BAL HARBOUR

- VILLAGE -

Reinaldo Borges, Chair Amanda Barton, Board Member Jose L. Gomez, Board Member Brett Schlacter, Board Member Nathan VanDeman, Board Member Village Manager Jorge M. Gonzalez Village Clerk Dwight S. Danie Building Director Eliezer Palacio Village Attorneys Weiss Serota Helfman Cole & Bierman, PA

ARCHITECTURAL REVIEW BOARD

REGULAR MEETING AGENDA OCTOBER 16, 2025

AT 1:00 P.M.

Bal Harbour Village Hall • 655 - 96th Street • Bal Harbour • Florida 33154

This meeting will be conducted in-person. The meeting will also be broadcast on the Village's website (www.balharbourfl.gov) and members of the public are encouraged to participate by calling 305-865-6449 by emailing meetings@balharbourfl.gov before and during the meeting.

- 1 CALL TO ORDER / ROLL CALL
- 2 PLEDGE OF ALLEGIANCE
- 3 APPROVAL OF MINUTES
- ARB-HEARINGS Please be advised that the following item on the agenda is quasijudicial in nature. If you wish to comment upon an item, please inform the Chairman
 when he asks for public input on the item. An opportunity for persons to speak will
 be made available after the applicant and staff have made their presentations on
 each item. All testimony, including public testimony and evidence, will be made
 under oath or affirmation. Additionally, each person who gives testimony may be
 subject to cross-examination. If you refuse either to be cross-examined or to be
 sworn, your testimony will be given its due weight. The general public will not be
 permitted to cross-examine witnesses, but the public may request the Architectural
 Review Board to ask questions of staff or witnesses on their behalf. Persons
 representing organizations must present evidence of their authority to speak for their
 organization. Further details of the quasi-judicial procedures may be obtained from
 the Clerk.

(Disclosure of Ex-Parte Communications)

(Swearing-In by Village Clerk)

4.1 ARB-2025-0011

271 Bal Cross Drive, Bal Harbour FL, 33154 Architect: Zbigniew W. Jarosz Architect, P.A.

Owner: Katie Taylor Chaplin

New 2-Story Single-Family Residence

- 1- ARB2025-0011 271 BAL CROSS DR -MEMORANDUM.pdf
- 2- ARB2025-0011 271 BAL CROSS DR POWERPOINT PRESENTATION.pdf
- 3- ARB2025-0011 271 BAL CROSS DR APPLICATION.pdf 4- ARB2025-0011 - 271 BAL CROSS DR - NARRATIVE.pdf
- 5- ARB2025-0011 271 BAL CROSS DR PROPERTY APPRAISER.pdf
- **5 OTHER BUSINESS**
- **6 PUBLIC COMMENT**
- 7 ADJOURNMENT

One or more members of any Village Committee/Board may attend this meeting of the Council and may discuss matters which may later come before their respective Boards/Committees. The New Business and Council Discussion Section includes a section for Public Comment. On public comment matters, any person is entitled to be heard by this Council on any matter; however, no action shall be taken by the Council on a matter of public comment, unless the item is specifically listed on the agenda, or is added to the agenda by Council action. Any person who acts as a lobbyist, pursuant to Village Code Section 2-301 (Lobbyists), must register with the Village Clerk, prior to engaging in lobbying activities before Village staff, boards, committees, and/or the Village Council. A copy of the Ordinance is available in the Village Clerk's Office at Village Hall.

If a person decides to appeal any decision made by the Village Council with respect to any matter considered at a meeting or hearing, that person will need a record of the proceedings and, for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (F.S. 286.0105).

In accordance with the Americans with Disabilities Act of 1990, all persons who are disabled and who need special accommodations to participate in this proceeding because of that disability should contact the Village Clerk's Office (305-866-4633), not later than two business days prior to such proceeding. All Village Council meeting attendees, including Village staff and consultants, are subject to security screening utilizing a metal detector and/or wand, prior to entering the Council Chamber, Conference Room, or other meeting area located within Village Hall. This is for the safety of everyone. Thanks for your cooperation.

BAL HARBOUR

- VILLAGE -

Reinaldo Borges, Chair Amanda Barton, Board Member Jose L. Gomez, Board Member Brett Schlacter, Board Member Nathan VanDeman, Board Member Village Manager Jorge M. Gonzalez Village Clerk Dwight S. Danie Building Director Eliezer Palacio Village Attorneys Weiss Serota Helfman Cole & Bierman, PA

ARCHITECTURAL REVIEW BOARD

REGULAR MEETING MINUTES SEPTEMBER 4, 2025

AT 1:00 P.M.

Bal Harbour Village Hall • 655 - 96th Street • Bal Harbour • Florida 33154

This meeting was conducted in-person. The meeting was also broadcast on the Village's website (www.balharbourfl.gov) and members of the public were encouraged to participate by calling 305-865-6449 by emailing meetings@balharbourfl.gov before and during the meeting.

1 CALL TO ORDER / PLEDGE OF ALLEGIANCE- The meeting was called to order at 1:10 PM. Acting Chair Nathan VanDeman.

The following Board Members were present:

Nathan VanDeman, Acting Chair

Brett Schlacter

Amanda Barton

The following were not present:

Reinaldo Borges, Chair

Jose Gomez

The following were also present:

Eliezer Palacio, Building Director

Dwight Danie, Village Clerk

Susan Trevarthen, Village Attorney

- **PLEDGE OF ALLEGIANCE-** The Pledge of Allegiance was led by Acting Chair Nathan VanDeman
- 3 APPROVAL OF MINUTES
 - **3.1** January 23, 2025 ARB Minutes

MOTION: A Motion to approve the minutes was moved by Amanda Barton and seconded by Brett Schlacter.

VOTE: The Motion passed by unanimous voice vote (3-0).

4 ARB-HEARINGS -

Ms. Trevarthen read the quasi-judicial procedures statement. She then asked the Board members to disclose ex parte communications, to which Board members responded that they had none to disclose. The Village Clerk swore in all those who would be providing testimony.

4.1 REVAR-2025-0008

174 Camden Drive, Bal Harbour FL, 33154 Architect(s): Bryan Brown Architects, LLC

Owners: 174 Camden, LLC Revision to Exterior of Home

Jeff Breitinger, Bryan Brown Architects, LLC, said that the project at 174 Camden Drive had originally been approved about a year and a half earlier and that the revised plan was focused on material changes to the exterior. He said that the owner wanted to explore alternatives to the travertine, replacing it with stucco in areas not visible from the street. He said that the glass railings would be replaced with a cable rail system.

Mr. Schlacter said that the revisions still looked beautiful and achieved cost savings, and that he had no objections.

Acting Chair VanDeman asked whether the stone on the front elevation would wrap the corner, to which Mr. Breitinger responded that the stone would continue on the right side of the front wall, wrapping to the garage, before transitioning to stucco, while the left side would be entirely stucco. Acting Chair VanDeman said that he had no concerns with the revisions.

Ms. Barton said that she thought the change to vertical wood at the entry was clean and attractive, adding that she had no concerns.

The Village Clerk an email from resident Neca Logan, 64 Camden Drive, saying that changing the walls and parapet to stucco was a great idea and made the home look cleaner. She said that she did not support the change from glass to cable railings, noting that the glass had been nearly invisible and that the cable system introduced an element she thought the homeowners would later regret. She said that the bronze doors on the east and west were overwhelming and emphasized that landscaping would be critical to soften the structure and add individuality.

MOTION: A Motion to approve the project as presented with the conditions proposed by the Building Official was moved by Brett Schlacter and seconded by Acting Chair Nathan VanDeman.

The Building Official's conditions are as follows.

- 1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
- 2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
- 3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences, and landscape plantings.
- 4. Any new hedge must be planted at least 10' from the edge of the curb.
- 5. Any new trees must be planted at least 10' from the edge of the curb.
- 6. All Electrical, Mechanical and Plumbing equipment are required to be 1.0 foot above B.F.E. (Base Flood Elevation) per F.B.C. & A.S.C.E. 24 and cannot infringe upon the building setbacks.
- 7. Flood Design Data is required to be in accordance to F.B.C., Section 1603.1.7. & A.S.C.E. 24.
- 8. Architect to provide an Elevation Certificate FEMA Form 086-0-33, for proposed construction that complies with F.B.C. 322 & A.S.C.E. 24.
- 9. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
- 10. The Project shall comply with Section 21-127, a, b, and c regarding setbacks in the R-2 Zoning District.
- 11. The Project shall comply with Section 21-125, maximum building height of 30 ft. in the R-2 Zoning District.
- 12. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
- 13. If any portion of the landscaping, fence, or any other permitted item will be located within the five-foot easement at the front or side of the property, then prior to the issuance of a required permit or permit revision to the master building permit, the Owner of the Project described herein shall execute "Hold Harmless Agreement" as a condition precedent to permit issuance.
- 14. If the proposed landscape and hardscape design conflicts with the Village's stormwater infrastructure system, the Architect and Civil Engineer are required to resolve prior to permit issuance. Any revisions required to the hardscape or landscape shall be bought before the ARB, if applicable, or be administratively approved prior to permit.
- 15. Perimeter landscaping required by the certificate of appropriateness must be maintained by the property owner in accordance with the standards of the code.
- 16. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
- 17. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.

18. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

VOTE: The Motion passed by unanimous voice vote (3-0).

4.2 ARB-2025-0002

101 Bal Cross Drive, Bal Harbour FL, 33154 Architect(s): Ramos Architects Owners: 101 Bal Cross Drive, LLC New House in a Vacant Lot

Jose Ramos, Ramos Architects, introduced the project saying that it was a new two-story home on an empty lot. He said that the design followed all setback requirements, both horizontal and vertical, and that the setbacks helped break up the mass of the home so it did not appear boxy. He described the design as modern, and that a band element around the roof created depth and variation, while aluminum railings and stepped facades added visual interest. He described the use of a glass garage door, explaining that it matched the home's modern aesthetic and would blend with the glass and stucco design rather than appearing as a typical wood or metal garage door.

Ms. Barton asked about the reasoning behind the glass garage door and that she had concerns about visibility of garage contents from the street, to which Mr. Ramos said that the intent was to make the garage appear integrated with the house, not as a separate elements and that the garage was not directly visible from the street.

Acting Chair VanDeman noted that the landscape plan shown in renderings appeared different from what was actually submitted. He said that the proposed plant palette seemed reminiscent of commercial properties than the tropical landscaping typically expected in the community. He suggested a condition that the planting plan be revisited to include more subtropical or native plants.

Mr. Palacio said that if the landscaping plan submitted did not meet the intent of the board's guidance, the planning and landscaping reviewer could require revisions later.

Mr. Schlacter said that large planting beds at the front of the property could limit usable space for children and families and he suggested keeping the possibility of open green space in mind, since many families in the neighborhood use front yards as play areas due to limited backyard space.

Ms. Barton again expressed her concern about visibility into the garage and recommended alternatives such as frosted or reflective glass saying that this could protect privacy and maintain aesthetics. She proposed making this suggestion a condition for approval. Mr. Schlacter said that a suggestion might be better as a recommendation rather

than a condition, since some families might prefer the open look and natural light. Mr. Palacio explained that if glass was altered after installation with film or coatings, it could void the product approval, so the decision needed to be carefully considered.

The Village Clerk read a public comment from resident Neca Logan, 64 Camden Drive saying that she thought the design as plain and unexceptional. She said that a swing set or other children's structures would likely end up in the front yard due to limited rear yard space. She also questioned whether the driveway was sufficient for a home with six bedrooms and recommended strengthening the landscaping plan.

There was a general consensus from the to frame the landscape revision as a condition of approval–requiring subtropical or native plantings—while the issue of the garage glass would be left as a non-binding recommendation for the applicant's discretion.

MOTION: A Motion to approve the project as presented with the Board condition to require subtropical and native plantings, and the conditions proposed by the Building Official was moved by Amanda Barton and seconded by Acting Chair Nathan VanDeman.

The Building Official's conditions are as follows.

- 1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
- 2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
- 3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences, and landscape plantings.
- 4. Any new hedge must be planted at least 10' from the edge of the curb.
- 5. Any new trees must be planted at least 10' from the edge of the curb.
- 6. All Electrical, Mechanical and Plumbing equipment are required to be 1.0 foot above B.F.E. (Base Flood Elevation) per F.B.C. & A.S.C.E. 24 and cannot infringe upon the building setbacks.
- 7. Flood Design Data is required to be in accordance to F.B.C., Section 1603.1.7. & A.S.C.E. 24.
- 8. Architect to provide an Elevation Certificate FEMA Form 086-0-33, for proposed construction that complies with F.B.C. 322 & A.S.C.E. 24.
- 9. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
- 10. The Project shall comply with Section 21-127, a, b, and c regarding setbacks in the R-2 Zoning District.
- 11. The Project shall comply with Section 21-125, maximum building height of 30 ft. in the R-2 Zoning District.
- 12. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of

- the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
- 13. If any portion of the landscaping, fence, or any other permitted item will be located within the five-foot easement at the front, rear or side of the property, then prior to the issuance of a required permit or permit revision to the master building permit, the Owner of the Project described herein shall execute "Hold Harmless Agreement" as a condition precedent to permit issuance.
- 14. If the proposed landscape and hardscape design conflicts with the Village's stormwater infrastructure system, the Architect and Civil Engineer are required to resolve prior to permit issuance. Any revisions required to the hardscape or landscape shall be bought before the ARB, if applicable, or be administratively approved prior to permit.
- 15. Perimeter landscaping required by the Certificate of Appropriateness must be maintained by the property owner in accordance with the standards of the Code.
- 16. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
- 17. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
- 18. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

VOTE: The Motion passed by unanimous voice vote (3-0).

4.3 REVAR-2025-0013

209 Bal Bay Drive, Bal Harbour FL, 33154 Architect(s): Cheryl Bassan Owners: Debbie & Jerome Falic New Tennis Court & Pergola

Mr. Palacio described the project saying that that the project had previously been presented and approved in June 2024, adding that the applicant had submitted written confirmation acknowledging the eighteen conditions of approval required by the building official. He confirmed that staff and the Zoning consultant had reviewed the revision and agreed that it complied with the Appearance Code and Zoning Ordinance.

Denise Preschel, Cheryl Bassan, said that that her client originally planned to construct a 900-square-foot enclosed gazebo as part of a new tennis court project, but after value engineering decided to simplify the design with the revised plan replacing the gazebo with a 200-square-foot open pergola. She showed side-by-side comparisons of the previously approved design and the new proposal, noting that while the accessory structure was reduced in size, the tennis court remained unchanged. She said that the

pergola, being open and built at grade, eliminated the need for the elevated slab, stairs, and ramps that the gazebo design had required to meet FEMA standards.

Acting Chair VanDeman said that although the original pavilion had been an impressive design, the simplified pergola was still attractive and appropriate, especially since it would not be visible from the street.

Ms. Barton remarked that she found the revised pergola to be a beautiful and simple intervention that complemented the tennis court and surrounding structures.

The Village Clerk read a public comment submitted by Neca Logan, 64 Camden Drive, saying that the landscaping appeared lush and would help offset the scale of the tennis court, and suggesting that the connection between the two combined lots–209 Bal Bay and 160 Biscay–could be reconsidered to better embrace the new arrangement.

Mr. Schlacter said that he supported the revision.

MOTION: A Motion to approve the project as presented with the conditions proposed by the Building Official was moved by Brett Schlacter and seconded by Acting Chair Nathan VanDeman.

The Building Official's conditions are as follows.

- 1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
- 2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
- 3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences, and landscape plantings.
- 4. Any new hedge must be planted at least 10' from the edge of the curb.
- 5. Any new trees must be planted at least 10' from the edge of the curb.
- 6. All Electrical, Mechanical and Plumbing equipment are required to be 1.0 foot above B.F.E. (Base Flood Elevation) per F.B.C. & A.S.C.E. 24 and cannot infringe upon the building setbacks.
- 7. Flood Design Data is required to be in accordance to F.B.C. 2023, Section 1603.1.7. & A.S.C.E. 24.
- 8. Architect to provide an Elevation Certificate FEMA Form 086-0-33, for proposed construction that complies with F.B.C. 322 & A.S.C.E. 24.
- 9. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
- 10. The Project shall comply with Section 21-127, a, b, and c regarding setbacks in the R-2 Zoning District.
- 11. The Project shall comply with Section 21-125, maximum building height of 30 ft. in the R-2 Zoning District.

- 12. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
- 13. If any portion of the landscaping, fence, or any other permitted item will be located within the five-foot easement at the front and rear or side of the property, then prior to the issuance of a required permit or permit revision to the master building permit, the Owner of the Project described herein shall execute "Hold Harmless Agreement" as a condition precedent to permit issuance.
- 14. If the proposed landscape and hardscape design conflicts with the Village's stormwater infrastructure system, the Architect and Civil Engineer are required to resolve prior to permit issuance. Any revisions required to the hardscape or landscape shall be brought before the ARB, if applicable, or be administratively approved prior to permit.
- 15. Perimeter landscaping required by the Certificate of Appropriateness must be maintained by the property owner in accordance with the standards of the Code.
- 16. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
- 17. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
- 18. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

VOTE: The Motion passed by unanimous voice vote (3-0).

4.4 ARB-2024-0016

10275 Collins Avenue, Bal Harbour FL, 33154

Architect(s): Pistorino & Alam

Owners: Harbour House Condominium Association

Amenity Deck Renovation

Mr. Palacio introduced the item by explaining that the project involved amenity deck renovations and said that the applicant had provided written confirmation acknowledging eight conditions, and that both staff and the Planning and Zoning consultant had reviewed the plans and confirmed compliance with the Appearance Code and Zoning Ordinance.

Scott Davidson, Pistorino and Alam, the landscape architect and designer, presented the project on behalf of the condominium association. He said that the renovation was primarily driven by the need for waterproofing, requiring the entire deck to be removed and rebuilt. He described a pergola proposed to provide shaded dining areas, and said that additional cabanas and lounge spaces were included along the sides of the deck.

He described new porcelain decking with wood-look finishes, refinished pool surfaces, and new landscaping with palms and hardy species suited to the coastal environment. He said that the project also included a children's area with a kiddie pool, rubberized play surface, and covered playground, as well as hammocks and dune-like artificial turf mounds to evoke a natural beach feel.

Ms. Barton asked about the finishes and where specific materials would be used to which Mr. Davidson explained the placement of stone, porcelain, and tile finishes across the deck, pool, and columns and that while renderings showed a wood look, the actual structures would be aluminum with a brown powder-coated finish to match.

Acting Chair VanDeman praised the overall layout and functionality of the design, noting that the organization of spaces along two axes felt clear and resort-like, and suggested that more shade be considered. He asked about a blank storage area to the west of the children's area to which Mr. Davidson said that emergency access limits required that section to remain unused, though it would be screened with fencing.

Ms. Barton agreed that more shade was an important consideration, recommending that tensile or other shade structures might be considered in the future.

Mr. Schlacter praised the plan saying that the residents should be pleased with the transformation.

The Village Clerk read an email from Neca Logan,64 Camden Drive saying that the project was large but appeared to successfully modernize the space and create new amenities, with choices that fit the ambiance of the east side of the community.

MOTION: A Motion to approve the project as presented with the conditions proposed by the Building Official was moved by Amanda Barton and seconded by Brett Schlacter.

The Building Official's conditions are as follows.

- 1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
- 2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
- 3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences and landscape plantings.
- 4. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
- 5. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review

- and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
- 6. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
- 7. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
- 8. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

VOTE: The Motion passed by unanimous voice vote (3-0).

4.5 ARB 2025-0006

122 Bal Bay Drive, Bal Harbour FL, 33154 Architect(s): Joseph B. Kaller and Associates

Owners: Jerome Falic & Debbie Falic

Exterior Site Renovation, Landscaping, Exterior Kitchen, Rolling Gate

Mr. Palacio present the project saying that it involved a site renovation for an existing single-family residence. He said that the applicant had acknowledged the his eighteen conditions of approval and that both staff and the Planning and Zoning consultant agreed the project complied with the Appearance Code and Zoning Ordinance requirements.

Joseph Kaller, Joseph BI Kaller and Associates, said that the house was originally built in 1987 and consisted of a two-story main residence at the rear near the water, along with a one-story service quarter and two-car garage near the street. He said that the site had been heavily paved over the years, leaving only about 24% green area, which he said was far too little and that this renovation sought to reverse that by removing significant paved areas, adding landscaping, and increasing green space to 42.32%. He described the project as an exterior upgrade following a recent interior renovation and terrace addition done under a separate permit.

He said that large paved areas would be replaced with sod and new landscaping, while remaining paved surfaces would be redone with new travertine pavers and tiles. He showed renderings and plans that emphasized tropical planting choices and water-efficient design. He said that a new canopy would be added to provide a shaded outdoor living area connecting directly to the dining and living rooms, and that the front fence would also be upgraded, replacing a solid masonry wall with a more decorative picket-style design and an automatic gate. He added that stainless steel cable railings were proposed for upper levels to replace older features.

Mr. Schlacter disclosed that he was friends with the property owners and had once spoken with them about landscaping materials, adding that he had not reviewed the plans beforehand.

Acting Chair VanDeman asked about a rendering that showed sod areas directly in front of certain windows, questioning whether this space could have been planted differently. Mr. Kaller said that the landscape architect had chosen to bookend planting beds at the sides, leaving sod in front of the central window for unobstructed views. He said that the design could be revisited if necessary but noted that the current plan already met code and doubled the property's pervious surface. Acting Chair VanDeman said that while the plan looked good overall, he found the sod-only approach somewhat plain and had expected a mix of plantings.

Mr. Schlacter supported the design, noting that the sod area in front was also highly usable for families with children, since the rear yard had limited green space. He praised the overall renovation, saying the house looked beautiful from the street and that the project was a strong enhancement to the neighborhood.

The Village Clerk read an email from Neca Logan, 64 Camden Drive, saying that the design of the gates as "boring and uninspired" but that she welcomed the addition of sod and landscaping. She also said the updated pavers would be a nice improvement.

Acting Chair VanDeman asked about the street-side area between the property line and the right-of-way, noting that there did not appear to be understory landscaping. He said that if that area was Village property, it would be up to the municipality to decide whether to add planting, though in his view, it would enhance privacy and soften the fence line.

MOTION: A Motion to approve the project as presented with the conditions proposed by the Building Official was moved by Brett Schlacter and seconded by Acting Chair Nathan VanDeman.

The Building Official's conditions are as follows.

- 1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
- 2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
- 3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences and landscape plantings.
- 4. Any new hedge must be planted at least 10' from the edge of the curb (existing hedge may remain).
- 5. Any new trees must be planted at least 10' from the edge of the curb (existing trees/palms may remain).
- 6. All Electrical, Mechanical and Plumbing equipment are required to be 1.0 foot above B.F.E. (Base Flood Elevation) per F.B.C. & A.S.C.E. 24 and cannot infringe upon the building setbacks.
- 7. Flood Design Data is required to be in accordance to F.B.C. 2023, Section 1603.1.7. & A.S.C.E. 24.

