES @ ONE BAL HARBOR CONDO
BAL HARBOUR OCEAN FRONT ADD
PB 57-68 A PORT OF TRACT E
AS DESC INDECL OR 26014-0098
& PORT LYING EAST & ADJANCENT
WEST EROSION LINE PER
PB 105-62
LOT SIZE 216090 SQ FT M/L
FAU 12 2226 005 0030
NAME CHANGE AMDT OR 29342-4379
FKA 10295 COLLINS AVE AT RESIDENTIAL CONDO

SALES INFORMATION			
Previous Sale	Price	OR Book-Page	Qualification Description

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# BAL HARBOUR

- VILLAGE -

## ARCHITECTURAL REVIEW BOARD 2025 DEADLINES

DRAFT DOCUMENTS DUE TO BUILDING OFFICIAL	BUILDING OFFICIAL FINAL DOCUMENT APPROVAL	DOCUMENTS DUE TO VILLAGE CLERK: POST TO PROPERTIES	DOCUMENTS SENT TO ARB MEMBERS, POST AGENDA ONLINE, SEND CONSTANT CONTACT	ARB HEARING DATE
Friday, November 22, 2024	Monday, December 23, 2024	Friday, January 10, 2025	Thursday, January 16, 2025	Thursday, January 23, 2025
Friday, December 6, 2024	Monday, January 6, 2025	Friday, January 24, 2025	Thursday, January 30, 2025	Thursday, February 6, 2025
Friday, January 3, 2025	Monday, February 3, 2025	Friday, February 21, 2025	Thursday, February 27, 2025	Thursday, March 6, 2025
Friday, January 31, 2025	Monday, March 3, 2025	Friday, March 21, 2025	Thursday, March 27, 2025	Thursday, April 3, 2025
Friday, February 28, 2025	Monday, March 31, 2025	Friday, April 18, 2025	Thursday, April 24, 2025	Thursday, May 1, 2025
Friday, April 4, 2025	Monday, May 5, 2025	Friday, May 23, 2025	Thursday, May 29, 2025	Thursday, June 5, 2025
Friday, May 2, 2025	Monday, June 2, 2025	Friday, June 20, 2025	Thursday, June 26, 2025	Thursday, July 3, 2025
August Recess				
Friday, July 4, 2025	Monday, August 4, 2025	Friday, August 22, 2025	Thursday, August 28, 2025	Thursday, September 4, 2025
Friday, August 1, 2025	Monday, September 1, 2025	Friday, September 19, 2025	Thursday, September 25, 2025	Thursday, October 2, 2025
Friday, September 5, 2025	Monday, October 6, 2025	Friday, October 24, 2025	Thursday, October 30, 2025	Thursday, November 6, 2025
Saturday, October 4, 2025	Monday, November 3, 2025	Friday, November 21, 2025	Thursday, November 27, 2025	Thursday, December 4, 2025

Yom Kippur