- 8. Architect to provide an Elevation Certificate FEMA Form 086-0-33, for proposed construction that complies with F.B.C. 322 & A.S.C.E. 24.
- 9. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
- 10. The Project shall comply with Section 21-102 (a) and (b) regarding setbacks in the R-1 Zoning District.
- 11. The Project shall comply with Section 21-100, maximum building height of 35 ft. in the R-1 Zoning District.
- 12. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
- 13. If any portion of the landscaping, fence, or any other permitted item will be located within the five-foot easement at the front or side of the property, then prior to the issuance of a required permit or permit revision to the master building permit, the Owner of the Project described herein shall execute "Hold Harmless Agreement" as a condition precedent to permit issuance.
- 14. If the proposed landscape and hardscape design is in conflict with the Village's stormwater infrastructure system, the Architect and Civil Engineer are required to resolve prior to permit issuance. Any revisions required to the hardscape or landscape shall be bought before the ARB, if applicable, or be administratively approved prior to permit.
- 15. Perimeter landscaping required by the Certificate of Appropriateness must be maintained by the property owner in accordance with the standards of the Code.
- 16. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
- 17. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
- 18. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

VOTE: The Motion passed by unanimous voice vote (3-0).

4.6 ARB 2025-0003

226 Bal Cross drive, Bal Harbour FL, 33154 Architect(s): Joseph B. Kaller and Associates

Owners: Fair & Swanson Holdings, Inc.

Front Facade Renovation, Landscaping, Refinish Existing Vertical Wall

Joseph Kaller, Joseph B. Kaller and Associates, said that the project was focused on upgrading and enhancing the front façade of the existing one-story residence. He described the house as almost courtyard-like in design, with an interior open space,

and noted that the goal was to give the home a more contemporary look. He said that the revisions would focus on new façade treatments with contemporary materials, colors, and textures, including porcelain tile accents, fresh paint, and a redesigned entryway.

He said that an existing vertical tower would be clad in a new composite vertical slatted material to create a stronger focal point at the entry and that a new front door would feature a modern design with a large handle, and the porch and steps would be rebuilt for a more inviting approach. He said that the driveway, which was currently asphalt, would be completely redone in pavers to harmonize with the updated façade, and that landscaping would be refreshed with a Florida natural theme to frame the improvements.

The Village Clerk read an email from Neca Logan, 64 Camden Drive, praising the overall update, and noting that new pavers, paint, and landscaping would greatly enhance the façade of what she described as a tired-looking home. She questioned why the pavers were not extended all the way back to the garage, suggesting it would create a more seamless look.

Acting Chair VanDeman asked for clarification on the extent of the new paver installation, pointing out a transition band shown in the plans, to which Mr. Kaller said that the pavers would extend over the entire drivable area, stopping at a logical break point, and that much of the rear portion of the drive was concrete rather than asphalt. He said that the project did cover all main drivable areas and that the transition would be far back on the site, not visible from the street.

MOTION: A Motion to approve the project as presented with the conditions proposed by the Building Official was moved by Amanda Barton and seconded by Acting Chair Nathan VanDeman.

The Building Official's conditions are as follows.

- 1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
- 2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
- 3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences, and landscape plantings.
- 4. Any new hedge must be planted at least 10' from the edge of the curb.
- 5. Any new trees must be planted at least 10' from the edge of the curb.
- 6. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.

- 7. The Project shall comply with Section 21-127, a, b, and c regarding setbacks in the R-2 Zoning District.
- 8. The Project shall comply with Section 21-125, maximum building height of 30 ft. in the R-2 Zoning District.
- 9. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
- 10. If any portion of the landscaping, fence, or any other permitted item will be located within the five-foot easement at the front or side of the property, then prior to the issuance of a required permit or permit revision to the master building permit, the Owner of the Project described herein shall execute "Hold Harmless Agreement" as a condition precedent to permit issuance.
- 11. If the proposed landscape and hardscape design conflicts with the Village's stormwater infrastructure system, the Architect and Civil Engineer are required to resolve prior to permit issuance. Any revisions required to the hardscape or landscape shall be bought before the ARB, if applicable, or be administratively approved prior to permit.
- 12. Perimeter landscaping required by the Certificate of Appropriateness must be maintained by the property owner in accordance with the standards of the Code.
- 13. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
- 14. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
- 15. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

VOTE: The Motion passed by unanimous voice vote (3-0).

5 OTHER BUSINESS

The Village Clerk said that the October meeting date fell on Yom Kippur, which was a non-workable holiday, and suggested moving the meeting to Thursday, October 16. He added that Chair Borges had agreed to the date change, and that he was still waiting to hear from Mr. Gomez. There was a general consensus from the Board to change the meeting date to October 16, 2025...

PUBLIC COMMENT - There were no further comments from the public.

7 ADJOURNMENT The meeting was adjourned at 2:33 PM.

	Reinaldo Borges, Chai
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Dwight S. Danie, Village Clerk

Attest:



ARCHITECTURAL REVIEW BOARD MEMORANDUM

TO: Architectural Review Board Members

FROM: Eliezer Palacio, Building Director

DATE: 10/16/2025

SUBJECT: 271 Bal Cross Drive

New Two-Story Single-Family Residence

BACKGROUND

The Village of Bal Harbour (the "Village") received an Architectural Review Board (ARB) application on July 2, 2025 for the development of a new two-story single-family residence located at <u>271 Bal Cross Drive</u> (the "Property").

The lot sits on Block <u>9</u>, Lot <u>10</u> and is located in the <u>R-2</u>, single family zoning district of the Bal Harbour Village Residential Section. The Property is <u>14,897</u> square feet and the Applicant is proposing a new two- story residence with <u>6,744</u> square feet of conditioned interior space and <u>780</u> square feet of unconditioned outdoor areas / garages, for a total square footage of <u>7,524</u>.

The entrance to the residence faces <u>West</u> and the proposed garage entry does not face the street.

This Property is located in the AE-8 N.G.V.D. Base Flood Elevation Zone and the Applicant is constructing the proposed residence at 9.67' N.G.V.D., which complies with the Florida Building Code (F.B.C.) and ASCE 24 for AE zones.

THE PROJECT (AE Description)

The following is a written document to describe the proposed New Construction to be located on 271 Bal Cross Dr, Bal Harbour, Fl. 33154.

271 Bal Cross Drive residence is a single-family residence designed by Z.W. Jarosz Architect P.A.

According to the Owner's direction, the residence was designed in a contemporary, timeless interpretation of Mediterranean revival style.

The two-story building features elements like round and elliptical arches and chamfered columns on selected locations with stucco finish; pitched roofs with barrel roof tile, rafters, and wood finishes. These elements along with contemporary architecture elements like large openings, allow transparency and flow of the space between the inside and the rear yard area.

The main entry to the residence is through a deep arch, which gives protection to the front round glass door, leading into a foyer that features the main staircase of the residence. The front arched glass door dialogues with three arches at the corridor connecting the entry area with the dining, living space and the front and rear yards.

The first floor consists of the living room, dining room, and bar area, a guest bedroom, kitchen, accessory areas, staff room, garages and gym. The rear yard features a pool, a covered terrace for a barbecue on the northeast side and a connecting loggia, leading to the gym on the southeast side.

The second-floor features two studios and the sleeping area: with the master bedroom, a large bathroom, two walking closets and terrace overlooking the rear yard, and three bedrooms each with its own bath and closets.

The proposed design complies with all required setback and height criteria per the Bal Harbour Village Code. The second-floor setbacks exceed minimum requirements without utilizing the optional flex provisions. The structure is within the permitted height and has been thoughtfully designed to be compatible with the character of the neighborhood.

The residence has been designed in full compliance with the Bal Harbour Village Code. It meets all height and setback requirements, with second-floor setbacks exceeding minimum standards without reliance on optional flex provisions. The proposed total ground area coverage is 5,330 sq. ft. (35.8%), well below the maximum allowable coverage of 7,448 sq. ft. (based on a 50% coverage limit of the 14,897 sq. ft. lot). The enclosed floor area includes 3,852 sq. ft. on the first floor and 2,892 sq. ft. on the second floor, for a total of 6,744 sq. ft., exclusive of non-conditioned spaces such as garages and open terraces.

This project has been carefully designed to align with the architectural character of the neighborhood while maintaining full zoning compliance. The architectural approach balances tradition and modernity, creating a residence that is both contextually appropriate and architecturally refined.

RECOMMENDATION

It is the opinion of this writer that the proposed new two-story single-family residence follows the Village's Appearance Code and Zoning Ordinance. The Village Planning and Zoning Consultant and the Parks and Public Spaces Department have reviewed the plans and concur that the plans comply.

I recommend that the Board review the submittal for compliance and if they concur with my recommendation, issue a Certificate of Appropriateness.

If approved, the following conditions should be added to the motion:

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.

- 2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
- 3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences, and landscape plantings.
- 4. Any new hedge must be planted at least 10' from the edge of the curb.
- 5. Any new trees must be planted at least 10' from the edge of the curb.
- 6. All Electrical, Mechanical and Plumbing equipment are required to be 1.0 foot above B.F.E. (Base Flood Elevation) per F.B.C. & A.S.C.E. 24 and cannot infringe upon the building setbacks.
- 7. Flood Design Data is required to be in accordance to F.B.C., Section 1603.1.7. & A.S.C.E. 24.
- 8. Architect to provide an Elevation Certificate FEMA Form 086-0-33, for proposed construction that complies with F.B.C. 322 & A.S.C.E. 24.
- 9. A construction contract and/or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
- 10. The Project shall comply with Section 21-127, a, b, and c regarding setbacks in the R-2 Zoning District.
- 11. The Project shall comply with Section 21-125, maximum building height of 30 ft. in the R-2 Zoning District.
- 12. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
- 13. If any portion of the landscaping, fence, or any other permitted item will be located within the five-foot easement at the front, rear or side of the property, then prior to the issuance of a required permit or permit revision to the master building permit, the Owner of the Project described herein shall execute "Hold Harmless Agreement" as a condition precedent to permit issuance.

- 14. If the proposed landscape and hardscape design conflicts with the Village's stormwater infrastructure system, the Architect and Civil Engineer are required to resolve prior to permit issuance. Any revisions required to the hardscape or landscape shall be bought before the ARB, if applicable, or be administratively approved prior to permit.
- 15. Perimeter landscaping required by the Certificate of Appropriateness must be maintained by the property owner in accordance with the standards of the Code.
- 16. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
- 17. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
- 18. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.



BAL CROSS DRIVE RESIDENCE

271 BAL CROSS DRIVE, BAL HARBOUR, FL 33154 INDEX OF DRAWINGS:

ARCHITECTURE:

SURVEY

A0.00 COVER SHEET

A0.01 GENERAL NOTES

A0.02 AERIAL VIEWS & CONTEXT

A0.03 SITE PHOTOGRAPHS

A0.04 NEIGHBORING PROPERTIES

A0.05 PROJECT RENDERINGS AND MATERIALS

A0.06 PROJECT RENDERINGS AND MATERIALS

A0.07 RENDERINGS

A0.08 RENDERINGS

A1.01 SITE PLAN

A1.02 SITE DIAGRAMS

A1.03 AREA DIAGRAMS

A2.01 FIRST FLOOR PLAN

A2.02 SECOND FLOOR PLAN

A2.03 ROOF PLAN

A3.01 COLOR ELEVATIONS-FRONT & REAR

A3.02 COLOR ELEVATIONS -SIDE ELEVATIONS

A3.03 BUILDING SECTIONS

A4.01 DETAILS .WALLS FENCES GATES . YARD SECTIONS



Z.W. JAROSZ ARCHITECT, P.A.

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DESIGN ARCHITECT: Z.W. JAROSZ, AIA, RIBA. ARC 8223

LANDSCAPE:

L-0.00 COVER SHEET & SHEET INDEX

L-1.00 EXISTING TREE SURVEY & DISPOSITION PLAN

L-1.01 EXISTING TREE CHART, MITIGATION SUMMARY & DETAILS

L-2.00 LANDSCAPE PLAN

L-3.00 PLANT LIST, LANDSCAPE CODE, NOTES + DETAILS

L-4.00 PLANT MATERIAL, IMAGES

L-4.01 PLANT MATERIAL, IMAGES

L-4.01B PERMEABLE PAVERS

L-4.02 EXISTING CONDITIONS, IMAGES

CIVIL:

C-1 GENERAL NOTES

C-2 PAVING GRADING AND DRAINAGE PLAN

C-2 WATER AND SANITARY SEWER PLAN

C-3 POLLUTION PREVENTION CONTROL PLAN

C-3.1 POLLUTION PREVENTION CONTROL PLAN

C-4 POLLUTION PREVENTION CONTROL PLAN

CONSULTANTS:

LANDSCAPE:

CHRIS CAWLEY- Landscape Architecture 780 NE 69th Street. Suite 200 Miami, Florida 33138 786.536.2961

CIVIL:

Ross Engineering, Inc. 3325 S. University Drive. Suite 111

Davie, Florida 33328

954.318.0624

STRUCTURAL:

PLF STRUCTURAL ENGINEERS, INC.

4960 SW 52nd street, Suite #401

Davie, Florida 33314

(305) 219 - 2344

MECHANICAL - ELECTRICAL - PLUMBING:

RCI Engineering, Inc.

5230 S University Dr. Suite 106.

Davie, Florida 33328

(954) 680 - 2690

GENERAL

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- CONTRACTOR TO VERIFY THE LOCATION OF ANY AND ALL UNDERGROUND AND OVERHEAD UTILITY LINES IN THE AREAS OF PROPOSED WORK.
- 4. NO DEVIATION OF THESE PLANS ARE TO BE MADE, IN ANY WAY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE ARCHITECT. ALTERNATE EQUIPMENT MAY ONLY BE SUBSTITUTED WITH WRITTEN APPROVAL OF THE ARCHITECT.
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- THESE DRAWINGS ARE DIAGRAMMATIC ONLY. IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION.
- ATTENTION IS DIRECTED TO PROVISIONS IN AIA DOCUMENT AZO1 "GENERAL CONSTRUCTORS", ARTICLE 4, REDARDING CONTRACTORS RESPONSIBILITY IN RECORDS TO SHOP DRAWNOS, ALL CONSTRUCTION WILL MEET ALL RECENT CODE REQUIREMENTS AND OR MANUFACTURER SPECIFICATIONS, WHICHEVER IS MORE STRINGOT.
- 10. GENERAL CONTRACTOR AND FRAMING CONTRACTOR TO VERIFY AIR HANDLER UNITS SIZE & TO ADJUST SIZE OF A/C CLOSETS TO ALLOW FOR 4" CLEARANCE AROUND UNITS.

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- FILL AND BACKFILL TO BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DENSITY AT OPTIMUM MOISTURE AS DETERMINED BY THE STANDARD PROCTOR TEST.
- FILL MATERIAL TO BE CLEANED COURSE SAND AND CRUSHED LIMEROCK FREE OF ORGANIC OR DELETERIOUS MATERIAL OF A MINIMUM DRY DENSITY OF 110 POUNDS PER CUBIC FEET.

- CONTRACTOR SHALL PROVIDE A SUB-GRADE TO WITHIN 6 INCHES OF FINAL GRADE SPECIFIED ON THE SITE OR GRADING PLAN. IF LANDSCAPE DRAWINGS ARE PROVIDED AS PART OF THIS DRAWINGS SET, INFORMATION ON LANDSCAPE DRAWINGS SUPERCEDES ALL OTHER DRAWINGS. DEMOLITION
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- PENETRATIONS SHALL BE INSTALLED AS TESTED IN THE APPROVED FIRE RESISTANCE— RATED ASSEMBLY AS PER FBC SECTION R302.4.1.1 FIRE—RESISTANCE—RATED ASSEMBLY.
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- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYPSUM BOARD.
- TYPE OF CONSTRUCTION ALL EXTERIOR WALLS ARE OF NONCOMBUSTIBLE MATERIALS AND THE INTERIOR BULDING ELEMENTS ARE OF ANY FIRE—REFINEDANT MATERIAL, FIRE—REFUNCANT—TREATED WHOO FRAMING COMPLYING WITH SECTION 2020, SHALL BE PERMITTED WITHIN EXTEROR WALL ASSEMBLES OF A 2—HOUR RATING OR LESS. TYPE III AS PER FBC SECTION 602 (CONSTRUCTION CLASSIFICATIONS).

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- 2. DUTDOP INTAKE, DOWNETS OPENINGS AND DRAFTY OUTDOOR AR BITAKE OPENINGS SHALL BE LOCATED NOT LESS THAN 10 TEST (SOME MA) FROM ANY HAZARODIS OR INDIGIDIS CONTINUANTS, SICKLES VENTS, CHIMMETS, PULMBRING VENTS, STREETS, ALLEYS, PARKING LOTS AND LOXINING DOCKS. EXHAUST ARE SHALL NOT BE DIRECTED ONTO WALKAMY OR PEDESTRIAN RIGHT OF WAY.
- 3. AIR EDHALES AND RISKE OPPINIOS THAT TERMINISE DUTDOORS SHALL BE PROTECTED WITH CORROSON-HERSTRAME SCHENEN, COLUMNS OR GRILLES HANNE AN OPPINIOS SIZE OF NOT LESS THAN 1/4 NOH; (6, MM) AND A MAXIMUM OPPINIOS SIZE OF 1/2 NOH; (13 MM), IN ANY DIMENSION, OPPINION SIZE OF 1/2 NOH; (13 MM), IN ANY DIMENSION, OPPINION SIZE OF AMAINT LOAD, WARTHER COMMITTION.

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- INDIVIDUAL GLAZED AREAS, INCLUDING GLASS MIRRORS, LOUVERED OR JALGUSE WINDOWS IN HAZARDOUS LOCATIONS SHALL BE NOT LESS THAN NOMINAL 3/18 INCH (5 MB) THICK AND NOT MORE THAN 48 MOHES (1219 MB) IN LENGTH. EXPOSED GLASS EDGES SHALL BE SMOOTH.

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- 2.ESTABLISHING THE DESIGN FLOOD ELEVATION AS PER FBC R322.1.4 THE DESIGN FLOOD ELEVATION SHALL BE USED TO DEFINE FLOOD MAZARD AREAS. AT A MINIMUM, THE DESIGN FLOOD ELEVATION SHALL BE THE HIGHER OF THE FOLLOWING:
- 2.THE ELEVATION OF THE DESIGN FLOOD ASSOCIATED WITH THE AREA DESIGNATED ON A FLOOD HAZARD MAP ADOPTED BY THE COMMUNITY, OR OTHERWISE LEGALLY DESIGNATED.

- 5-FLOOD-RESISTANT MATERIALS AS FER FRG R322.18.

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- BUILDINGS AND STRUCTURES IN FLOOD HAZARD AREAS, INCLUDING FLOOD HAZARD AREAS DESIGNATED AS COASTAL A ZONES, SHALL HAVE THE LOWEST FLOODS ELEVATION, PLANTED WE ABOVE THE BASE FLOOD ELEVATION, WHICHEVER IS HIGHER.
- BASEMENT FLOORS THAT ARE BELOW GRADE ON ALL SIDES SHALL BE ELEVATED TO OR ABOVE BASE FLOOD ELEVATION PLUS 1 FOOT (305 MM), OR THE DESIGN FLOOD ELEVATION, WHICHEVER IS HIGHER. EXCEPTION: ENCLOSED AREAS BELOW THE DESIGN FLOOD ELEVATION, INCLUDING BASEMENTS WITH FLOORS THAT ARE NOT BELOW GRADE ON ALL SIDES, SMALL MEET THE REQUIREMENTS OF SECTION 8329.2.2.

- BRIZZZ_GEMENS.

 MODERNOUND THING SHILL BE AND-PORD TO PRODUIT FLOTATION, COLLAPSE AND LATERAL MODERNOUND THING SHILL BE INSTALLED AT MODERNOUND THE BASE FLOOD, ABOVE—SHOUND THANS SHALL BE INSTALLED AT OR ABOVE THE EAUTHON REQUIRED IN SECTION REZ.21 OR SHALL BE AND-PORTED TO PRODUIT FLOTATION, COLLAPSE AND LATERAL MOVEMENT UNDER CONDITIONS OF THE BASE FLOOD.
- PRINCE OF THE PROOF OF T

- . ALL POURED CONCRETE TO ACHIEVE A STRENGTH OF 5000 P.S.I. OS AS SPECIFIED IN STRUCTURAL, DRAWINGS AT 28 DAY WITH A PLASTIC AND WORKABLE MAX. A CERTIFICATE OF MANUFACTURER'S MAX AND STRENGTH S TO BE PROVIDED.

 ALL CONCRETE SHALL CONFORM TO ALL REDUIREMENTS AND RECOMMENDATIONS OF THE APPLICABLE SHUMBLY OF AND ACTION ACTION AND ACTION AND ACTION AND ACTION AND ACTION AND ACTION ACTION AND ACTION ACTION AND ACTION ACTION AND ACTION ACT
- 316-83. NO ADMOTURES SMALL BE PERMITTED WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.

 A. MINIAM OF S (PMS) CONCRETE SPECIMENS SMALL BE INACH FROM EACH FIFTY CUBIC YARDS.

 S. SULPU SMALL BE 3 THOSES SMANLON TO S INCHES SMANLONAM.

 B. MOMINAM MAX THA AT POINT OF DEPOSIT SMALL BE 60 MINITES.

 COMPRESSING SERRORIFIC OF CONCRETE AT 28 DIAS SMALL BE AS FOLLOWED:
- OFFICE OF THE STATE OF THE STAT

- FOUNDATION
- FOUNDATION (EXCLUDING PILINGS) TO BEAR ON A SOIL OF A SAFE BEARING CAPACITY OF 2500 P.S.F. MINMUM. IF OTHER CONDITIONS EGST, ARCHITECT SHALL BE NOTIFIED IN WRITING FOR A POSSIBLE REDESION OF THE FOUNDATION.
- 2. ALL EXTERIOR FOOTING SHALL BEAR ON SOIL AT LEAST 18 INCHES BELOW FINISH GRADE

- 1. REINFORCING BARS MUST CONFIRM WITH ASTM A-615, GRADE 60
- WELDED WIRE FABRIC MUST CONFORM WITH ASTM-185 AND SUPPORTED ON SLAB BOLSTER SPACED AT THREE (3) FEET MAXIMUM ON CENTER
- FABRICATION AND DETAILING ACCORDING TO ACI-315. ALL ACCESSORIES TO HAVE UPTURNED LEGS AND PLASTIC-DIPPED AFTER FABRICATION.

STRUCTURAL STEEL

- 1. CONFIRMING TO ASTM A-36. STEEL PIPE COLUMNS CONFORMING TO ASTM A-SOC, GRADE B.
- 2. BOLTS C TO "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A-325 AND ASTM A-490 BOLTS
- ALL EXPOSED STEEL MEMBERS (INCLUDING INSERTS AND CONNECTORS) TO BE HOT-DIPPED GALVANZED. ALL OTHERS TO HAVE A MINMUM 1.5 MIL OF RUST-INHIBITING PAINT, TOUCH-UP AS REQUIRED AFTER EXECUTION.
- FABRICATION AND ERECTION ACCORDING TO THE LATEST AISC SPECIFICATIONS, SHOP DRAWINGS REQUIRED, SIGN AID SEAL WITH CALCULATIONS BY A FLORIDA REGISTERED ENGINEER BEFORE FABRICATION AND ERECTION.
- ALL WELDING TO BE PERFORMED BY CERTIFIED WELDER IN COMPLIANCE WITH AWS D-1.1-77. ELECTRODES TO COMPLY WITH ASTM A-233 OR A-31 6, STORED AS PER AWS REQUIREMENTS.

- . ALL STEEL TO BE FABRICATED, PLACED AND ERECTED IN ACCORDANCE WITH THE ASTM AND ACC

- REMEDIACING STEEL SHALL OFFICIAL TO ASTAL A -815, CRACE 60 UNLESS OTHERWISE NOTED. REMEDIACING STEEL SHALL BE COVALED AND PROCRATED AND ASSOCIATION, WITH THE "AMMULL OF LAW OFFICIAL SHALL SHAL
- CLEAR COVER FOR REINFORCING SHALL BE 1 \$ INCHES AT BEAMS AND COLUMNS; \$ INCHES AT SLAB; 2 INCHES AT FORMED FACES IN CONTACT WITH EARTH AND 3 INCHES AT UNFORMED FACES.
- HIME (DUTT) TO BE DETERMED PROP TO SUSSAIL NETWITCH BY INSTALLING A MINIMA OF THE ON THE THREE OF SHADON ON SOULD CALCULATIONS, POMBITIONS RECOMMENDATION BY A FLORIDA RECOSTRED EXPIDENTIAL P.E. ALADRANGE CONCETT PLES UNITE BE INSTALLED ACCORDING TO THE SOUTH FLORIDA BUILDING COSE. PILE INSTALLATION MUST BE INSTALLED AND CONTRIBED BY AN APPROXID TISTING LIBRORIDAY. SUB-TREL SIGNAL AND ADMITTIC RETRINGATION OF TLUBBOR REGISTED CHARGES FLE MINIMA TO BE THE SIGNAL AND ADMITTIC RETRINGATION OF TLUBBOR REGISTED CHARGES FLE MINIMA TO BE
- 4,000 P.S.I.
 3. FOR PILE SIZE BEARING CAPACITY SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

SLABS TO BE POURDED ON CLEAN, NON-ORGANIC SOIL THOROUGHLY MOSTENED IMMEDIATELY BEFORE CONCIENTE IS FOURTED.
 SLABS TO BE POURDED UPON 4 MILLS OF POLYETHYLEINE VAPOR BARRIERANE AND REINFORCED WITH KKS -10/10 WELDED WIRE MESH, MUNISS OTHERWISE MOTER.

LINTELS

DOOR AND WINDOW OPENINGS IN MASONRY WALL TO HAVE CONCRETE LINTELS CHECKED BY THE ARCHITECT OR ENGINEER LINTELS TO BE INTEGRATED WITH THE BEAM WHEN HEAD OF THE OPENING IS 18 NOHES OR MORE MINIMAIN BEARING SHALL BE 8 NICHES SET EACH SIDE.

- PROVIDE MINIMUM BEAMS OF 8 INCHES BY 12 INCHES WITH 2 #5 TOP AND BOTTOM FOR 8 INCH MASSIVER WILLS.
 MASSIVER WILLS.
 ALL BEARNO BLOCK UNITS SHALL CONFORM TO ASTW-C-90, GRADE H-1.
 MATCR: THE A.
- MOTOR: TYPE M.
 PROVIDE PRECAST OR CAST—IN-PLACE REINFORCED CONCRETE LINTELS AT THE HEAD OF ALL WALL OPENINGS NOT FRANCE WITH A BEAM.

- LUHBER USED IN JOSTS, RAFTEIS, TRUSSES, MOZOR OTHER STRUCTURAL MEMBERS SHALL BE OF
 MANUAL 1000 P.S.L. NOMMAL COREACT RIBER STRESS IN BEDIND.

 ALL MEMBERS SHALL BE FARMED MOCHORED, TIDD AND BROCED TO DEVELOP THE STRENGTH MO
 RIGODY MCCESSARY FOR THE PURPOSES FOR WHICH THE ARE USED AND TO RESIST THE LOADS
 MOSSED. ALL LUMBER USED STRUCTURALLY SHALL BE IDENTIFIED BY THE GRADE MARK OF A LUMBER GRADING OR INSPECTION BUREAU.

PREFABRICATED WOOD TRUSSES

- 1. ALL PREFUNENCIED TRESSES SHALL BE IN ACCORDANCE WITH THE APPLICABLE DUTIDATE CODE.
 2. IT'S THE RESPONSIBILITOR THE RESIS MANAPHICHER TO THE SPACKED OF TRESSES TO PERMIT
 STRUCKETS AND REPOLACES. NOT THE RESPONSIBILITY OF THE SPACKED OF TRESSES TO PERMIT
 STRUCKETS AND REPOLACES.
 1. THE RESPONSIBILITY OF THE REPORTING THE PRESPONSIBILITY OF THE APPOINTED PRESCHED SERVICES THE
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 THE TRESSES AND CAUTIONS OF THE PROFESSIONAL ARMORE AS THE RESPONSIBILITY OF THE PROFESSIONAL ARMORE AS THE PR

ALL DOMESTIC WATER PIPING SHALL BE COPPER. U.O.N. OR AS DIRECTED BY ARCHITECT IN FIELD.
 SANITARY SEWER LINES SHALL BE PVC SCHEDULE 40.

- I. I. I. IN IN SHALL COMPLY WITH THE LATEST APPLICABLE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, STANDARD BULDING CODE (LOCAL) O.S.M.A. REQUIREMENTS MO ALL OTHER LOCAL CODES AND INTERPRED AND SHAPE CODE (LOCAL CODES AND INTERPRED AND SHAPE CODES AND INTERPRED AND SHAPE CODES AND INTERPRED AN

- AND LIGHTER FOR ALL MORES.

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- INVAC. CENTERAL MOTES

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- A DISTRICTION AND INTERNIA AND DUCTE, SHALL HE CONSTRUCTION OF 1.5 MoN-109-1.0 MONTES THOSE
 ACCORDANCE WHY MAPPA, No. 90 AS MANAGEMENT OF OWNER-CONTROL CUTTORS SHALL HE
 ACCORDANCE WHY MAPPA, No. 90 AS MANAGEMENT OF OWNER-CONTROL CUTTORS SHALL HE
 ACCORDANCE WHY MAPPA, No. 90 AS MANAGEMENT OF THE OWNER-CONTROL CONTROL CUTTORS
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- F. ALL DOT MILL BE SYNCHOLOGY ON SMACKA, AND MAINTAINER SYNCHOLOGY.
 F. SISLATION PRINCE-DORDINGS EPOPHIC DIVISION STRONG HIGHER EXPOSED WITH 2 COASIS OF WHITE IT IN THE PRINCE HAVE AND THE PRINCE HAVE A COASIS OF WHITE IT IN THE PRINCE HAVE AND AND THE PRINCE HAVE AND THE PRINCE
- A. REFRIGERATE PPING SHALL BE TYPE "L", HARD DROWN, DECREASED SCALLED BE WROUGHT COPPER TYPE EQUIL, TO MULTICER STEEMALINE. LOUIG RADIUS ELBOWS SHALL BE USED, PROVIDE ACCESSORES INDICATED ON DRAWNASS.

 B. REFRIGERATION SYSTEM CONNECTION SHALL BE OF THE SWEAT COPPER TYPE PROPERLY CLEARED AS SULFER BRAZED WITH SIL-TOS OR EQUAL, CONNECTIONS TO WALVE, SIGHT GLASSES AND FLOWIRE.
- SILVER BRAZED WITH SELT-DIS OR EDUL, POUNCETONIS TO WALVE, SIGHT GLASSES AND FLORIED COUNCETON SIZE OF THE SELECTION OF THE S

- 13. VIBRATION ISQUATORS
- A. CONDENSING UNITS SHALL BE MOUNTED ON 1 INCH THICK NEOPRENE PADS.

 B. AIR HANDLING UNITS SHALL BE MOUNTED ON 1 INCH THICK NEOPRENE PADS.

- A. ALL ELECTRICAL WIRING AND CONDUIT SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR.
- 16. ALL EQUIPMENT AND MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR. COMPRESSOR SHALL CARRY FINE (5) YEAR FACTORY GUARANTY, CONDENSER COILS SHALL CARRY TEN (10) YEAR FACTORY GUARANTY, FURNAND NO DAYS FIRST SERVICE.
- 17. CONTRACTOR SHALL VERRY SPACE CONDITIONS AND DIMENSIONS AND SHALL COORDINATE WORK WITH ALL OTHER TRADES AT JOB STEP PRIOR TO TABLECCION AND INSTILLATION OF DICTATOR. THE OTHER TRADESCALL BE RESPONSIEL FOR THE FULL COORDINATION OF HIS WOOK WITH HAT OF ALL.
- ALL OUTSIDE EQUIPMENT SHALL BE SECURED TO WITHSTAND 150 M.P.H. WINDS AND AS PER MANUFACTURER RECOMMENDATIONS.
- TESTING: BALANCE AIR SYSTEM TO DELIVER SPECIFIED QUANTITIES AT EACH CUTLET WITHIN 10% USING A.A.B.C. PROCEDURES AND TESTS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES AND REQUIREMENTS.

Járosz 2025.09.1 04'00'

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JAROSZ

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REVISIONS







AERIAL VIEW - LOOKING SOUTHEAST





BAL CROSS DRIVE
271 BAL CROSS DRIVE, BAL HARBOUR, FL 33154
AERIAL VIEWS & CONTEXT

BC







COLOR PHOTOGRAPHS OF BUILDING SITE - EXISTING STRUCTURE



BAL CROSS DRIVE
271 BAL CROSS DRIVE, BAL HARBOUR, FL 33154
SITE PHOTOGRAPHS.

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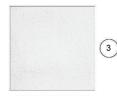


TERREAL CLAY ROOF TILE LUDOWICI LANGUEDOCIENNE PANACHE ANCIENE MEDIUM LIGHT VARYING TONES OR SIMILAR AT ALL SLOPED ROOFS



AT ROOF OVERHANG AND COVERED TERRACES

DARK BROWN CEDAR TONGUE AND GROOVE



WHITE LIGHT TONE STUCCO AT ALL FACADES



CORALINA STONE OR SIMILAR AT EXTERIOR FLOORING, DECORATIVE FACADE TRIMS AND WINDOW STONE SILLS.



PERMEABLE PAVERS UNILOCK TRIBECA COBBLE OR SIMILAR



PROJECT / SHEET TITLE

Z.W. JAROSZ ARCHITECT, P.A.
3326 MARY STREET SUITE 503
3326 MARY STREET SUITE 503
53246.00188 WWW JAROSZARCH COM

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RENDERINGS IN COLOR OF PROPOSED NEW RESIDENCE ELEVATION - FRONT (8) (8) (8) (8)









TERREAL CLAY ROOF TILE LUDOWICI LANGUEDOCIENNE PANACHE ANCIENE MEDIUM LIGHT VARYING TONES OR SIMILAR AT ALL SLOPED ROOFS



2

AT ROOF OVERHANG AND COVERED TERRACES

DARK BROWN CEDAR TONGUE AND GROOVE



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53246.00188 WWW JAROSZARCH COM

Zbigniew Jarosz Date: 2025,9915

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3326 MARY STREET SUITE 500 COCONUT GROVE, FLORIDA 33133 305-446,0888 WWW.JAROSZARCH.COM Z.W. JAROSZ ARCHITECT, P.A. PROJECT / SHEET TITLE

BAL CROSS DRIVE
271 BALCROSS DRIVE, BAL HARBOUR, FL 33154
PROJECT RENDERINGS

BC









BAL CROSS DRIVE 271 BAL CROSS DRIVE, BAL HARBOUR, FL 33154 PROJECT RENDERINGS

BC

SCOPE OF WORK:

THE LOT SITS ON LOT 10 BLOCK 9, AND IS LOCATED IN THE R-2 ZONING DISTRICT OF THE VILLAGE RESIDENTIAL SECTION.

THE LOT IS 14,897 SQ. FT. AND THE APPLICANT IS PROPOSING A NEW 2 STORY SINGLE FAMILY RESIDENCE ON THE PROPERTY WITH [5,744] SQ.F. OF CONDITIONED INTERIOR PARCE (1) 7867 SQ.F. OF CONDITIONED OUTDOOR AREAS (2) FOR A TOTAL SQUARE FOOTAGE. OF 7,524 SQ.F.F.

THE ENTRANCE TO THE RESIDENCE FACES WEST AND THE PROPOSED GARAGE ENTRY DOES NOT FACE THE STREET.

(ENCLOSED GARAGES ADDITIONAL AREAS: 786SF)

CODES IN EFFECT:

FLORIDA BUILDING CODE - RESIDENTIAL, 2023
FLORIDA BUILDING CODE - PLUMBING, 2023
FLORIDA BUILDING CODE - MECHANICAL, 2023
FLORIDA BUILDING CODE - FUEL GAS, 2023
FLORIDA BUILDING CODE - FUEL GAS, 2023
FLORIDA FIRE PREVENTION CODE, 2023 EDITION
VIPA 101 LIFE SAFETY CODE, 2021 EDITION
VIPA 101 LIFE SAFETY CODE, 2021 EDITION
VIPA 101 LIFE SAFETY CODE, 2021 EDITION
VILAGE OF BUILARBOUR FUEL SAFED VILAGE
BAL HARBOUR VILLAGE ORDINANCE NO. 2023-653

DESIGN CRITERIA

AS REQUIRED PER FBC. CH. 107.3.5 & MIAMI DADE COUNTY CODE SECTION 8-10.

OCCUPANCY TYPE: R-3
OCCUPANCY LOAD: 6,744/200 = 34 PERSONS
CONSTRUCTION TYPE: V-A
RISK CATEGORY: 2
EXPOSURE CATEGORY: D



GRADE BENITION OF THE CONTEX 26' ASPHALT PAVEMENT LINE OF THE ADJOINING METRICE STREET, GRADE 4-126' NORD

PROPERTY LINE 140.00

BAL CROSS DRIVE

(Private Road Per Plat)

SITE PLAN NOTES SILE PENN NOTES USED FOR PARKING AND
SI MANELWERING OF VEHICLES INCLUDING ALL
ACCESS DRIVEWAYS SHALL BE PAYED WITH
A DUSTLESS, ALL WEATHER SURFACE
MATERIAL CAPABLE OF CARRYING A WHEEL
LOAD OF 4,000 POUNDS

S2 ALL MECH. EQUIP. MUST BE FULLY
SCREENED WITH FENCES/ WALLS TO AT
LEAST THE HEIGHT OF THE EQUIPMENT
AND SUPPLEMENTAL LANDSCAPING AS PER
B.H.Y CODE OF ORD.(TYP.)

STOP OF POOL BARRER AT 48" ABOVE CRADE MEASURED ON THE SIDE WHICH FACS THE SMIMMAR POOL N. COMPLANCE WITH FOC RASOL 17.1.1.1—RASOL 17.1.1.4. "WHOE SAFETY ACCESS QUIE TO BROCKYRO AND POOL.

(\$4) ALL POOL ATTENDANT UTILITIES AND EQUIPMENT SHALL BE LOCATED ABOVE THE DEF AS PER ASCE 24 CHAPTER 7, ASCE SECTION 9.8.

(SS) AR PER F.B.C. R322.2.2, ENCLOSED AREAS, INCLUDING CRAWL SPACES, THAT ARE BELOW THE ELEVATION REQUIRED IN SECTION R322.2.1 SHALL: BE USED SOLELY FOR PARKING OF VEHICLES, BUILDING ACCESS OR STORAGE.

SIGNAGE.

2.8E PROVIDED WITH FLOOD OPENINGS
THAT MEET THE CRITERIA BELOW AND
ARE INSTALLED IN ACCORDANCE
WITH SECTION R322.2.2.

(S8) AS PER BAL HARBOUR VILLAGE CODE SEC.5.5-5 THE MALBOX SHALL BE PLACED ON THE DWELLING NEAR THE RESIDENCE ENTRY POINT.

ST ALL DEMOLITION REQUIREMENTS AND STANDARDS FOR CONSTRUCTION SITE OPERATION TO BE ADHERED TO AS PER BAL HARBOUR VILLAGE ORDINANCE NO. 2023-653

(S8) ALL RUNOFF WATER TO BE DRAINED WITHIN THE SITE





35'-2"



SITE LOCATION

LOCATION MAP

LOT AREA			1	4.897 SQ. FT.
LOT COVERAGE:		ALLOWED	PROPOSE	ED
dou. 20-1-1 is Come again with Bingar seelings of LLB and track control by particle reporting. In the percentage of seeling above. You processed infection of the Come again or combines, with poor authors will be consider as 10 years of their once temperatures.	(14,897 x 40%) Busing and ordination () 5,959 SQ. FT.		BUILDING: 3,852 SF "GARAGES: 766 SF TERRANCES GROUND FLOOR: 602 SF TOTAL BUILDING ANDIOR STRUCTURES: 602 SF coto*)	
Social sport corpers for tensions of the Author and Resident Social Conference Author and Resident Social Conference Conference Conference Conference Conference Land Top Conference Land Top Conference Conferen	1,490 SQ. F +629 SF 2,119 SF (1	%) TOTAL ALLOWED	WALKWAYS/POOL DECK imple DUIP, SLABS impervious: POOL impervious: WALLS impervious: WALLS impervious: DRIVEWAY pervious pavers (5) DRIVEWAY pervious pavers (5) TOTAL LOT COVERAGE PROPOSED:	128 SF 448 SF 225 SF ION): 129 SF
FLOOR AREA/CONDITIONED S	PACES:			
	garages, porte-cochere open terraces	GQ FT, exclusive of re, carports, s and similar features)	AC SECOND FLOOR: TOTAL:	3,852 SF 2,892 SF 6,744 SF (1)
UNCONDITIONED OUTDOOR	AREAS:			
		COND FLOOR:	TOTAL	692 SF 88 SF 780 SF (2)
BUILDING SETBACKS	UPTO NE	A PTO SERVED BYT (RESPONDE HOME) OF SETT	SPTO IS NO FRANC	(#1032 M + 0 M III)
FRONT SETBACK:	30'- 0" MIN.	1':1' 40-3' MIN.	30-0	41-6
SIDE SETBACK	AME OF 18890A	1':1' 20-3' MIN 20-3' MIN	10'-7" (NORTH) 10'-1" (SOUTH)	22'-8" (NORTH) 21'-8" (SOUTH)
REAR SETBACK: The whole could be stored to the stored to t	15'-0" MIN.	1':1' 25-3" MIN.	15-6"	26-11"
POOL SETBACKS:		•		•
SETBACKS:	1	IO-O" MIN.	10-0" MIN.	
BUILDING HEIGHT:	Ce homes with	s signed rook the neight is measurable	the mid-and efficiency professoring sect.	
Sec 20125 slews up the 2 observberse not exceeding this in to give the business regist a response to the PRM BFT. I entirellies defined in the SD2 of the Vilage Lode.	2 STORIES MAX. ALLOWED 50 - sloped rook from EPE+ Theotoers (F) - or ed floor elevation)		PROPOSED 38-3"-alogod rocks from 395th 1 feedboard (Finished Foor elevation)	
ELEVATION VALUES:				
	(Average FEMA BASE	GRADE street grade) FLOOD ELEVATION OOR ELEVATION	4.26' NGVD 8.00' NGVD 9.67' NGVD	
	DAGE FLG	VA ELEVATION	5.57 76590	
LEGEND:				
		LOT COV	ERAGE (TOTAL BUILDING AND	OR STRUCTURES)
		LOT COV	ERAGE (OTHER IMPERVIOUS)	AREAS)
	LOT COVERAGE (OTHER AREAS: PERVIOUS PAVERS)			
	LANDSCAPED PERVIOUS AREAS			
	1	FLOOD V	ENT COVERAGE 200 SF EACH	

TEMP	FLOCO IMMAGEMENT			
A)	FL000 20%5	3.6		
8	BASE PLOOD BLEVATION (BFE)	8.00 HOVD:		
c	CROUND FLOOR TOS BLEVAT DN	9.57 NOVD		
C2	DESIGN FLOOD ELEVATION (DEE):	9.87 NOVD		
CS:	FINISHED FLOOR ELEVATION	9.54 NOVD		
U	CARACIUS CARPISZ FOP OF SLAB SUSVATION: (LP)	7,08 9093		
U1	GARAGES CARM NOTOPIOR SLAS RUEWITION (HP):	73/190V0		
6	BOTTOM FLOOR & STORAGE TOS ELEXATION (NON-HABITABLE):	NSA		
p:	NEXT HONER TOO (SECOND FLOCK) ELEVATION	24 1P N3VD		
a	LOWERT TOR TLEVATION (HARITABLE SPACE)	9 87 MOVE		
н	CABANA TOS ELEVATION.	9.57 NOVD		
	LOWEST SRADE SLEVATION ADJACENT TO THE SUILDING:	6.0 NGVD		
J	HIGHEST GRADE GLEVATION ADJACENT TO THE SUILDING:	5.2 NGVD		
K	LOWEST ELEVATION OF COUPMENT SERVICING THE SULEDING	BREW MOND		
и	CROWN OF THE ROYD BLEVYTION	4.29 HSVD		
N	ADJUSTED DRADE ELEVATION	NO.		
o .	FIRM YAP NUYSCH	1258600144		
p.	FLOOD DOSIGN CLASS OF BUILDINGS AND STRUCTURES AS PER ASSC OF 14	ži.		

Z.W. JAROSZ

P.A

ARCHITECT,

PROJECT / SHEET TITLE

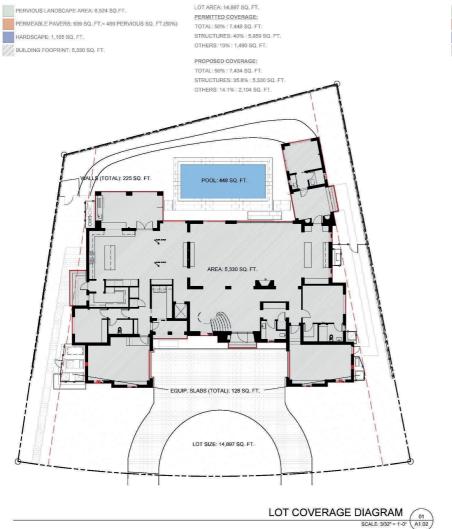
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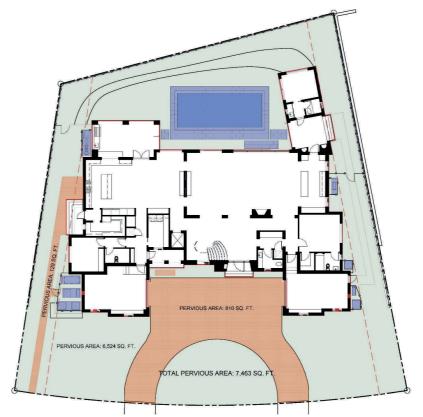
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PERVIOUS LANDSCAPE AREA: 6,524 SQ.FT. PERMEABLE PAVERS: 939 SQ. FT.= 469 PERVIOUS SQ. FT.(50%) HARDSCAPE: 1,165 SQ. FT. BUILDING FOOPRINT: 5,330 SQ. FT.

LOT AREA: 14,897 SQ. FT. PERVIOUS AREA REQUIRED: 50%: 7,448 SQ. FT. PROVIDED: 52%: 7,463 SQ. FT.





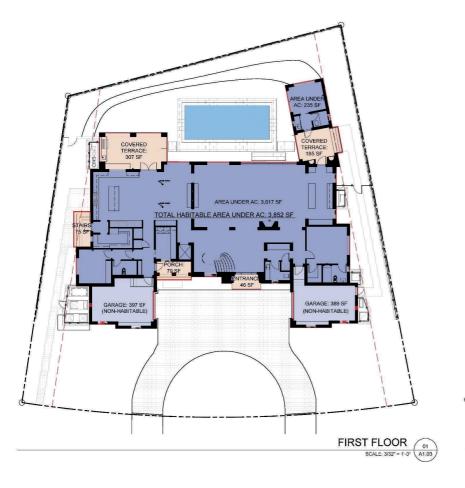


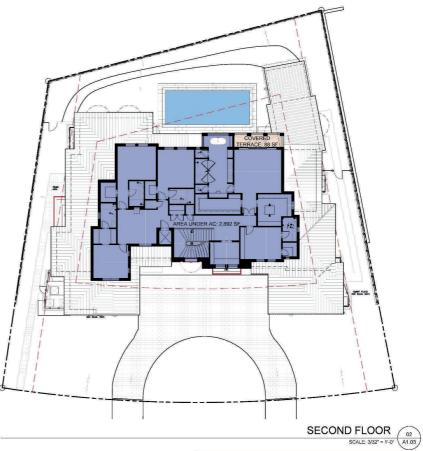
PROJECT / SHEET TITLE

BAL CROSS DRIVE 271 BAL CROSS DRIVE, BAL HARBO SITE DIAGRAMS

BC

A1.02





CONDITIONED INTERIOR SPACE, AREA UNDER AC
AC FIRST FLOOR: 3,852 SQ. FT.
AC SECOND FLOOR: 2,892 SQ. FT.
AC TOTAL: 3,852 + 2,892 = 6,744 SQ. FT. (1)
UNCONDITIONED OUTDOOR AREAS
NON AC GROUND FLOOR: 48+79+75+307+185 = 892 SQ. FT.
NON AC SECOND FLOOR: 89 SQ. FT. (2)
TOTAL (1)+(2): 6,744+780 = 7,530 SQ. FT.

* ENCLOSED GARAGES (NON HABITABLE SPACES): 397+389=788 SQ. FT.

BAL CROSS DRIVE 271 BAL CROSS DRIVE, BAL HARBOL AREA DIAGRAMS NU DATE INCOMEDEN BC A1.03

PROJECT / SHEET TITLE

Z.W. JAROSZ ARCHITECT, P.A.
3226 MARY STREET SUITE 500
3226 MARY STREET SUITE 500
335.446.0888 WWW.JAROSZARCH.COM

NOTES:
ENCLOSED AREAS BELOW THE DEF OR, THE LOWEST FLOOR
ELEVATION WHICHEVER IS HIGHER SHALL BE USED SOLELY,
FOR PARKING, BULDING ADDRESS OR STORAGE. (ASSE 24-14
4.6.2, FORD SECT RISZ2.22, R322.36)

NOTES: ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS; HEATING, VENTILATION, AIR CONDITIONING; FLUMBING PAPPLIANCES AND PLUMBING PRIVINES; DUCT SYSTEMS; AND OTHER SERVICE EQUIPMENT (WATER HEATERS, GENERATORS, ELECTRICAL, PARLESECT), SHALL BE ELEVANED AT OR ABOVE DESIGN FLOOD ELEVATION (44.67* HOW), ASSCE 24–14 (17.0)—FERS 122.1.6.—FERS 132.1.7

WALL LEGEND

GWB PARTITION CONCRETE COLUMN

STEEL COLUMN

235 SQ.FT. 40'-0'19.67'HOND CYN. 448 SQJFI-2" POOL BARRIER WITH SAFETY ACCESS GATE IN COMPLIANCE O WITH FBC R4501.17.1.1-R4501.17.1.14 TO BACKYARD I AND POOL 0' B"(8.82NOVD) 307 SQ.FT. COMPRED TERREACE T 40'-0'(9,17'NOVD) 4-0'-7"(9.03NGAD) (S3) NOTCHEN SEE FAMILY 105 TRACH er ? F.F. FINISHED FLOOR ELEVATION 9.8479 DESIGN FLOOR ELEVATION 9.84 NOVO S BECROCIA CORRECOR 122 ⊕0'-0"(9.67'NGMD) ⊕1.0. CONC. SIAN ---Demonsor 1 929 SWART FLOOD 200 SQUN, VENT, 337 SO.T. SARIOR 1 (S.5) SS SO SO FT. DRIVEWAY (S1) 1620 SQ.FT. 30' BUILDING SETBACK LINE (PER PLAT) 12'-4"

PROPERTY LINE 140'

39'-3"

NOTES

SPACE REQUIRED FOR THE FIXTURES SHALL BE IN ACCORDANCE WITH FBC.R SECTION R307, AND IN ACCORDANCE WITH THE REQUIREMENTS OF FBC.P SECTION 405 SAFETY GLASS CATEGORY II TYP. ALL SHOWERS. AS PER FBC.R SECTION R308

③ BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON ABSORBENT MATERIAL UP TO MIN. 6("YP). AS PER FBC R307.

MATERIALS USED AS BACKERS FOR WALL TILE ON TUB AND SHOWER AREAS AND WALL PANELS SHALL BE OF MATERIALS LISTED IN TABLE R702.4.2. INSTALLED IN ACCORDAN WITH THE MANUFACTURER'S RECOMMENDATION, TO COMPLY WITH THE 2023 FBC B S

SHOWERS SHALL COMPLY WITH REQUIREMENTS AS PER FBC.R SECTION CHAPTER 27 PLUMBING PRITURES P2709.3 (TVP.). PAN MEMBRANE MUST SLOPE A MIN. OF \$\frac{1}{2}\$" PER FOOT TOWARDS DRIVIN WITH NO PENETRATION LESS THAN 1" ABOVE THE

② 24"X36" ATTIC ACCESS W/ PULL CHAIN LIGHT FIXTURE TO HAVE A VERTICAL HEADROOM OF 30 INCHES MINIMUM, G.C. TO COORDINATE WITH FINAL ROOF TRUSSES AND RCP LAYOUTS.

⊗ SCUPPER OFENINGS SHALL BE NOT LESS THAN 4 NCHES IN HEIGHT AND HAVE A WIGHT HAT S EQUAL TO OR GREATER THAN THE CRECUMPERINGS OF A ROOF DRWIN SZED FOR THE SAME ROOF AREA AS PER FLEC PLUMBING 1106.5. G.C. TO SUBMIT SHOP DRISS. FOR RACCHIECT APPROVAL. ALL SCUPPERS TO BE 6"X4".

O COMBUSTIBLE EXTERIOR WALL COVERINGS AT CORNICES, EAVE OVERHANDS, EXTERIOR BALCONES AND SMALAR PROJECTIONS EXTENDING BEYOND THE EXTERIOR WALL SHALL CONFORM TO THE REQUIREMENTS OF FIG. B. SECTION 1406.

® ROOF TOP EQUIPMENT IS REQUIRED TO BE 10"-0" AWAY FROM THE EDGE OF THE BUILDING ROOF OR BE PROTECTED BY GUARDRAILS 42" MINIMUM IN HEIGHT TO COMPLIMITE 2023 FBC B SECTIONS 1009.16.2 AND 1013.2

(3) THERE SMALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN 156 INCHES (314 mm) MEASURED IN THE SHALL HAWE A DIMENSION OF NOT LESS THAN 36 INCHES (314 mm) MEASURED IN THE SHALL NINE A DIMENSION OF NOT LIES THAN 26 MONES (3/4 mm) MEGRETON IN THE SHALL NINE A DIMENSION OF NOT LIES THAN 26 MONES (3/4 mm) MEGRETON IN THE CHIEF THAN SOLVER OR RETURNALIAN SHALL OF PERMITTE PROVICED THAT THE COPY. Which the Solver OR RETURNALIAN SHALL OF PERMITTE PROVICED THAT THE COPY. Which the Solver OR RETURNALIAN SHALL OF PERMITTE PROVICED THAT THE COPY. Which the Solver OR RETURNALIAN SHALL OF PERMITTE PROVICED THAT THE COPY. Which the Solver OR SHALL OF THE COPY. OR THE COPY OF THE COPY. Which the Solver OR SHALL OF THE COPY. THE COPY OF THE COPY. Which the Solver OR SHALL OF THE COPY. THE COPY OF THE COPY. THE CO

CODES IN EFFECT:

FLORIDA BUILDING CODE - RESIDENTIAL, 2023 FLORIDA BUILDING CODE - PLUMBING, 2023 FLORIDA BUILDING CODE - BUEL GAS, 2023 FLORIDA BUILDING CODE - FUEL GAS, 2023 FLORIDA FIRE PREVENTION CODE, 2023 EDITION NEPA 101 LIFE SAFETY CODE, 2021 EDITION VILLAGE OF BALAFROUR, FLORIDA BAL HARBOUR VILLAGE ORDINANCE NO. 2023-653

COMPLIANCE WITH ASCE 24-14

SITE PLAN NOTES

- (S) MALL AREAS USED FOR PARKING AND
 MANEUVERING OF VEHICLES INCLUDING ALL
 ACCESS DRIVEWAYS SHALL BE PAVED WITH
 A DUSTLESS, ALL WEATHER SURFACE
 MATERIAL CAPABLE OF CARRYING A WHEEL
 LOAD OF 4,000 POUNDS
- SAL MECH. EQUIP. MUST BE FULLY
 SCREENED WITH FENCES/ WALLS TO AT
 LEAST THE HIGHT OF THE EQUIPMENT
 AND SUPPLEMENTAL LANDSCAPING AS PER
 B.H.V CODE OF ORD.(TYP.)
- (S) TOP OF POOL BARRIER AT 48" ABOVE ORADE MEASURED ON THE SIDE WHICH FACES THE SIMMING POOL IN COMPLANCE WITH FEC RASO1.17.1.1— RASO1.17.1.14. "SWIDE SAFETY ACCESS CATE TO BACKYARD AND POOL.
- S4) ALL POOL ATTENDANT UTILITIES AND EQUIPMENT SHALL BE LOCATED ABOVE THE DFE AS PER ASCE 24 CHAPTER 7, ASCE SECTION 9.6.
- (SS) AS PER F.B.C. R322.2.2, ENCLOSED AREAS, INCLUDING CRAWL SPACES, THAT ARE BELOW THE ELEVATION REQUIRED IN SECTION R322.2.1 SHALL: 1.BE USED SOLELY FOR PARKING OF VEHICLES, BUILDING ACCESS OR

SIGNAGE.

2.BE PROVIDED WITH FLOOD OPENINGS
THAT MEET THE CRITERIA BELOW AND
ARE INSTALLED IN ACCORDANCE
WITH SECTION R322.2.2.

S6 AS PER BAL HARBOUR VILLAGE CODE SEC.5.5-5 THE MAILBOX SHALL BE PLACED ON THE DWELLING NEAR THE RESIDENCE ENTRY POINT.

(ST) ALL DEMOLITION REQUIREMENTS AND STANDARDS FOR CONSTRUCTION SITE OPERATION TO BE ADHERED TO AS PER BAL HARBOUR VILLAGE ORDINANCE NO. 2023-653

SB ALL RUNOFF WATER TO BE DRAINED WITHIN THE SITE

RY STREET SUITE 500 GROVE, FLORIDA 33133 888 WWW.JAROSZARCH.COM ARCHITECT, P. **JAROSZ** 6 M A 6 0 8 4 4 6 . 0 8 Z.W. 3 2 0 C 0 S



PROJECT / SHEET TITLE

DRIVE BAL HARBO PLAN BAL CROSS I FLOOR FIRST

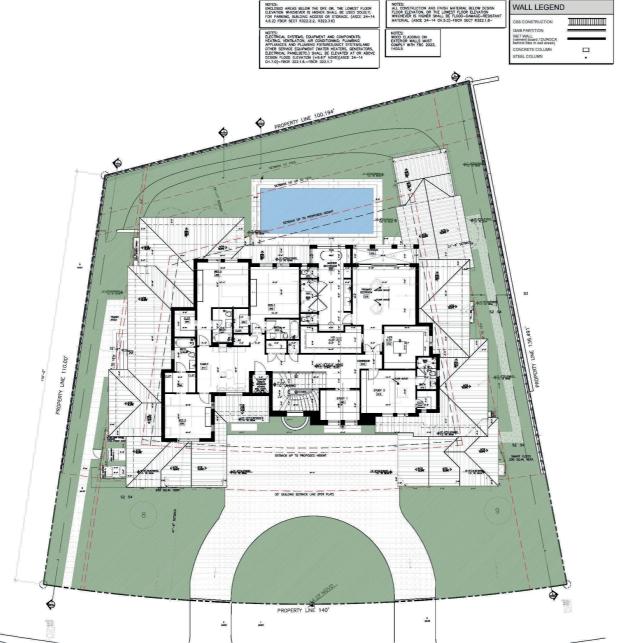


REVISIONS WS. DATE

BC

September 22, 28 5G, RK - 2]

A2.01



NOTES

SPACE REQUIRED FOR THE FIXTURES SHALL BE IN ACCORDANCE WITH FBC.R SECTION R307, AND IN ACCORDANCE WITH THE REQUIREMENTS OF FBC.P SECTION 405 SAFETY GLASS CATEGORY II TYP. ALL SHOWERS. AS PER FBC.R SECTION R308

BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER
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MATERIALS USED AS BACKERS FOR WALL THE ON TUB AND SHOWER AREAS AND WALL PANELS SHALL BE OF MATERIALS LISTED IN TABLE 1702.4.2. INSTALLED IN ACCORDANC WITH THE MANUFACTURER'S RECOMMENDATION, TO COMPLY WITH THE 2023 FBC B S

SHOWERS SHALL COMPLY WITH REQUIREMENTS AS PER FBC.R SECTION CHAPTER 27 PLUMBING PRITURES P2709.3 (TVP.). PAN MEMBRANE MUST SLOPE A MIN. OF \$\frac{1}{2}\$" PER FOOT TOWARDS DRIVIN WITH NO PENETRATION LESS THAN 1" ABOVE THE

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- © SCUPPER OPENINGS SHALL BE NOT LESS THAN 4 NCHES IN HEIGHT AND HAVE A WIDTH THAT S EQUAL TO OR GREATER THAN THE CRECUMPERINGE OF A ROOF DRAN SZED FOR THE SAME ROOF AREA AS PER FLBC PLUMBING 1106.5. GC. TO SUBMIT SHOP DWS. FOR MICHIELT APPROVAL. ALL SCUPPERS TO BE 6"4"4.

- (8) ROOT TOP COMPANY IS REQUERED TO BE 10'-0" AND YEAR TOWN THAT THE CODE OF THE BILLIAD CODE OF THE CONTROL OF THE CODE OF THE STATE OF THE CODE OF THE BILLIAD CODE OF THE C
- SHALL NOW A DIMENSION OF NOT JOES THAN SE HOUSES (THE MIN) MACHINETON IN THE DIMENSION OF THE MACHINE ALL THE MACHINE ALL THE SECOND OF THE CONTROL OF THE

CODES IN EFFECT:

COMPLIANCE WITH ASCE 24-14

FLORIDA BUILDING CODE - RESIDENTIAL, 2023 FLORIDA BUILDING CODE - PLUMBING, 2023 FLORIDA BUILDING CODE - BUEL GAS, 2023 FLORIDA BUILDING CODE - FUEL GAS, 2023 FLORIDA FREYENTION CODE, 2023 EDITION NPA 101 LIFE SAFETY CODE, 2021 EDITION VILLAGE OF BAL HARBOUR, FLORIDA

BAL HARBOUR VILLAGE ORDINANCE NO. 2023-653

3.26 MARY STREET SUITE \$0.0 OCCONUT GROVE, FLORIDA 3313 05.446.0888 WWW.JAROSZARCH.COM ARCHITECT, P.A. Z.W. JAROSZ

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PROJECT / SHEET TITLE

PLAN DRIVE BAL HARBOU FLOOR CROSS IR

SECOND BAL CR Zbign stretts iew Arox / Arox

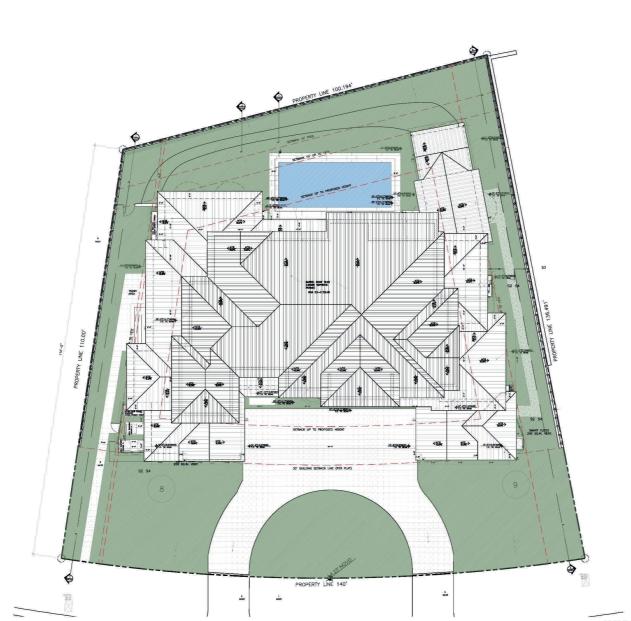
REVISIONS

NS. DATE

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September 22, 202 56, 88, 2]

SECOND FLOOR PLAN



PROJECT / SHEET TITLE BAL CROSS DRIVE
271 BAL CROSS DRIVE, BAL HARBOUR, FL 331 54
ROOF PLAN

Z.W. JAROSZ ARCHITECT, P.A.

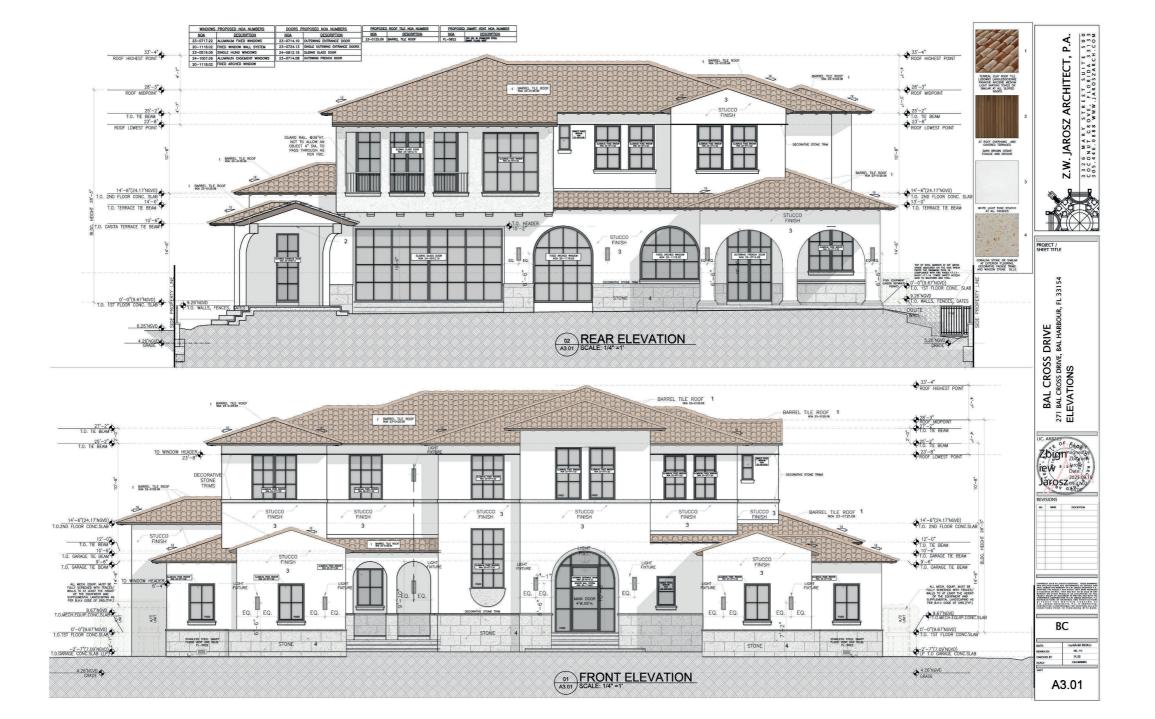
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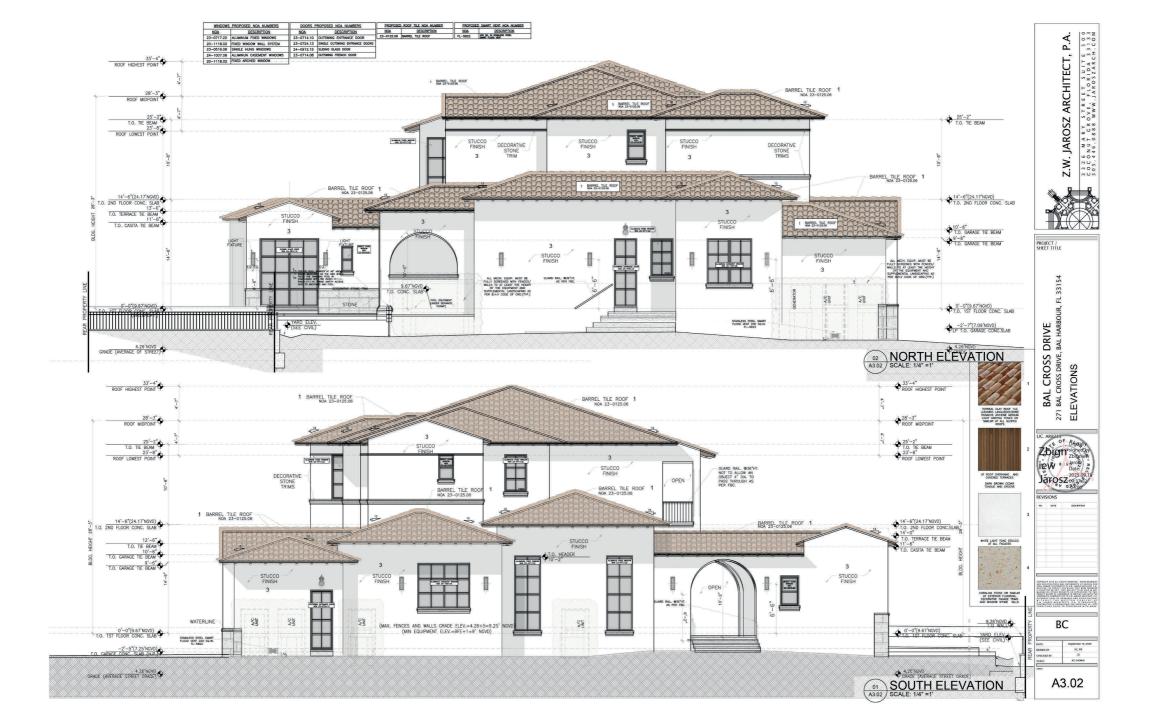
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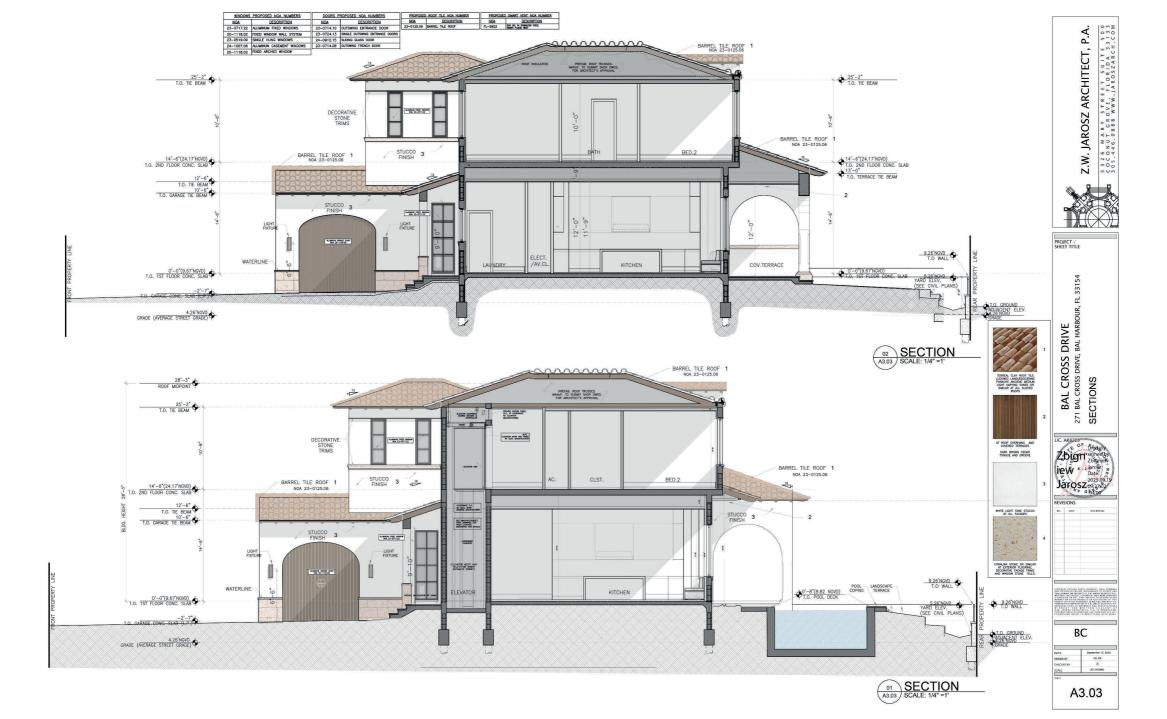
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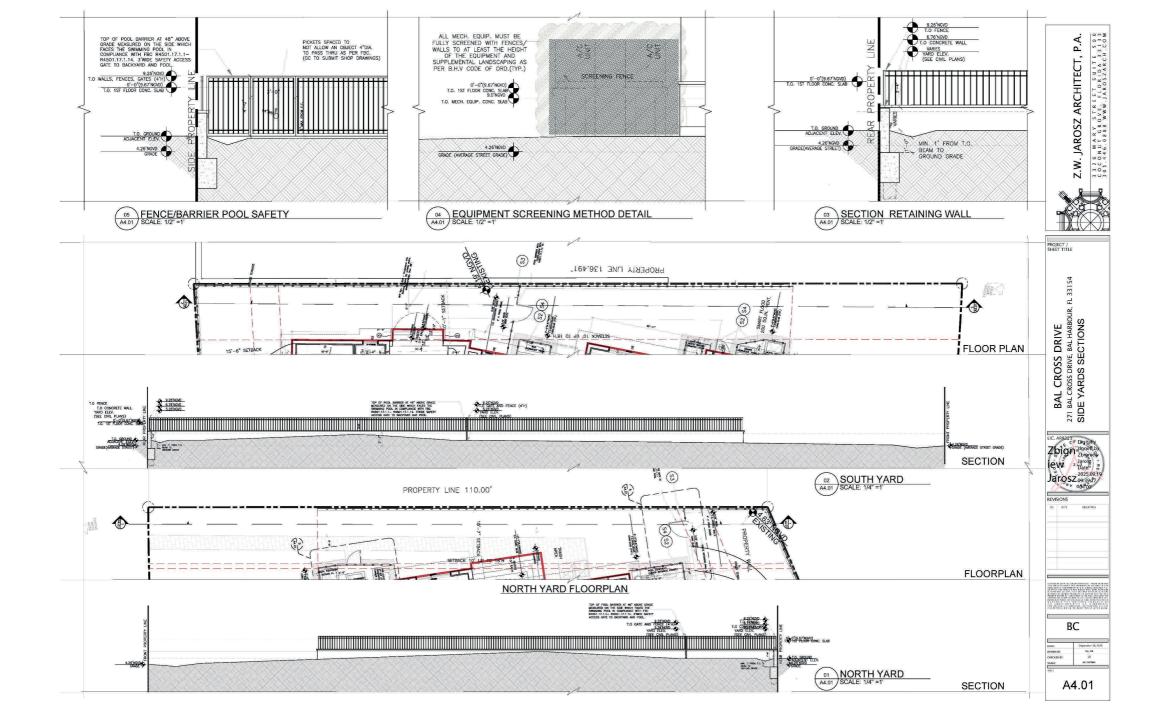
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ROOF PLAN SCALE: 1/8" =1"









ARB LANDSCAPE SUBMISSION SET 07.03.25

NEW RESIDENCE | 271 BAL CROSS DRIVE, BAL HARBOUR



SHEET INDEX

LO.01 JANGSCAPE COVER + SHEET INDEX
LI.00 EXISTING TREE SURVEY + DISPOSITION PLAN
LI.00 EXISTING TREE SURVEY + DISPOSITION PLAN
LI.00 ELANGSCAPE PLAN
LI.00 ELANGSCAPE PLAN
LI.00 PLANT LANGSCAPE CODE, NOTES + DETAILS
LI.00 PLANT MATERIAL MAGES
LI.01 PLANT MATERIAL MAGES

Z.W. JAROSZ ARCHITECT, P.A.

BAL CROSS DRIVE
271 BAL CROSS DRIVE, BALL HARDBOUR, FL 33154



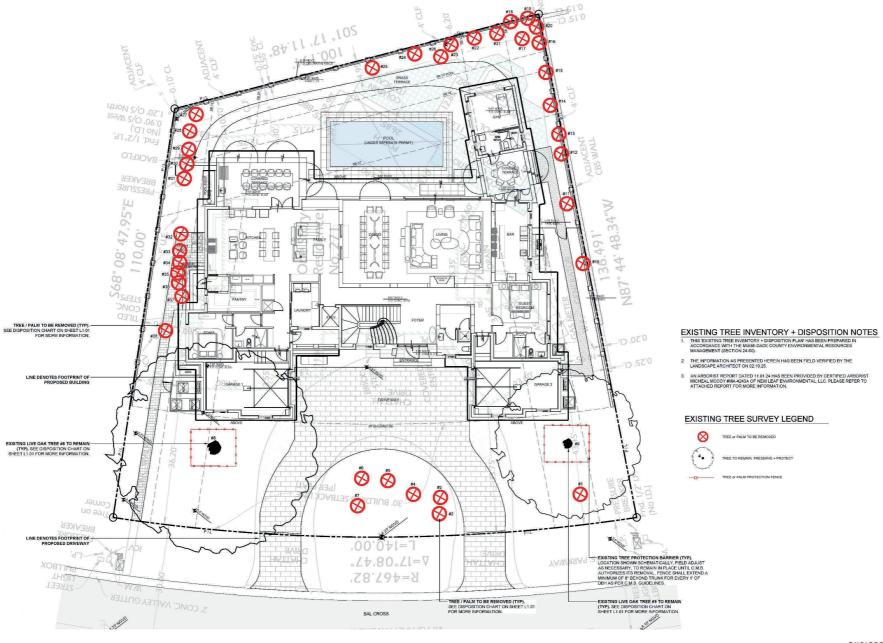
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Z.W. JAROSZ ARCHITECT, BAL CROSS DRIVE
BAL CROSS DRIVE, BALL HARDBOUR, 271 Digitally signed by Christopher Cawley Date: 2025.09.17 13:10:47-04'00'

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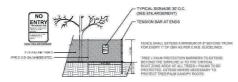
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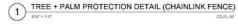
EXISTING TREE SURVEY + DISPOSITION PLAN



TREE * PALM PROTECTION FENCES SHALL BE CONSTRUCTED PRIOR TO ANY CONSTRUCTION ACTIVITY INCLUDING AGUISBING FOR ALL TREES OR PALMS THAT ARE TO REMAN, BE PROTECTED, WE BE RELOCATED ONSITE. THE SHALL BE MANTANEO AND SHALL REMAIN UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM CITY URBAN FORSESTER AFTER ALL SITE WORK HAS BEEN COMPACTED.

NO ACTIVITY OR DISTURBANCE SHOULD OCCUR WITHIN THE FENCED AREAS, INCLUDING VEHICLE USE, STORAGE OF MATERIALS, DUMPING OF LIQUIDS OF MATERIALS, GRADE CHANGES, GRUBBING, AND MECHANICAL TRENCHING FOR IRRIGATION, ELECTRICAL, LIGHTING, ETC. WITHOUT URBAN FORESTER APPROVAL.





EXISTING TREE INVENTORY + DISPOSITION CHART

NUMBER	COMMON NAME	BOTANICAL NAME	SPECIMEN	D.B.H. (N)	HEIGHT (FT)	SPREAD (FT)	CONDITION	DISPOSITION	CANOPY LOSS (SF)	COMMENTS
1	COCONUT PALM	Cocos nucliera	140	9	28	16	GOOD	REMOVE	201	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
2	COCONUT PALM	Cocos nucliura	NO	36	.90	16	6000	REMOVE	201	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
8	CHINESE FAN PALM	Livistona chinensia	NO	9.8	28	14	GOOD	REMOVE	154	IN CONFLICT WITH SITE DESIGN; MITIGATION PROVIDED.
4	CHINESE FAN PALM	Livistono chinensis	NO	7	26	14	6000	REMOVE	154	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
9	CHNESE FAN PALM	Livistono chinennis	NO	7,10	28,20	14	9000	REMOVE	154	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
6	CHINESE FAN PALM	Livistona chinensis	NO	10,9	28,28	14	6000	REMOVE	154	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
7	COCONUT PALM	Coccu nucliaru	NO	9	90	18	8000	REMOVE	201	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
8	LIVE GAK	Chiercus virginiana	YES	34	50	56	6000	REMAIN	N/A	PRESERVE + PROTECT DURING CONSTRUCTION
- 1	LIVE OAK	Quercus virginisma	YES	26	42	40	FAIR	REMAIN	N/A	PRESERVE + PROTECT DURING CONSTRUCTION
10	MAHOGANY	Sviotonia mahagoni	NO	22	48	38	FAIR	REMOVE	1134	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
11	MAHOGANY	Swietenia mahagoni	YES	28	48	40	6000	REMOVE	1257	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
12	MACARTHUR PALM	Ptychosperma mass thuri	NO	3	22	8	6000	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
13	PYGMY DATE PALM	Phoenix robelini	NO	3	10	8	6000	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED:
34	PYONY DATE PALM	Phoenix robelini	NO	3	10	8	9000	REMOVE	50	IN CONFLICT WITH SITE DESIGN; MITIGATION PROVIDED.
15	PYGMY DATE PALM	Phoenix robolinii	NO	3,4	12		6000	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
16	PYONY DATE PALM	Phoenix robelnii	NO	2.2	10		6000	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
17	PYGMY DATE PALM	Phoenic robelinii	NO	3.3	12	8	6000	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
18	MACARTHUR PALM	Ptychosperma masa thurii	NO	3	20	2	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
19	MACARTHUR PALM	Phychosperma mace thuri	NO	3	20	8	6000	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
20	MACARTHUR PALM	Phychosporne macerburii	NO	3:	20	8	6000	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
21	PYGNY DATE PALM	Phoenix robelinii	NO	3:	10	8	6000	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
22	PYGMY DATE PALM	Phoenix robelini	NO	3.2	8	8	6000	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
23	PYGMY DATE PALM	Phoenic robelinii	NO	3.3	10	8	6000	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
24	PYCMY DATE PALM	Phoenix robelini	NO	3.3	10	8	5000	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
25	PYGMY DATE PALM	Phoenix robelini	NO	3	. 0	a	POOR	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED:
26	SOLITAIRE PALM	Ptychosperma alegera	NO	4	26	8	6000	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
27	MACARTHUR PALM	Ptychosporma macarthurii	NO	4	20	8	9000	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED:
28	MACARTHUR PALM	Phychosperma masa riburii	NO	- 6	26		6000	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
29	MACARTHUR PALM	Phychosparma maca thuri	MO	3	18	8	6000	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
30	MACARTHUR PALM	Phychosperma macariburii	NO	3	18	8	6000	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
21	MACARTHUR PALM	Ptychosperma macerthurs	NO	3	18	8	0000	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
32	SOLITAIRE PALM	Plychosperms ulegans	NO	3	20		6000	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
- 88	SOLITAIRE PALM	Ptychosperma elegans	NO	3	28	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED:
184	SOLITAIRE PALM	Ptychosperma elegans	NO	3	20	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
25	SOLITAIRE PALM	Ptychosperma elegans	NO	3	10	4	6000	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
36	SOLITAIRE PALM	Phychosperms elegane	NO	3	16	8	6000	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
37	SOLITAIRE PALM	Phychosperma elegans	NO	3	26	8	SCCO	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
30	SOLITAIRE PALM	Ptychosperma alegans	NO	CLUSTER	26,10	8	9000	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.

TOTAL CANOPY LOSS = 4,967 SF*

MIAMI DADE COUNTY ENVIRONI	MENTAL RESOURCES MANAGEMENT	(SECTION 24-50)
TREES		
REMOVED (SF OF CANOPY)	REQUIRED (SF OF CANOPY)	CANOPY MITIGATION SUMMARY
4,967 SF	4,967 SF	6,200 SF CANOPY PROVIDED BREAKDOWN. NATIVE GUIRD LIMBO TREES (CATECORY 1 TREE @ 500 SF EACH) * 1,000 SF BRIDAL VEIL TREES (CATECORY 1 TREE @ 500 SF EACH) - 3,000 SF JAPANESE PRIPET TREES (CATEGORY 1 TREE @ 500 SF EACH) - 3,000 SF ALEXANDER PALMS (CATECORY 1 TRAIN @ 300 SF EACH) - 600 SF SILVER PALMS (CATECORY 2 PALM @ 300 SF EACH) - 100 SF SILVER PALMS (CATEGORY 2 PALM @ 100 SF EACH) - 100 SF

Z.W. JAROSZ ARCHITECT, P.A.

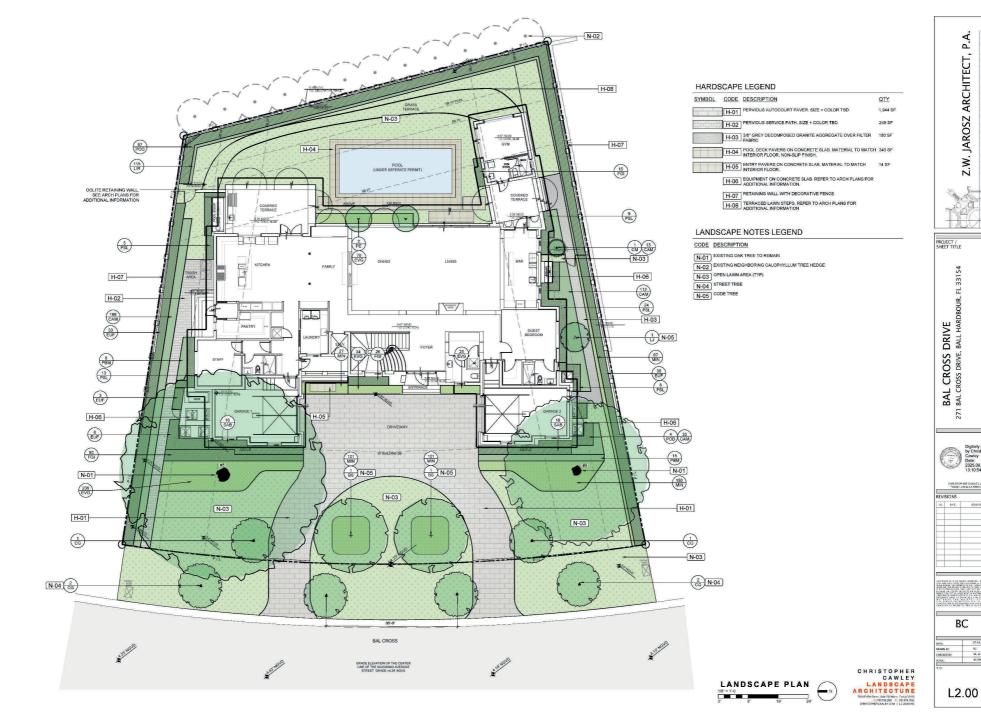
BAL CROSS DRIVE
271 BAL CROSS DRIVE, BALL HARDBOUR, FL 33154

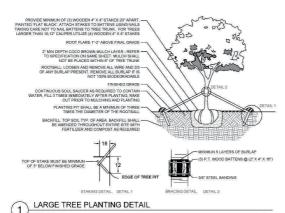
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BC

CHRISTOPHER CAWLEY
LANDSCAPE
ARCHITECTURE
700 NET COMMON COMMON

L1.01





Bal Harbour Village Landscape Code (Miami-Dade Ch. 18A / Street Tree Code (Miami-Dade Ch. 18B) Requirements Legend

Addre	ess: 271 BAL CROSS DRIVE Lot Area	0.34 Acres /	14,897S
A. Sh	ade Trees Required*	Required	Provided
1.	Single-Family Non-Waterfront Lot	3	5
2.	Single-Family Waterfront Lot	3	N/A
	Number of Shade Trees in Front Yard	2	5
4.	Native Species Required - 30% min.	11	3
5.	Drought Tolerant and Low	2	5
	Maintenance Species Required - 50% mil	1.	
B. Str	eet Trees Required**	Required	Provided
	Measured @ 1:35 lineal feet of frontage Width of lot / 35' =		4
	Note: Street trees do not count toward require	d on-site lot trees.	
	Note: Street tree species determined by Villag	e Street Tree Master I	Plan.
C. Sh	rubs Required***	Required	Provided
1.	Single-Family Non-Waterfront Lot	30	183
2.	Single-Family Waterfront Lot	30	N/A
3.	Native Species Required - 30% min.	10	175
4.	Drought Tolerant and Low	15	183

D. Maximum Lawn Area Allowed** 60% of Net Lot Area

* Required Shade Trees at time of planting must be a min, of 12 ft. in overal height, min, 4 ft. of clear wood before branching, and have min. 2½ furth caliper. Palm Trees (15 ftg. x 3 caliper) can be substituted at a 3.1 ratio (except approved larger palm species at 1.1 @ 15 wood) at max 30% of the

8,938 SF MAX

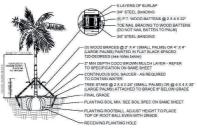
3,330 SF

** Miami-Dade County Right-of-Way Code Sec. 18B Street Tree Size = 12' min. height / 5' min. clear wood / 2 %' min. trunk caliper

*** Required Shrubs at time of planting must be a min. of 18 inches in overall height, spaced max. 24 inches on center, if used as a visual screen must be a minimum of 36 inches in overall height.

**** Miami-Dade County Landscape Code Sec. 18A-5(A)(5): 80% of plant material must be listed in either M-D Landscape Manual / M-D Street Tree Master Plan / UF Florids Low-Maintenance Landscape Plants for Scutth Florids.

Last updated 9/30/24



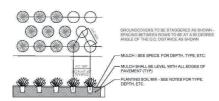
OTES
PALAIS OVER 30' GWI-BEIGHT, USE MINMAIN (4) KAM BRACING AND STAKES
PARMAN' STAKES SHOULD PLACED PARALLEL TO WALKMAYE WHENEVER POSSIBLE
PARMAN' STAKES SHOULD PLACED PARALLEL TO WALKMAYE WHENEVER POSSIBLE
BALL BE REPROBLICALAR TO THE ORDINOR PLAVE
TRUMS SHALL BE STRAIGHT AND WITHOUT CURVISE
TRUMS SHALL BE STRAIGHT AND WITHOUT CURVISE
AND SCARREDOR BE ADCREED TRUMS:
AMBIOLD DOL, MAY TO BE ADDED AT THE TIME OF PLANTING REDEID. SHALL CONSIST OF A RATIO
MAY OF AN OLD BUILD AND AND 20% SOMERHED PLAVENIZED TOPSOL AS NEEDED

PALM PLANTING DETAIL

 MULCH - SEE SPECS. FOR DEPTH, TYPE, ETC.
 MULCH SHALL BE LEVEL WITH ALL EDGES OF PAVEMENT. - 2" MIN. SAUCER COLLAR FOR WATER RETENTION LEAVE MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING, OR, COMPACT THOROUGHLY UNDER SHRUB AS NEEDED. PLANTING SOIL MIX - SEE LANDSCAPE NOTES, FOR MIX, DEPTH, ETC.

SHRUB PLANTING DETAIL (3)

CD-PI-07



GROUNDCOVER PLANTING DETAIL

PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	NATIVE	SPECIFICATIONS
TREES						
(-)	BS	2	GUMBO LIMBO	BURSERA SIMARUBA	YES	200 GAL, 20" HT, 10" SP, 10" DBH, EQUAL TO TREEWORLD
1						
()	CG	6	BRIDAL VEIL	CAESALPINIA GRANADILLO	NO	200 GAL, 20" HT, 12" SP, 5" DBH, EQUAL TO TREEWORLD
(LJ	1	JAPANESE PRIVET	LIGUSTRUM JAPONICUM	NO	8' HT, 8' SP, MULTI TRUNK, LIMBED UP, TREE FORM
PALMS						
(\cdot)	CM	1	SILVER PALM	COCCOTHRINAX MIRAGUAMA	NO	15 GAL, 4"HT, FLORIDA FANCY, EQUAL TO BOTANICS WHOLESALE
(\cdot)	PE	2	ALEXANDER PALM	PTYCHOSPERMA ELEGANS	NO	14-18' OA HT, #2 SLENDER TRUNK, TRIPLE TRUNK, FLORIDA FANCY
SHRUB AF	REAS					
	EUF	85	SPANISH STOPPER SHRUB	EUGENIA FOETIDA	YES	25 GAL, 6" HT, 3" SP, FULL TO BASE
	FGI	131	FICUS GREEN ISLAND	FIGUS MICROCARPA 'GREEN ISLAND'	NO	2-3" HT MIN, 2" SP MIN, FULL
	POD	74	PODOCARPUS	PODOCARPUS MACROPHYLLUS	NO	25 GAL, 6" HT, 3" SP, FULL TO BASE
	PSL	59	DWARF BAHAMA COFFEE SHRUB	PSYCHOTRIA LIGUSTRIFOLIA	YES	7 GAL, 3' HT, 2' SP, FULL
	SAB	35	BAHAMA MAIDEN BUSH	SAVIA BAHAMENSIS	YES	7 GAL, 2-3" HT, 3" SP, 24" O.C., FULL
GROUND	COVERS					
	CAM	365	DWARF CARISSA	CARISSA MACROCARPA 'EMERALD BLANKET'	NO	3 GAL, 12" O.C., FULL
William I	EVG	365	BRAZILIAN DWARF MORNING GLORY	EVOLVULUS GLOMERATUS 'BLUE DAZE'	NO	3 GAL, 12" O.C., FULL
	LIR	104	LILYTURF 'BIG BLUE'	LIRIOPE MUSCARI BIG BLUE	NO	3 GAL, 12" O.C., FULL
	PBM	21	BURLE MARX	PHILODENDRON X 'BURLE MARX'	NO	3 GAL, 24° O.C., FULL
67527	MIN	470	JASMINE MINIMA	TRACHELOSPERMUM ASIATICUM 'MINIMA'	NO	1 GAL, 12" O.C., FULL
	SOD	5,897 SF	EMPIRE ZOYSIA	ZOYSIA X 'EMPIRE'	NO	OVER 2" TOPSOIL BED, SEE PLANTING SPECS

PLANT SPECIFICATION NOTES

- LANDSCAPE CONTRACTOR TO PROVIDE IMAGES OF ALL MAJOR PLANT MATERIAL TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL BEFORE PURCHASE + INSTALLATION.
- LANDSCAPE CONTRACTOR TO MEET WITH LANDSCAPE ARCHITECT AND CWINER ON SITE TO REVIEW THE PROPOSED DESIGN PRIOR TO SUBMITTING A BID FOR THE PROJECT.
- LANDSCAPE CONTRACTOR TO PROVIDE AN ADDITIONAL ALLOWANCE OF \$15,000 DOLLARS FOR POTTED PLANTS + MISCELLANEOUS VEGETATION TO BE SELECTED DURING THE INSTALLATION OF THE PROJECT.
- ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER.
- ALL PROVIDED PLANT SPECIFICATIONS ARE THE MINIMUM REQUIRED.
- THE PLANT LIST IS INTENDED ONLY AS AN AID TO BIDDING, ANY DISCREPANCIES FOUND BETWEEN THE QUANTITIES ON THE PLAN AND PLANT LIST, THE QUANTITIES ON THE PLAN SHALL BE HELD VALID.



P.A. ARCHITECT, Z.W. JAROSZ

DRIVE BALL HARD CROSS I BALCE

Digitally signed by Christopher Cawley Date. 2025.09.17 13:10:57-04'00'

BC

L3.00

TREES + PALMS + SHRUBS





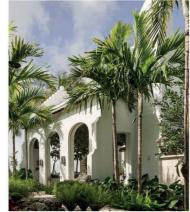




BS | GUMBO LIMBO

LJ | JAPANESE PRIVET

CG | BRIDAL VEIL (STREET TREE)









PE | ALEXANDER PALMS

EUF | SPANISH STOPPER SHRUB

POD | PODOCARPUS SHRUB

FGI | FICUS GREEN ISLAND

Z.W. JAROSZ ARCHITECT, P.A.

BAL CROSS DRIVE
271 BAL CROSS DRIVE, BALL HARDBOUR, FL 33154

BC

L4.00

SHRUBS + GROUND COVERS









SAB | BAHAMA MAIDEN BUSH

CAM | CARISSA EMERALD BLANKET

EVG | BLUE DAZE







PBM | PHILODENDRON BURLE MARX

BAL CROSS DRIVE
271 BAL CROSS DRIVE, BALL HARDBOUR, FL 33154

Z.W. JAROSZ ARCHITECT, P.A.

BC

L4.01

1. APPLICABLE CODES

- ILL ALL CONSTRUCTION AND MATERIA'S SHALL CONFORM TO THE STANDARD AND SPECIFICATIONS OF THE MELACE OF DAY IMPROVED AND ALL OTHER LOCAL SHALL AND SHALL AND MATERIAL COOLS WHICH AND AND CALLEY WHICH CONSTRUCTED AND ALL OTHER LOCAL SHALL OF TRANSPORTATION (C.O.T.) RAW WHERE FLORIDA DEPARTMENT OF TRANSPORTATION
- 1.2 ALL CONSTRUCTION STALL BE DONE IN A SALL MARKER AND IN STRUCT COMPLEMED WHE AT JOE INCOMPLISHING OF FIREMAL OCCUPATIONAL SAFETY AND PROTE ACT OF 1970, AND ALL STATE AND LOCAL SAFETY AND PENETH REGULATIONS.
- 14. THE WILLIGE OF BALL HARBOUR WATER AND SEWER DEPARTMENT WATER AND SEWER SFECTION TONIS SHALL DISTATE WHEN HIS CONFLICT WITH ANY OF THE LIST DWARF ON CO. DIA STANS.
- 1.5. ALL MATERIALS AND CONSTRUCTION WITHIN THE D.C.T. BAW SHALL CONFORM TO BUT D.C.T. "DESIGN STANGAROS" (2015) AND "STANDARD SYCLEGICABONS" (2015).
- LE LE CONTRACTOR ES RESPONSES E LOS PROMINOS DE MARIELMANO DE DALLO (SCAT) PARA FRIBE TO CONCENCIONA. DE CONSESTIMOS FRISSES SULLE LESSE, DEL GLA GLA GLA PARA CON DE PROCES CONCENCIÓN UNE STANDADO NOS SPASSES ECO, AMPRICADE DOS CESTOS CONCENCIONAS UNES SANDADO LO CONTROCTOS SULLE FRANCE DE VIOLENCE SONO SE REPUBBLICA PROCESSA LA CONTROCTOS SULLE FRANCE DE VIOLENCE SE REPUBBLICA PROCESSA LA CONTROCTOS SULLE FRANCE DE VIOLENCE SE REPUBBLICA PROCESSA LA CONTROCTOS SULLE FRANCE DE VIOLENCE SE REPUBBLICA PROCESSA LA CONTRACTOR SULLE FRANCE DE VIOLENCE SE PROCESSA LA CONTRACTOR SULLE FRANCE DE VIOLENCE DE VI
- 2. PRECONSTRUCTION RESPONSIBILITIES
- 23 UPON HE RECUPI OF THE THORICS TO PROCEED. THE CONTRACTOR SHALL CONTRACTOR PROGRAM OF HECHTE AND ARRIVED A UNCONSTRUCTOR CONTRIBUTED TO HIS UPON A UPON OF CONTRIBUTION OF THE CONTRIBUT
- 26. THE CONTRACTOR SHALL CHEATER STATES THE CASE OF FLORIDA, INC. CERTIFICATION NUMBER AT LEAST 48 HOURS PROOF TO BECOMING ANY EXCAMPAIGN, CALL 1-800-422-4770.
- 2.7. ALL UTILITY EXSEMENTS TO BE SECURED PRIOR TO CONSTRUCTION OF REQUIRED).
- .23 THE DOMINACTOR MUST CALL THE MEAGE OF BAL HARBOUR AT LEAST 48 HUBBS REFORM ANY EXCHANGEN WHICH THE RAW TO OFFICIALLY THE LOCABOR TO O'F HE EXTRA THE TRAFFIC SIGNAL WITHOUTHAGET CABLE.

3. INSPLCTIONS

- 31. THE CONTRACTOR SHALL NOTIFE THE MELACE OF BALLMARDOUR, AND ANY OTHER CONCENSIONERS AS ASSESSMENT SHEEK AS A HOUSE SHOWN FOR AS LEASE A HOUSE SHOW BY DRIVEN ON AS LEASE A HOUSE SHOW HOUSE THE WAS LINEAR TO BE OFFICERS OF THE VOLUMENT THEM. THE PROPER AND A HOUSE SHOW OF THE ASSESSMENT OF THE VOLUMENT THEM.

 - \$1.1. GLEARING AND FILLING \$1.2. FORM DIRACHOGE SYSTEM \$1.1. SERVICE STATES STATES \$1.2. SUPPLY STATES SYSTEM \$1.2. SUPPLY STATES \$1.2. SUPPLY STATES \$1.4. ASSESSED STATES \$1.4. ASSESSED STATES \$1.4. SUPPLY STAT

M. SHOP DRAMNOS

All PRIOR TO THERE CONSTRUCTION OF INSTITUTIONS, SHOP DRIVINGS SHALL BE SOMETIES TO AN APPROPADE OF THE CHRISCEN OF RECORD FINE THE ALLAC MATTERS, CASTE HERMAN FOR SHAME AND A FEW THAT A

5. ILMPORARY LACILITIES

- 1.1. If SHALL HE THE CONTRACTOR'S PERFORMANTED TO ARRANGE FOR OR SUPPLY TEMPORARY MATER SERVICE, SAMILARY PROLITES AND TO CHARGE.

5.2 TRAFFIC REGIL ATION:

9/18/2

9/18/25

DATE No. DATE REVISIONS

BLSKVLJ I*

- \$2.5 MARKINANCE OF WALLE BY UN PLUBIC POLITIES OF WAY SHALL UP BY ACCORDANCE WITH MARKIN TRAFFIC CONTROL OF MCFC (M.U.T.C.D.).
- 5.2.2. Act. Grew Thenches Arm Holes Adjacent to ROADWAYS OF MALKMAYS SHALL BE PROPERLY MARKED WAS BARRECOOD TO ASSURE THE SAFETY OF BOTH VENDELLAR AND PROSESSIONA PROPERTY.
- 5.2.4. NO HENORES DE TRELES INLAN MARKWAYS, DE HOADWAYS DE TREES SECURIOS AND TO DE TELLY OWN DEFINION DESTRUTION FROM METALLE EXPRESS FEMILISMENT DE THE RELEAS OF AN EMPROSON.
- 3.2.4 IT SHALL BE BE DESPONSIBILITY OF THE CONTRACTOR FOR ANY NECESSARY CONSTRUCTION, CARLACT! MARKOE AND SHOULD BE ANY PERESTRUM SUBMILIZATION / MOD/OR SKAME MEGISTICATION TO ACCUSABLED IN AN THINKE I SAIL MAKE WILL.

6. WATER DISTRIBUTION SYSTEM

S.L. SEPARATION OF WATER AND SEMER MANSO

- ELE SHITTNEY SERFE, STORM SEWES, AND FORCE WANS SHOULD CROSS UNLES HOLD WAND, SHITENERS PUSSUEL, SHOWNESS STORMS, STORMS, PRODUCT AS MORNING WAS FORCE OF THE WORSE STORMS SHITTS OF THE SPECE FORCE OF THE WORSE STORMS FOR
- CALL BERRY STREET, STREET, STREET, GE FERST MAIN MOST CHOST & WOLLD MAIN MERLESS MAIN IT BOARD FREITCH DEFAURT, INCH AN ARROW MAIN AND CONSISTENCE STREET, CONTROL OF MAIN CONTROL OF THE STREET, A MAINTAIN STREET, MAIN MAIN AND MAIN OF THE ARROW MAINTAIN OF THE MAIN AND ARROW MAINTAIN OF THE ARROW MAIN AND ARROW MAINTAIN COLLEGE AND ARROW MAINTAIN AND ARROW MAINTAIN COLLEGE AND ARROW MAINTAIN COLLEGE AND ARROW MAINTAIN COLLEGE AND ARROWS MAINTAIN AND ARROWS MAINTAIN
- 6.1.3 ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER HIPE JOHN'S AND THE WAYLY MAIN PAPE (CONTO ARE EXCUSIVED FROM THE PERMI OF CROSSING TWES CONTERED ON THE CROSSING).
- 63.4. MERL A NEW POR CONFECTS WITH AN EXISTENCE FOR WITH LESS DIAN

- TR[®] MODES WESTERN DEPARATION, THE NEW DEVE SHALL HE CONSTRUCTED OF DW, AND THE CHOSSING SHALL HE ARRANGED IG HILL THE REGIONAL HER ARRANGED HER THE RESIDENCE OF THE CONSTRUCTION OF THE
- 5.1.5. A MARKUM TO FOOT HORIZONTAL SEPARATION SHALL BE MANETAWED BETTERN MAY TIPE OF REMER AND WATEN MAIN IN PARALLEL BUSINLATURE WASHING HOSERAT.
- S.I.S. DE CASES INSPECIT IS NOT COSSIBLE TO MAINTAIN IN 10 FOOT PROCESSING SEMPLATION. THE WILLIE MAD MOST BE LIKE OF A COST SET OF THE PROCESSING AND ACCOUNT OF A SOUTH OF THE WILLIAM TO THE BOTTOM OF THE WILLIE IS NOT LEAST IS MOVES ABOVE THE TOP OF THE SEMPLATION.
- SULT SHEETER TO THE POSSIBLE TO MOTHER OF PROTOLL DESTRUCT SEE TO SHEETER THE THREE SHEETER TO MOTHER OF THE THREE SHEETER THREE SHEETER THREE SHEETER THREE SHEETER THREE SHEETER THREE SHEETER SHEET
- 8.1.8 CONTRACTOR STALL MAINTAIN WATER SCHOOL TO MLL EXISTING (ACLUSES DENIES CONSTRUCTION).

- 5.21. POLYMEN CHARRY (PVC) FOR SIMIL OF OR 18 AUS / AMERICAND STOR STATES HE WINDS.
- 8.2.2. ALL POPE LARGER DAWN 10° DAWFFR WAST SE DAIGHE STOK (UM. CHASS SE), SE AND 10° DW (UM. CHASS SO), 4° AND 3° UM (UM. CHASS SE), ALL DAUTEL SION FRE SIMIL CONTORM TO THE REQUESTRATE OF ANSYMMA CHIS/YOTHS SO AND CEMENT WORTH
- 5.2.3 TITIMOS STALL TA DUCTEL BECK WILLIAMO AMES/ARMA
 C 132/ARIJES DE SPECHCATIONS FITTINGS WIET DE CEMENT LINED
 MED SPAT COLFTD SPA MES/ARMA COLFIZIA DE
- 8.24 WALKS SHALL BE SALE WALKS, BRILL HOLY, FRITZ HESSEN SEAL BRINGED HOSINES NON-RISSES STEM, RETES AT 200 PS AND CONTINUED TO PARS/AWA 2003 34 CM LATEST RESISEM, AND STALL HASE SPECEPHICAL STATIS.
- 5.24.1 SAR VALMES 4" AND LAMBEM STALL BE MURLLER A 23%5 TO RESILENT SEATED ONTO MALVES SHALL BE AMERICAN BO LIVE OR OLOW 1—6100, CORO GUARNIC LO ANSIJANIMA COCO—9.6.
- 6.2.4.2 TAPPING VALVES SHALL BE MURLLER 1887 OR APPROVED EQUAL. 2.24.1 DATE KALMES 3" OR LESS SHALL HAVE THE SAME REQUIREMENTS AS LANCON CALL MALMES THEY SHALL BE 2" HEW WALLS, WHILL 2" OPERATION NOT.
- 5.2.5 TATPING SLEEVES SHALL BE MUELLER HOLS, CLOW F 2505 OR APPROVED LOUAL
- 8.26. WHILE BOXES SHALL BE THER OR ADDROVED EQUAL.
- 5.2.7 PLIMINER BLANDS STALL DE JACON-LUG AND CONFORM TO AND 7 AUMA-CITT/A21:11 00 OR LATEST REMSTON. ALL SEAMES SHALL BE MANUFACTURED STROM COLORIE, BROWN AS LOSSED BY DEPLEMBELIES LAKERATURES SER 72:20 TOS MORROM MEDIA 1925-52189 PARIMO.
- 5.2.8. NO DRESSER COLPANSS SHALL BE ALLOWED ON DISTRIBUTION SYSTEM
- 52.0 (INC. INTERNAL) STALL DE MALLEL BERTHARD ROLLE DE SALL DE LOS OFFICIALISMOS PROPERTO DE CONSIGNO TODA DE PALES CONTROLL DE COLUMBIOS DE LE MARTIN CONTROLLE PALES CONTROLL DE LOS CONTROLLES DE LA CONTROLLE DE CONTROLLES DE LA CONTROLLE DE LOS CONTROLLES DE LA CONTROLLES DE LA DEL LA CONTROLLES DE LOS CONTROLLES DE LA CONTROLLES DE LA DEL LA CONTROLLES DE LA CONTROLLES DE LA CONTROLLES DE LA PEROPENSIONE DE LA CONTROLLES DE LA CONTROLLES DE LA CONTROLLES DE PEROPENSIONE DE LA CONTROLLES DE LA CONTROLLES DE LA CONTROLLES DE PEROPENSIONE DE LA CONTROLLES DE LA CONTROLLES DE LA CONTROLLES DE PEROPENSIONE DE LA CONTROLLES DE LA CONTROLLES DE LA CONTROLLES DE PEROPENSIONE DE LA CONTROLLES DE LA CONTROLLES DE LA CONTROLLES DE PEROPENSIONE DE LA CONTROLLES DE LA CONTROLLES DE LA CONTROLLES DE PEROPENSIONE DE LA CONTROLLES DE LA CONTROLLES DE LA CONTROLLES DE PEROPENSIONE DE LA CONTROLLES DE LA CONTROLLES DE LA CONTROLLES DE PEROPENSIONE DE LA CONTROLLES DE LA CONTROLLES DE LA CONTROLLES DE PEROPENSIONE DE LA CONTROLLES DE LA CONTROLLES DE LA CONTROLLES DE PEROPENSIONE DE LA CONTROLLES DE LA CONTROLLES DE LA CONTROLLES DE PEROPENSIONE DE LA CONTROLLES DE LA CONTROLLES DE LA CONTROLLES DE PEROPENSIONE DE LA CONTROLLES DE LA CONTROLLES DE LA CONTROLLES DE PEROPENSIONE DE LA CONTROLLES DE PEROPENSIONE DE LA CONTROLLES DE LA CONTROL
- 8,210. FIRE HYDRANTS SHALL BE PARTED YELLOW (RUSTCLEUM 2014 SUFETY YELLOW OF APPROVED FOUND)

6.3. BERNST COMMICTION.

- 6.1.1. SERVICE SADDLES SHALL SE STANLESS STEEL STRAPS, SADDLES SHALL IS NOWELL SHARP 1998, ALL SHARD, SADDLES STALL CONSISTANT ID AMS/ANTA CITY/ASIT-ON AND ASIN A 1998.
- 8.3.2 SERVICE THAT STATE HE POYTHING (\$408), 250 PS RATED, SDAY, OTHER SOURCE STATE OF THAT IS OF THE COMPANIES STATE WESTER.
- S.I.I. CONTRACTOR STORY STALL BE MANUFACTURED OF HEATS ALLOY IN ACCUMENTS HER ASSEM B-62 MITS HERADED FRUIS, AS AMBIECULED BY WESTER HEADAS OR APPROVED FOUND.
- 5.3.4. COND-5708'S SHALL BE MALLER HIDZOS OR APPROVED EQUAL.
- S.IS. WETER STORS SHIPL BE LOCKING THEF AND SHIPL BE OF BOOKE CONSTRUCTION AN ACCOMMENTE WITH MENT OF THE MENT STORS SHIPL BY LOCKING WHICH AND RESIDENCE WERE ACCOUNTS AND ACCOUNTS OF THE MENT OF A STRUCTURE TOTAL.

- 8.4. ALL PYC PARL STALL IN UNSTALLED ON ACCOMMANCE WHE HE WAS TREE PLASTIC PAPE ASSOCIATIONS SUIDE FOR MISTALLATION OF PAPE FOR STADE WAS FOR WANGED WAS AN EXPENDED ASSOCIATION.
- #4.2 AT DEF STATE BY INSTALLED BY ACCORDANCE MEET ANSWARDING COOR OF LATEST REVISION.
- S.A.I. ALL WATER MADES SHALL BE LASS WITH A MEMBERN 36" COVER FOR PUR AND 30" LOS DAS 5.4.4. NO CONSICEOUS TO EXERNIC LINES SHALL BE MADE UNTEL PRESSURE ESTS & BACKLINGEDOCAL TESTS THAN DILLY PERFORMED AND THE SYSTEM STATEMENT OF MILES OF BALL BAHRDIN AND THE HEALT OF DEPARTMENT.
- 5.4.5 PRE DEFECTION STALL NOT EXCELD FOR OF THE MAXMEN DEFELCTION RECOMMENDED BY THE MANUFACTURES.
- 9.4.6. A CONTRICIOS AND UNFORM REDUNC SHALL BE PROVIDED, RADERI MATERIAL SHALL BE TAMPED IN LYTERS RADING THE PRE AS SHOWN ON THE PLANS. STONES FOUND IN THE TREMS'S SHALL BE REMOVED THE A DETRI OF AT LEAST AS BELOW THE ROTTOM SE THE OW.
- R.4.) AN VALWES STAFF TO INSTANTION WITH ANALYSTAFF CAST WITH THE WORD, "WATER" CAST IN THE COVER. U.S.E. OR
- S.A.B.: ALL FITTINGS TO BE RESTRAINED WITH MESALUS OR APPROVED EQUAL
- 8.4.5. LONGATOR DAPE AND WHIT MUST BE DISTALLED 12" ASSOCIATED MATER

- MARIS, TAPE TO: BE 3" MOF MID COLOR CODED, LOCATE MORE MET SHALL BE NO.14 STRAND AND COLOR CODED.
- 6.4.10 R.P.M.'S TO BE INSTALLED, PRIOR TO 9/0. AT CENTER OF MEASES THEM AND THE MAINTAINS THE AND THE ACTION TO ALL PHYSHAMS. THEM, AND THE ACTION TO CONNECTS (2) TWO R.P.M.'S STALL DISSIPATED, CHE ALL EACH MODIBINEY.

6 S. TESTING

- GALL STATES AT THE STATE OF CONTROL TO THE FASSION THE HAVE FOR MADE THE COMMENT WITE STATES SHALL BY STATES TO SHALL AND DESCRIPTION THE OFFICE SHALL BY STATES SHALL BY AND DESCRIPTION THE OFFICE SHALL BE SHALL BY SHALL BY AND SHALL BY A BENEFICE SHALL BE SHALL BY SHALL BY SHALL BY HOUSE IN LOOSELING WITH MICH SHALL BASE OF LITEST PERSONS THE SHALL BE SHALL BY SHALL BY SHALL BE SHALL BY SH
- 8.1.2 HE PRESSURE HEST SHALL BE WINNESSED BY A REPRESENTATIVE OF HE ACLASS OF THE TRANSPORT LITTLESS OF PARTIES AND THE PRESSURE OF ACCIONA.
- 6.5.3. ALL NEW WATER MANYS SHALE BE PROCED AND CANON YEUSTED PRICE.
- A.A. SENSE ACCOMMENT FOR OURSETAN, THE WITH STATES SHALL BE PRODUCED A ACCOMMENT OF A REPORT OF A PARTY OF A WHATE STATES OF THE PROSESSER METER RECOMMENDED MAY BE WHATE STATES OF THE TWO OPERATIONS MAY BE CHARLESCOPIES STATES THAT PRODUCED THE DE-COMMENDED OF THE STATES OF THE PRODUCED OF THE STATES AND WITH OWNERS OF THE PROBLEM, WITH CONTROL OF THE STATES AND WITH OWNERS OF THE PROBLEMS OF THE STATES OF THE STATES AND WITH OWNERS OF THE PROBLEMS OF THE STATES OF THE STATES.
- 655 SAMEDIG PORTS STALL IN PROVIDED AT THE LOCATIONS STIDING OF THE PEAKS IN ACT SPACEFUL, SAME INC. PORTS SHALL THE FROMBED AT INTERVALS OF 1200' MEMBERS OF LINES GREATER THAN 2000' SHI LERONI.
- 8.5.4. SOUCE THE ALLOWARD FIRMAGE IS DEFINED IN GALLONS PER HOUR, INSING SHALL BE COMMUNICATION, AT A MINAGEM, TWO BEDEFENDENT I HOUR LIST HEAVEN.
- 6.5.7. THE WAXBOUM ALLOWABLE LEVKING FOR DUCTLE FROM MINTS SHALL BE DELEKTORED BY HE FOLLOWING TORRIGH FROM HE ARREFAMMA STANDARD CROOT "INSTALLATION OF DUCTLE FROM WATER MANY AND THER APPUREEMINGS," LAFEST FORTING
 - THEN APPLIETE HATELY LATES FOR THE SOUNCE FOOT OF A PRINCIPAL SET THE SOUNCE FOOT OF A PRINCIPAL SET OF A PALLOWER LATES WE GRALLOW FOR HOURS AND THE SOUNCE SET OF A PALLOW FOR THE SOUNCE SET OF THE SET OF THE SOUNCE SET OF THE SOUNCE SET OF THE SET OF THE

CRAVITY SEWER COLLECTION SYSTEM

233, DESCRIPTION AND FUNCTIONS SECURE ON THE PROPERTY OF STRUCTURES.

- 7.3.1. ALL SEWER FORE AND FITHIGS SHALL BE PUT SURIS FORE CONFORMING TO ANSAYMUR SHARMAND COOPERS, CLASS TOO WHILE PUSH-CO HORDER CASCE SHARM ON DEPTH FORE FOR FORE SHILL FORE FOR PROTECTED 401 QUENCHASS 50), AS WORKEN ON THE DRAWNOS.
- 7.2.2 MARCHOLES SHALL OF PRECAST PER ASTM C 478 METH AJMOUTES CONCRETE AND GRADE BO STEEL MORROUTHICALLY POLISED BASES ONLY. ZZI MANGGES ARE 10 JE STALLD MIN AND TUNING CLARKS OR APPROVED FOUR - NO MOREGINE IS ASTER.

- 7.13. PVC SEMER PORT STAIL OF FAID OF ACCORDANCE WITH ANDE D 2221 AND THE UN-ASSIGNATIONS TREGOMENDED PRACTICE FOR THE INSTALLATION OF PVC SEMER PORT."
- 7.3.2. DUCTEF HON PAPE SHALL BE WISTALFO OF ACCORDANCE WITH ANSI/RWIN-CODD 83 OR LATEST REVISION.
- Z.I.I. SAID COVAR SHALL BE CROWLED IN PLACE AT EACH PIPE CONNECTION INTO A MARHOLE WAY.
- V.3.4 MARRICLES SHALL BE SET PLUMB TO LINE AND GRADE ON FRAM SUBMINATE PHONONO CONCERN HEARING CARD IN HASE. 7.3.5. ALL GREWINGS AND JOINTS SHALL BE SEALED WATERTIGHT.
- A.C.A. THE PRINT DUSTY AND TRIBUTE OF THE MARKETS SHALL HE L'AMBED WITH TWO COATS FIRST COAT RED, SECOND COAT BEACK 2E MLS FACH) OF KIMPERS JOSH BETUMPSING PART OF FROMFRE'S AVEROPED ECOAL
- Z.3.7 FRIGURE SEWER SYSTEM MUST REMAIN SEPERATE FROM NEW SEVER SYSTEM WITH A WING-NUT TIME MECHANICAL PLUG UNTIL CERTIFICATION.
- 7.4.1. AFTER CONSTRUCTION OF THE SEMER SYSTEM, THE ENGINEER MAY ASSUME A VISUAL WAS INFORMED ON THE STRUCK AND FOR EXPERIENCE THE STRUCK OF ANY PARK DESIGNOR OF THE STRUCK OF THE STRUC
- 7.4.2. AN AIR TEST MAY BE SUBSTITUTED FOR THE WATER EXPLITATION TEST, UPON APPROVAL OF THE ENCHALTS.
- 7.4.3. MARRORE FRANCE INST. SHALL NOT EXCEPT FOUR GALLONS THE DAY. FER URST. NO WISHE STAKAGE ALLOWED.

SEWACE FORCEMAIN

- E.L.S. WATER GAIN THE TWENTER 19" OF 149") FOR MARKS SHAFE THE SAND WITH NO MOOKS DATEON THAN 3" IN GRAMMITTON.
- NO DISTANTANE DE DE LANS DE ME HASTANINA CIDADANA LA RESPONSA UNIDADA DE LA USUA DE LA
- 8.2.2. EXTONO FOR MAINS 4" AND LABORR SHALL BE SUR, MECHANICAL JOINT

- CONFORMING TO ANSI/ANNA CHIC/A211G-98 OR LATEST REVISION, COMPLETE WITH GLANCE GARNETS, BOLTS AND NUTS.
- 8.2.3 MALKES SHALL BE GATE VALVES (FOR WATER) OR PLUG WALKES (FOR SHEN), BOOK HOME, HILLY RESIDENT SHALL REFORM MISSISH MORE FOR SHEN SHEN SHALL SHALL REPORT OF MASS/MAN COSH-BO ME INDEX REPORTED AT DO RES AND COMPONION

8.3 INSTALLATION

B.21. VALVES SHALL BE HISTALLED WITH ADJUSTABLE CAST FROM VALVE BOXES WITH THE WORD "SEVER" CAST IN THE COVER.

STORM DRAINAGE

WILL DISTURCES AND LENGTHS SHOWN ON CLANS ARE REFERENCED TO THE 11. PROJECT OF OSFOUT

- 9.2.1 INGI-DURSITY POETE REVIEW (HIDPLE) SHALL MLET THE RECOMEMENTS OF ASTM F2619 / F2619M, LATEST REVISION.
- 432. REDSORGED CONCRETE PARE (R.C.P.) SHILL WEET THE REQUIREMENTS OF ASIA (C. P.S. 1241S) IN WEST, WHITE WASHINGS ON OTHER MARKACHUMEN SUPPLEMENTS WHITE SHILL BY USEN ASIA OF THE PROPERTY OF THE SHILL BY USEN ASIA OF THE SHILL BY USEN.

- \$ 25. FELD KONTS IN THE PROCESSAL OF MADE MITH ALTERNATION FOR HER THE FOREST FROM CORES ALTERNAL SHEETS, AND SHALL CONSIDER AS A PROCESS BY KAISE VLUMBER, AS A PROCESS BY KAISE VLUMBER, AND, CH APPROACH EDUAL.
- 9.5.9. ALL DRABNOF CATCH HASINS AND STRUCTURES SHALL RE PRECAST CONCRETE AS MANUFACTURED BY U.S. PRECAST CORPORATION, DRESS STRUCTURES, NOTED ON THE PERMAN, BLOCK CATCH DASINS MELL SE PALLEMENT SHEY WITH APPROVING ON THE THREETH.

Q R AUCTALLATION

- (\$3.2) RACKER MATERIA SHIFT OF UP OF GRADED GRADERA MATERIA, WELL TAMPED TO A HOSET OF UP DIGUES ABOVE PRE AS SHOWN ON THE PLANS HAMMED OF DECOME OF LATER MOST OF DECISION OF DIGUES
- B.S.S. PHOWIE & MARKING PROJECTIVE, COMM. OF 18 SHERES OVER STORM OF HER AND AVEND UNDECOSSANT CHOSSING BY REAVY CONSTRUCTION PROCESS SUPPLY CONSTRUCTION.
- 19.0.4. THE CONTRACTOR STATE HOTELY HE VILLAGE OF DATE HARDERH FRIGHT-HOLD GRESSIN AT LEAST 7 DAYS DRIDE TO THE START OF THE CONSTRUCTION AND INSECTION.

TO. PAVING AND SIDEWALKS

- FORTE ALL EMPLHACIONAND BULLIES STALL IN COMPLLIED PHICK TO CONSTRUCTION OF FEMOLOGY BASE.
- 1033 ALL CHISTONS PARMICHT, OUT OF CAMAGED BY DONSTRUCTION, SHALL BE L'HOLTEN Y RESIDENCE AT THE CONTRACTOR'S EXPRESS.
- TOTA WITH ANY PROPOSED PARAMENT IS TO THE CONNECTED TO EXISTING PARAMENT STATE OF SAW CUT.

10.2.1. BASE COURSE STATE BY CRUSING TOWNORK WHILE A MINIMUM OF ZON-CARBONATES OF CALSHIE AND MICHESTER

- TO 2.2. ASPIGATE SHEAR ASSESSMENT OF THE SHEAR ASPIGATION CONCERN, LINESSES OTHERWISE SPECIFIED ON THE PLANS, THO (2) SHALL BE A MARRIM OF I SPECIFIC OF A WARD SHALL BE APPLIED IN (29) SPECIFIC OF IS.
- TO.2.3 MINISTRY SUBMINIS CONSTRUCTION SHALL BE I MICH THOSE CONCRETE, MINISTRY SUBMINISTRY AT 28 DATE SAFELY CONSTRUCTION SHALL BE TO SUBMINISTRY AND A SAFELY CONSTRUCTION SHALLS & TOOL OF MINISTRY AS TOOLS OF PLACEMENT, SAFELY CONSTRUCTION SHALLS SHALL BE PUT FOUT OF.
- 10.24 COMES AND SCITCHE CONCRETE SCOOLS COMPRESSIVE STRENGTH AT 28 DAYS, SAMOUT CONSTRUCTION JUNIS TO TROUT D.C. WITHIN 48 HOURS OF PACKED. TOLES, REPRESENCED SCHEME SLABS SHALL BE CONSIDERED OF CLASS COMMUNITY MAIN A MARKET SHEMETH OF 3 DON, PRI ANN. STALL BE REPRESENCED WITH A 6' + 0' NO, 15 GAUGE WARE MERCHAN

- (0.1) SUBGRADE FOR PAYEMENT AREAS STALL BE COMPACTED TO A UNINAMA (9-988 G: THE TERMINAL TRANSPY (#ASHIT) T-69(c)), AND SHALL HAVE A MURICIAL SER 40.
- TO 3.2 BASE COURSE MATERIAL FOR PAINED AREAS SHALL BE AS SHOWN ON MEANS FOR VARIOUS FOLKARISE 10.13 BASE COURSE MATERIAL FOR CURBS IND GUTTERS SHALL BE A WANNAM HECKNESS OF E-NOT
- 10.3.4. BASE COURGE SHALL BE COMPACTED TO BRIE OF THE MAXIMUM GENSITY AS FEB AASHTO T 180 AND SHALL HAVE A MARBAM LBR OF 100.

TULIO, BUSCALLARRA DE TRE MERICALISTADARS SERVIS CORRESEM DELL TRE RECORREMENTS DE THE D.O.T. STANDARD SPECIFICATIONS FOR TYPE S-3 ASPIRATIO CONSEET.

10.4. II SHM:

TOWN, THE EMISHED SURFACE OF THE BASE COURSE AND THAT OF THE

Robert J Basis Report by Robert Annual Property and Control Property and No. 59485 Date 9/18/2025 STATE OF

- MEARCHC SURFACE SHALL NCT VARY MORE THAN 1/4" FROM THE TEMPLATE ANY PREGULARITIES EXCEEDING THIS LIMIT SHALL BE COMMUNICATED.
- 10.4.2 DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY CHITTED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE YMERSILE.
- 10.4.3 ALL JESTING COSTS (PAVING) SHALL BE PAID FOR BY THE CONTRACTOR. IG.4.4. DENSITY TESTS ON THE STABILITED SUBGRADE SHALL BE SUPPLED TO THE EMBRICE OF RESCRIPTION APPROVED BEFORE ANY LIMITORY BASE IS CONSTRUCTED.
- ID.A.A. DENSITY TESTS AND AS BUNITS ON THE FROSHED LIMEROCK BASE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD, AND APPROVED DEFORE ANY ASSIGN FARMANN IS DESIGNATED.

- 11.12. IN CONSIDER SHALL PROCESS OF BURNAL SHALL AND AN INVESTIGATION OF BURNAL SHAPPING SHALL FOR SHAPPING AND CONSIDER SHAPPING SHAPPING SHAPPING SHAPPING SHAPPING FOR SHAPPING SHAPPING SHAPPING SHAPPING SHAPPING SHAPPING OF CONSIDERATION OF SHAPPING SH
- ISLA, MOTOR MATHER OF DEFICE HAS BASING OF FLORET BUTCHES ASSESSED FOR THE SETS OF ASSESSED AS ASSESSED OF ASSESSED AS ASSESSE
- 11.2. ALL PROPERTY MONANTES OF PERMANENT PRETERINGS, PROVIDED ES DESTROYER DE PER CONTROLLER QUARTE CONSTRUCTION SHALL BE RESIDIADED BY A STATE OF THEREOF MONSTERM LAND, SHAFTER AT THE CONTRACTIONS FASTING.

12. FNGINFFR'S AS BUILT REQUIREMENTS

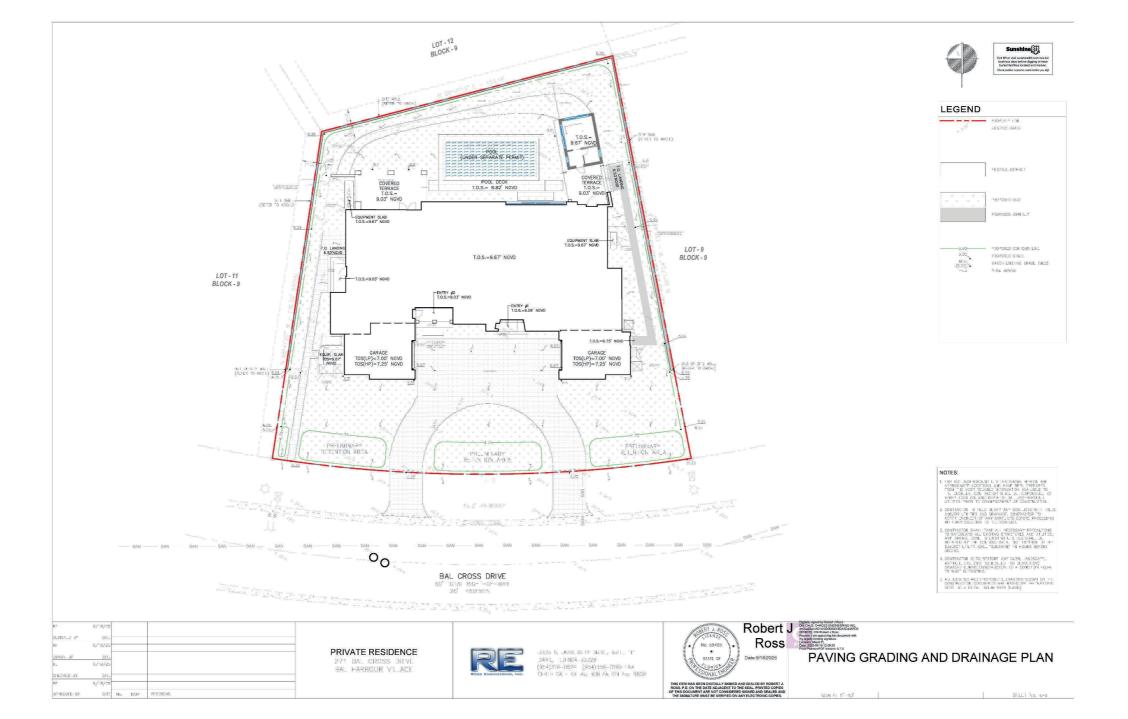
- 12.1. AS-BUILTS OF WATER LINES SHALL INCLUDE THE FOLLOWING INFORMATION
- 1211, 16P OF PIPE LELVATIONS LIVERY 169 D. 12.1.2. LOCATIONS AND FIFTHATIONS OF ALL FITTINGS INCLUDING BEINGS, IFFS, GATE WALVES, BOUBLE DETECTOR CHECK VALVES, FIRE LIVERANTS, ETC.
- THE ALL WE WE WE WENTER COMES SHALL HE ASSESSED.
- 1214. THE ENDS OF ALL WHITER SETWICES AT THE BUILDINGS OF HIGHES SHALL BL AS BUILT OF WHEIR. HE WAILER SLIGHTLE LIGHTAILS 12.2. 45—HERLIS OF ALL CHANTY SANDARY SERRY LINES SHAFT INCLIDE THE FOLLOWING INFORMATION.
- 12.21 RMS, NYACTIS AND LENGTH OF FIRMS BETWEEN STRUCTURES. AS WELL AS NOTES.
- 12.2.2. THE STUB DIDS OF ALL SEWER LATERALS SHALL BE LOCATED AND IF HERE AND ANY SELANOUTS INSTALLED ON THE SELECT LATERALS WENT THE ANY AND AN THE SELECT LATERALS WENT AND ANY AND ANY THE SELECT LATERALS WENT SHALL BY CHILDREN.
- 12.2.3. LET STYTON AS-BURTS SHALL CONSIST OF TOP OF ACT WELL LLEVATION, DYARTI ELEVATION OF THE MICHAEL BUTTON OF THE WELL HELT AND AS-MERGES OF THE COMPANIES AND ADVANCES.
- 12.3.45-BUILTS OF ZLL GRANZIGE LINES SHALL WILLIDE THE FOLLOWING WEIGHATION:
- 12.11. RMS, INVERTS AND FEMORE OF FROMO BETWEEN STRUCTURES AND MER. ELEVATIONS IF APPLICABLE.
- 12.3.2 THE SZE OF THE PIPING SHIPL BE METHED BY THE SURVEY CREW AT the last of AS $1002\,\mathrm{L}$ 123.3 DAMMAGE WITH STRUCTURE AS-BUTTS SHALL WOLLDE, BUT NOT BE LIMITED TO, THE OF CASING ELEVATION, TOE AND BOTTOM ELEVATIONS OF THE LIMITED WALLS, WHILL LIVERIOUS BOT WALLESS OF THEMES.
- 2.4. ALL ROCK AS BULLTS FOR PARKING LOT AREAS SHALL CONSIST OF THE 12.41. ROCK FIFVARIONS AT ALL HOW AND FOR POWER, AND AT FRONCH INTERMEDIATE POPITS TO CONFRON SLOPE CONSISTRICK.
- TZ 4.2. HOUR AS-EDULIS SHALL IR TAKEN AT ALL LOCATIONS WITHE STROME IS A RESSH CHADE REPURION SHOWN ON THE DESIGN TO ANS. 12.4.3. ALL CATCH BASH AND MAINTOLE HIM ELEVATIONS SHALL DE SHORN.
- 12.4.4 LILLYARONE ANOUND ISLAND APLAS WILL ALSO BE PECONED.
- 12.5. ALTINOON AND A ASSESS TO VARIOUS STATE OF MAKE AT THE TROUBLE OF THE FEBRUARY AND AT THE TOO OF BASE. IF THERE ARE CONTOURS ADDICATED ON THE DESIGN PLANS, THEN THEY SHALL BE AS SOUTED AS WELL The Control of the Co RECISIO SHAMMAR, 753-MAINT, INSTRUMENTON SISTEM IN SUIL ON THE LANDS IN SISTEMATION SISTEMATION OF LANDS ON THE LANDS ON THE SAME SISTEMATION OF THE S

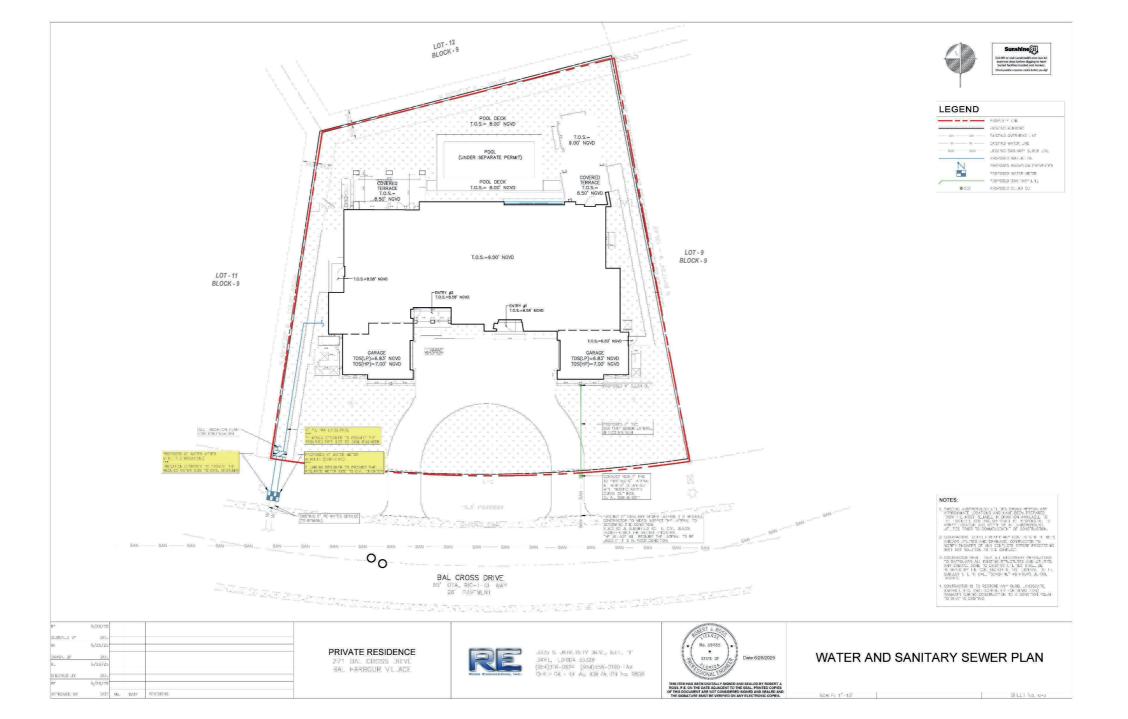
GENERAL NOTES AND SPECIFICATIONS

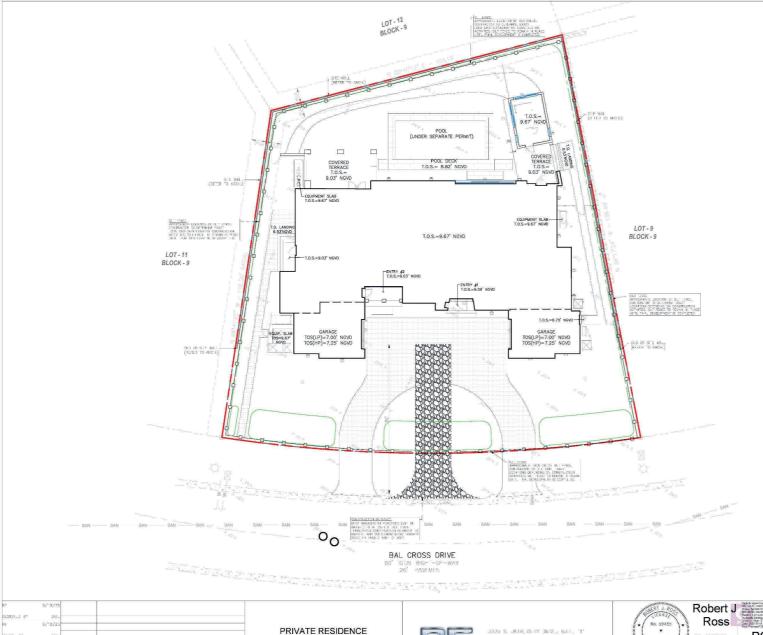
SHLLT No. C-1

PRIVATE RESIDENCE 271 BAL OROSS DRVI BAL HARBOUR VILACE

3325 S. JNIVERS IY DRIVE, SUITE IT JAVL, LORIDA 33328 (954)318-0624 (954)358-0190 FAX CER I CA - CE AU HOR ZA ION No. 9808











LEGEND

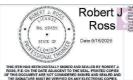
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PRIVATE RESIDENCE 271 BAL OROSS DRIVE BAL HARBOUR VILACE DATE No. DATE REVISIONS



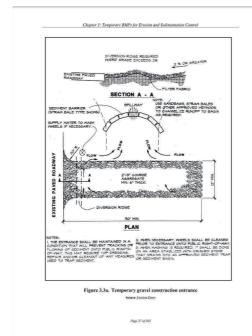
3AVL, LORIDA 33328 (854)318-0572 (854)358-0190 FAX OFR FICA - OF AU HOHIZA ION No. 9808

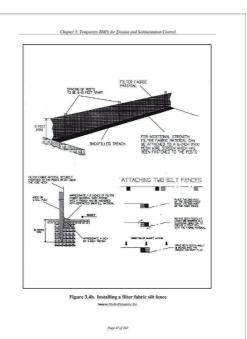


4 1	Digitally signed by Robert J Ross. IDN CHUS, DHROSS FING N THANG I
ιJ	drQue SarvAC (4100000000' SDADD44 000' 8ERD, ChiwRobert J Rose Reason I are approving this document.
S	rry legally bending signature Location Warr F. Date 2005 09-15-12-09-28 Fost PhantomPEF Version 9.7.5
5	POLL

POLLUTION PREVENTION CONTROL PLAN

SHLET No. 10-3





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SUBSTANCE 2 SAL

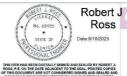
SUBSTANC

PRIVATE RESIDENCE

271 BAL CROSS DRIVE BAL HARBOUR VILACE



3325 S. UNIVERSITY DIRVE, SUITE TO DAVE, LORIDA 33328 (354)318-0824 (954)358-0190 FAX CHRIFICA - CHIAL JORVA (01 No. 9808



Robert J

College of the College of

POLLUTION PREVENTION CONTROL PLAN

SILCI No. 10-3/

LEGEND

ABBREVIATIONS A = ARC DISTANCE AC = AIR CONDITIONER PAD

(C) = CALCULATED

C&G = CURB & GUTTER

CLF = CHAIN LINK FENCE

COL = COLUMN

AC = AIR CONDITIONER PAD
BCR = BROWARD COUNTY RECORDS
BLDG = BUILDING
BM = BENCH MARK
BOB = BASIS OF BEARINGS
CBS = CONCRETE BLOCK & STUCCO

D.E. = DRAINAGE EASEMENT
D.M.E. = DRAINAGE & MAINTENANCE
EASEMENT

EASEMENT
D/W = DRIVEWAY
EB = ELECTRIC BOX
ENC. = ENCROACHMENT
EP = EDGE OF PAVEMENT
EW = EDGE OF MATER
FDH = FOUND DRILL HOLE
FFE = FINISHED FLOOR ELEVATION

FIP = FOUND IRON PIPE (NO ID)
FIR = FOUND IRON ROD (NO ID)

FN = FOUND NAIL (NO ID)
FPL = FLORIDA POWER & LIGHT

L.E. = LANDSCAPE EASEMENT L.M.E. = LAKE MAINTENANCE EASEMENT (M) = MEASURED
MDCR = MIAMI-DADE COUNTY RECORDS
MH = MAN HOLE
ML = MONUMENT LINE

PC = POINT OF CURVATURE
PCP = PERMANENT CONTROL POINT
PE = POOL EQUIPMENT PAD
PG = PAGE

PG = PAGE
PI = POINT OF INTERSECTION
PL = PLANTER
POB = POINT OF BEGINNING
POC = POINT OF COMMENCEMENT

MONUMENT PT = POINT OF TANGENCY

(R) = RECORD R/W = RIGHT-OF-WAY RES = RESIDENCE SIP = SIP LB#8023 SND = SET N#IL & DISK LB#8023 STL = SURVEY TIE LINE SWK = SIDEWALK

(TYP) = TYPICAL UB = UTILITY BOX U.E. = UTILITY EASEMENT

= WATER METER

 Δ = CENTRAL ANGLE

C = CENTER LINE

WATER VALVE

= CURB INLET

T = LIGHT POLE - = CATCH BASIN

= UTILITY POLE

(D) = DRAINAGE MANHOLE

= BOUNDARY LINE - = OVERHEAD UTILITY LINE = ORIGINAL LOT LINE

(S) = SEWER MANHOLE

-0-0- = METAL FENCE # # # = WOOD FENCE -* * * = CHAIN LINK FENCE

- - = EASEMENT

C = FIRE HYDRANT

(00') = ORIGINAL LOT DISTANCE

W/F = WOOD FENCE

X 0.00 = ELEVATION

SYMBOLS:

PRC = POINT OF REVERSE CURVATURE PRM = PERMANENT REFERENCE

TRANSFORMER PAD

MAP OF BOUNDARY, TOPOGRAPHIC & TREE SURVEY

CERTIFICATE OF AUTHORIZATION # LB-8023

Survey Pros, Inc.

4348 SW 74TH AVENUE, MIAMI, FL. 33155 Tel: 305.767.6802 www.survey-pros.com

LOCATION SKETCH:



PROPERTY ADDRESS:

271 BAL CROSS DRIVE, BAL HARBOUR, FL. 33154

LEGAL DESCRIPTION:

LOT 10, BLOCK 9, BAL HARBOUR RESIDENTIAL SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 44, PAGE 98, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

FLOOD ZONE INFORMATION:

THE GRAPHICALLY DEPICTED BUILDING(S) SHOWN ON THIS MAP OF SURVEY IS WITHIN ZONE AE

BASE FLOOD ELEVATION 8 COMMUNITY NAME & NUMBER TOWN OF BAL HARBOUR VILLAGE 120636

MAP & PANEL NUMBER 12086C0144 SUFFIX L

1. ELEVATIONS WHEN SHOWN REFER TO 1929 NATIONAL GEODETIC VERTICAL DATUM (NGVD 1929).

2. NO ATTEMPT WAS MADE TO LOCATE FOOTINGS/FOUNDATIONS, OR UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.

UTILITIES UNILESS OTHERWISE NOTED.

3. THE LANDS SHOWN HEREON HAVE NOT BEEN ABSTRACTED IN REGARDS TO MATTERS OF INTEREST BY OTHER PARTIES, SUCH AS EASEMENTS, RIGHTS OF WAYS, RESERVATIONS, ETC. ONLY PLATTED EASEMENTS ARE SHOWN.

4. THIS SURVEY WAS PREPARED FOR AND CERTIFIED TO THE PARTY(IES) INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE WITHOUT WRITTEN CONSENT OF

HEREON AND IS NOT INANSPERABLE OR ASSIGNABLE MITHOUT MOTHER CONSENT OF THIS FIRM.

5. ALL BOUNDAY LIMIT INDICATORS SET ARE STAMPED LB#8023.

6. THE BOUNDARY LIMITS ESTABLISHED ON THIS SURVEY ARE BASED ON THE LEGAL DESCRIPTION PROVIDED BY THE CLIENT OR ITS REPRESENTATIVE.

7. FENCE OWNERSHIP IS NOT D'ETERMINED. DIMENSIONS ARE TO THE INTERIOR PORTION OF THE FENCE

8. ADDITIONS OR DELETIONS TO THIS SURVEY MAP AND/OR REPORT BY SOMEONE OTHER THAN THE SIGNING PARTY(IES) IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY(IFS)

THE SIGNING PARTITIES).

9. THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. OTHERWISE THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY HEADED CANID FINE THAT HIS SOLVEY SURVEYED AND DRAWN UNDER MY DIFF. MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY DIFF. MY DIFF.

CERTIFIED TO:

KATIE TAYLOR CHAPLIN

SICOLAS DEL VEN JCENSE NO.6945 STATE OF FLORIDA

10/22/2024 JOB NUMBER: 241011685 DRAWN BY: ADRIEL CAD FILE: CHAPLIN SHEET 1 OF 1 REVISION(S):

DATE OF ORIGINAL FIELD WORK:

CURVE DETAILS:

R = 467.82'AL = 140' CL = 139.48'

CB = N 14º44'17" E

 $\Delta = 17^{\circ}08'47''$

TREE TABLE:

Tree #	Common Name	Scientific Name	DBH (inches)	Condition	Number of stems	Height (feet)	Spread (feet)
1	coconut palm	Cocos nucifera	9	Good	1	28	16
2	coconut palm	Cocos nucifera	14	Good	1	50	16
3	Chinese fan palm	Livistona chinensis	9,8	Good	1	28	14
4	Chinese fan palm	Livistona chinensis	7	Good	1	26	14
5	Chinese fan palm	Livistona chinensis	7,10	Good	1	28,20	14
6	Chinese fan palm	Livistona chinensis	10,9	Good	1	28,28	14
7	coconut palm	Cocos nucifera	9	Good	1	50	16
8	live oak	Quercus virginiana	34	Good	1	50	55
9	live oak	Quercus virginiana	25	Fair	1	42	40
10	mahogany	Swietenia mahagoni	22	Fair	1	48	38
11	mahogany	Swietenia mahagoni	28	Good	1	48	40
12	Macarthur palm	Ptvchosperma macarthurii	3	Good	1	22	8
13	pygmy date palm	Phoenix roebelinii	3	Good	1	10	8
14	pygmy date palm	Phoenix roebelinii	3	Good	1	10	8
15	pygmy date palm	Phoenix roebelinii	3.4	Good	1	12	8
16	pygmy date palm	Phoenix roebelinii	3,3	Good	1	10	8
17	pygmy date palm	Phoenix roebelinii	3.3	Good	1	12	8
18	Macarthur palm	Ptvchosperma macarthurii	3	Good	1	20	8
19	Macarthur palm	Ptychosperma macarthurii	3	Good	1	20	8
20	Macarthur palm	Ptychosperma macarthurii	3	Good	1	20	8
21	pygmy date palm	Phoenix roebelinii	3	Good	1	10	8
22	pygmy date palm	Phoenix roebelinii	3,3	Good	1	8	8
23	pygmy date palm	Phoenix roebelinii	3,3	Good	1	10	8
24	pygmy date palm	Phoenix roebelinii	3,3	Good	1	10	8
25	pygmy date palm	Phoenix roebelinii	3,3	Poor	1	8	8
26	solitaire palm	Ptvchosperma elegans	4	Good	1	26	8
27	Macarthur palm	Ptvchosperma macarthurii	4	Good	1	20	8
28	Macarthur paim	Ptychosperma macarthurii Ptychosperma macarthurii	4	Good	1	20	8
28	Macarthur palm Macarthur palm	Ptychosperma macarthurii Ptychosperma macarthurii	3	Good	1	18	8
30			3	Good	1	18	8
31	Macarthur palm	Ptychosperma macarthurii	3	Good	1	18	8
32	Macarthur palm	Ptychosperma macarthurii	3	Good	1	20	8
	solitaire palm	Ptychosperma elegans	3				
33	solitaire palm	Ptychosperma elegans		Good	1	28	8
34	solitaire palm	Ptychosperma elegans	3	Good	1	20	8
35	solitaire palm	Ptychosperma elegans	3	Good	1	16	8
36	solitaire palm	Ptychosperma elegans	3	Good	1	16	8
37	solitaire palm	Ptychosperma elegans	3	Good	1	26	8
38	solitaire palm	Ptychosperma elegans	cluster	Good	1	26,16	8
ADJ1	Mamey sapote	Pouteria sapota	8	Good	1	20	25
ADJ2	gumbo limbo	Bursera simaruba	8	Good	1	24	20
ADJ3	gumbo limbo	Bursera simaruba	8	Good	1	24	20
ADJ4	gumbo limbo	Bursera simaruba	7	Good	1	25	20
ADJ5	gumbo limbo	Bursera simaruba	8	Good	1	24	20

TREE DETAILS PROVIDED BY: NEW LEAF ENVIRONMENTAL, LLC

LOT-10 BLOCK . g ONE STORY C.B.S RES. #271 LOT - 12 BLOCK - 9 SIP 10 N 86°17'24" W - 136,49' LOT-9 BLOCK - 9

LOT AREA=14,897SQ.FT.

BENCHMARK UTILIZED:

NAME: Z-313 FLEV(NGVD29): 9.59 LOCATION1: 96 ST --- 215' NORTH OF NORTH EDGE OF PAVEMENT LOCATION2: HWY A-1-A (COLLINS AVE) --- 81' SW OF SW CURB LOCATION3: HARDING AVE --- 42' EAST OF EAST CURB DESCRIPTION1: US C & G BRASS DISC IN NE CORNER OF SEWER

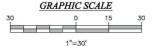
Nicolas Del Vento Date: 2025.01.09 12:16:34-05'00'

> NICOLAS DEL VENTO PROFESSIONAL SURVEYOR & MAPPER STATE OF FLORIDA LIC. # 6945

Digitally signed by

Nicolas Del Vento

ASPHALT CONCRETE PAVERS/ COVERED TILES



BAL HARBOUR

- VILLAGE -

The undersigned Agent/Owner request(s) Architectural Review Board review of the following application(s):

□ ✓ New Building (\$2,500.00) □ Alteration/ Additions (\$1,000.00) □ Revision (\$250.00)						
PROJECT INFORMATION						
Street Address of the Subject Property: 271 Bal Cross Drive Bal Harbour, FL 33154-1318						
Property/Project Name: New 2 Story Single Residence						
Legal description: Lot(s) 10						
Block(s)9Section(s)Bal Harbour Residential Section						
Folio No. 12-2226-002-1680						
Owner(s): Katie Taylor Chaplin						
Mailing Address: 271 Bal Cross Dr. Bal Harbour, FL 33154						
Telephone: (305)725-3772Fax						
OtherEmail katietaylorchaplin@gmail.com						
Architect(s)/Engineer(s): Zbigniew. W. Jarosz Architect, P.A						
Architect(s)/Engineer(s) Mailing Address: _3326 Mary Street, 5th Floor. Coconut Grove, FL 33133						
Telephone: Business _30544600888Fax 3054471177						
OtherEmail_zwjarosz@jaroszarch.com						
PROJECT INFORMATION						
Project Description(s): NEW 2 STORY SINGLE RESIDENCE						
Estimated project cost*: 6,744 SQ.FT_AC x \$600/SF + 786 SF ENCLOSED GARAGES x \$100+ 780 SQ.FT NON AC X \$50+ = \$4,046,400 + \$78,600 + \$39,000 = \$4,164,000 (*Estimated cost shall be +/- 10% of actual cost) Date(s) of Previous Submittal(s) and Action(s): AUGUST, 18, 2025						

NOTE: BOTH SIGNATURES OR AFFIRMATION/CONSENT ARE REQUIRED

Owner / Repre	sentative Prin	ited Name:	Architect(s)/Engineer(s) Print Name:				
Katie Taylor Cha	aplin		Zbigniew.W. Jarosz Architect, P.A.				
Owner / Repre	sentative Sigr	nature:	Architect(s)/Engineer(s) Signature:				
Kati T. C	hapli	x	John State of the				
Address:			Address:				
271 BAL CROSS DR. BAL HARBOUR, FL 33154			3326 Mary St	reet, 5th Floo	or. Coconut Grove, FL 33133		
Telephone:	Fax:	Email:	Telephone:	Fax:	Email:		
(305)725-3772		katietaylorchaplin@gmail.com	30544600888		zwjarosz@jaroszarch.com		
			Architect/Eng	gineer Seal:			
			TE OF FLOATON AREO OF BEZZ3 22 REO OF BEZZ3 22				
NOTARIZATIO	N		NOTARIZAT	ION			
STATE OF FLOR			STATE OF FLORIDA COUNTY OF MIAMI-DADE				
oath and is pers as identification	Fulu Laplin Sonally known	, in the year 20 <u>25</u> who has taken an to me or has produced_	an oath and is personally known to me or has produced as identification.				
My Commission Notary Public	Expires: 10	24/24/	My Commission Expires: 10 24 24				
	I I I I	NYS FERNANDEZ					
	Con	nmission # HH 653285 ires October 24, 2026	I	LE Co	ANYS FERNANDEZ mmission # HH 653285		



(305) 446. 0888, fax (305) 447.117 www.jaroszarch.com

271 Bal Cross DriveNarrative

271 Bal Cross Drive residence is a single-family residence designed by Z.W. Jarosz Architect P.A.

According to the Owner's direction, the residence was designed in a contemporary, timeless interpretation of Mediterranean revival style.

The two-story building features elements like round and elliptical arches and chamfered columns on selected locations with stucco finish; pitched roofs with barrel roof tile, rafters, and wood finishes. These elements along with contemporary architecture elements like large openings, allow transparency and flow of the space between the inside and the rear yard area.

The main entry to the residence is through a deep arch, which gives protection to the front round glass door, leading into a foyer that features the main staircase of the residence. The front arched glass door dialogues with three arches at the corridor connecting the entry area with the dining, living space and the front and rear yards.

The first floor consists of the living room, dining room, and bar area, a guest bedroom, kitchen, accessory areas, staff room, garages and gym. The rear yard features a pool, a covered terrace for a barbecue on the northeast side and a connecting loggia, leading to the gym on the southeast side.

The second-floor features two studios and the sleeping area: with the master bedroom, a large bathroom, two walking closets and terrace overlooking the rear yard, and three bedrooms each with its own bath and closets.

The proposed design complies with all required setback and height criteria per the Bal Harbour Village Code. The second-floor setbacks exceed minimum requirements without utilizing the optional flex provisions. The structure is within the permitted height and has been thoughtfully designed to be compatible with the character of the neighborhood.

The residence has been designed in full compliance with the Bal Harbour Village Code. It meets all height and setback requirements, with second-floor setbacks exceeding minimum standards without reliance on optional flex provisions. The proposed total ground area coverage is 5,330 sq. ft. (35.8%), well below the maximum allowable coverage of 7,448 sq. ft. (based on a 50% coverage limit of the 14,897 sq. ft. lot). The enclosed floor area includes 3,852 sq. ft. on the first floor and 2,892 sq. ft. on the second floor, for a total of 6,744 sq. ft., exclusive of non-conditioned spaces such as garages and open terraces.

This project has been carefully designed to align with the architectural character of the neighborhood while maintaining full zoning compliance. The architectural approach balances tradition and modernity, creating a residence that is both contextually appropriate and architecturally refined.

For additional zoning data and design documentation, please refer to the attached set of plans. Should you have any questions or require further information, feel free to contact me at 786-271-7124.

Zbigniew W. Jarosz

AIA, CGG

PRESIDENT Z.W.JAROSZ ARCHITECT P.A.



Detailed Report

Generated On: 09/22/2025

PROPERTY INFORMATIO	N
Folio	12-2226-002-1680
Property Address	271 BAL CROSS DR BAL HARBOUR, FL 33154-0000
Owner	KATIE TAYLOR CHAPLIN
Mailing Address	271 BAL CROSS DR BAL HARBOUR, FL 33154
Primary Zone	0800 SGL FAMILY - 1701-1900 SQ
Primary Land Use	0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT
Beds / Baths /Half	5/4/0
Floors	1
Living Units	1
Actual Area	4,713 Sq.Ft
Living Area	3,817 Sq.Ft
Adjusted Area	4,044 Sq.Ft
Lot Size	15,530 Sq.Ft
Year Built	Multiple (See Building Info.)

ASSESSMENT INFORMATION			
Year	2025	2024	2023
Land Value	\$5,590,800	\$4,831,529	\$5,311,199
Building Value	\$429,230	\$434,164	\$9,000
Extra Feature Value	\$39,943	\$40,432	\$1,000
Market Value	\$6,059,973	\$5,306,125	\$5,321,199
Assessed Value	\$5,460,002	\$5,306,125	\$3,944,645

BENEFITS INFORMATIO	BENEFITS INFORMATION							
Benefit	Туре	2025	2024	2023				
Save Our Homes Cap	Assessment Reduction	\$599,971						
Non-Homestead Cap	Assessment Reduction			\$1,376,554				
Homestead	Exemption	\$25,000	\$25,000					
Second Homestead	Exemption	\$25,722	\$25,000					

Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).



TAXABLE VALUE INFORMATION					
Year	2025	2024	2023		
COUNTY					
Exemption Value	\$50,722	\$50,000	\$0		
Taxable Value	\$5,409,280	\$5,256,125	\$3,944,645		
SCHOOL BOARD					
Exemption Value	\$25,000	\$25,000	\$0		
Taxable Value	\$5,435,002	\$5,281,125	\$5,321,199		
CITY					
Exemption Value	\$50,722	\$50,000	\$0		
Taxable Value	\$5,409,280	\$5,256,125	\$3,944,645		
REGIONAL					
Exemption Value	\$50,722	\$50,000	\$0		
Taxable Value	\$5,409,280	\$5,256,125	\$3,944,645		



Generated On: 09/22/2025

Property Information

Folio: 12-2226-002-1680

Property Address: 271 BAL CROSS DR

Roll Year 2025 Land, Building and Extra-Feature Details

LAND INFORMATION						
Land Use	Muni Zone	PA Zone	Unit Type		Units	Calc Value
GENERAL	R-2	0800	Square Ft.	1	5,530.00	\$5,590,800
BUILDING INFORMATION						
Building Number	Sub Area	Year Built	Actual Sq.Ft.	Living Sq.Ft.	Adj Sq.Ft.	Calc Value
1	2	1975	329	0	110	\$11,675
1	1	1948	4,384	3,817	3,934	\$417,555
EXTRA FEATURES						
Description				Year Built	Units	Calc Value
Wood Fence				2006	12	\$161
Whirlpool - Attached to Poo	l (whirlpool area onl	y)		2006	36	\$4,133
Pool 6' res BETTER 3-8' dp	th, tile 250-649 sf			2006	1	\$24,600
Patio - Marble				2006	980	\$9,643
Chain-link Fence 4-5 ft high				1996	190	\$1,406



Generated On: 09/22/2025

Property Information

Folio: 12-2226-002-1680

Property Address: 271 BAL CROSS DR

Roll Year 2024 Land, Building and Extra-Feature Details

LAND INFORMATION

The calculated values for this property have been overridden. Please refer to the Land, Building, and XF Values in the Assessment Section, in order to obtain the most accurate values.

Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value
GENERAL	R-2	0800	Front Ft.	126.26	

BUILDING INFORMATION

The calculated values for this property have been overridden. Please refer to the Land, Building, and XF Values in the Assessment Section, in order to obtain the most accurate values.

Building Number	Sub Area	Year Built	Actual Sq.Ft.	Living Sq.Ft.	Adj Sq.Ft.	Calc Value
1	2	1975	329	0	110	
1	1	1948	4,384	3,817	3,934	

EXTRA FEATURES

The calculated values for this property have been overridden. Please refer to the Land, Building, and XF Values in the Assessment Section, in order to obtain the most accurate values.

Description	Year Built	Units	Calc Value
Wood Fence	2006	12	
Whirlpool - Attached to Pool (whirlpool area only)	2006	36	
Pool 6' res BETTER 3-8' dpth, tile 250-649 sf	2006	1	
Patio - Marble	2006	980	
Chain-link Fence 4-5 ft high	1996	190	



Generated On: 09/22/2025

Property Information

Folio: 12-2226-002-1680

Property Address: 271 BAL CROSS DR

Roll Year 2023 Land, Building and Extra-Feature Details

LAND INFORMATION

The calculated values for this property have been overridden. Please refer to the Land, Building, and XF Values in the Assessment Section, in order to obtain the most accurate values.

Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value
GENERAL	R-2	0800	Front Ft.	126.26	

BUILDING INFORMATION

The calculated values for this property have been overridden. Please refer to the Land, Building, and XF Values in the Assessment Section, in order to obtain the most accurate values.

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Generated On: 09/22/2025

Property Information

Folio: 12-2226-002-1680

Property Address: 271 BAL CROSS DR

FULL LEGAL DESCRIPTION

BAL HARBOUR RES SEC PB 44-98

LOT 10 BLK 9

AND PROP INT IN & TO COMMON

ELEMENTS NOT DEDICATED TO PUBLIC

LOT SIZE 126.260 X 123

OR 16933-2050 TO 56 0995 5

SALES INFORMATION			
Previous Sale	Price	OR Book-Page	Qualification Description
01/18/2023	\$6,242,500	33550-3346	Qual by exam of deed
07/09/2021	\$4,607,500	32655-0911	Qual by exam of deed
09/01/1995	\$0	00000-00000	Sales which are disqualified as a result of examination of the deed