

# BAL HARBOUR

- V I L L A G E -

Reinaldo Borges, Chair  
Amanda Barton, Board Member  
Jose L. Gomez, Board Member  
Brett Schlacter, Board Member  
Nathan VanDeman, Board Member

Village Manager Jorge M. Gonzalez  
Village Clerk Dwight S. Danie  
Building Director Eliezer Palacio  
Village Attorneys Weiss Serota  
Helfman Cole & Bierman, PA

## ARCHITECTURAL REVIEW BOARD

### REGULAR MEETING AGENDA

OCTOBER 16, 2025

AT 1:00 P.M.

Bal Harbour Village Hall • 655 – 96<sup>th</sup> Street • Bal Harbour • Florida 33154

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*This meeting will be conducted in-person. The meeting will also be broadcast on the Village's website ([www.balharbourfl.gov](http://www.balharbourfl.gov)) and members of the public are encouraged to participate by calling 305-865-6449 by emailing [meetings@balharbourfl.gov](mailto:meetings@balharbourfl.gov) before and during the meeting.*

**1 CALL TO ORDER / ROLL CALL**

**2 PLEDGE OF ALLEGIANCE**

**3 APPROVAL OF MINUTES**

**4 ARB-HEARINGS** - *Please be advised that the following item on the agenda is quasi-judicial in nature. If you wish to comment upon an item, please inform the Chairman when he asks for public input on the item. An opportunity for persons to speak will be made available after the applicant and staff have made their presentations on each item. All testimony, including public testimony and evidence, will be made under oath or affirmation. Additionally, each person who gives testimony may be subject to cross-examination. If you refuse either to be cross-examined or to be sworn, your testimony will be given its due weight. The general public will not be permitted to cross-examine witnesses, but the public may request the Architectural Review Board to ask questions of staff or witnesses on their behalf. Persons representing organizations must present evidence of their authority to speak for their organization. Further details of the quasi-judicial procedures may be obtained from the Clerk.*

*(Disclosure of Ex-Parte Communications)*

*(Swearing-In by Village Clerk)*

#### **4.1 ARB-2025-0011**

271 Bal Cross Drive, Bal Harbour FL, 33154

Architect: Zbigniew W. Jarosz Architect, P.A.

Owner: Katie Taylor Chaplin

New 2-Story Single-Family Residence

[1- ARB2025-0011 - 271 BAL CROSS DR - MEMORANDUM.pdf](#)

[2- ARB2025-0011 - 271 BAL CROSS DR - POWERPOINT PRESENTATION.pdf](#)

[3- ARB2025-0011 - 271 BAL CROSS DR - APPLICATION.pdf](#)

[4- ARB2025-0011 - 271 BAL CROSS DR - NARRATIVE.pdf](#)

[5- ARB2025-0011 - 271 BAL CROSS DR - PROPERTY APPRAISER.pdf](#)

### **5 OTHER BUSINESS**

### **6 PUBLIC COMMENT**

### **7 ADJOURNMENT**

One or more members of any Village Committee/Board may attend this meeting of the Council and may discuss matters which may later come before their respective Boards/Committees. The New Business and Council Discussion Section includes a section for Public Comment. On public comment matters, any person is entitled to be heard by this Council on any matter; however, no action shall be taken by the Council on a matter of public comment, unless the item is specifically listed on the agenda, or is added to the agenda by Council action. Any person who acts as a lobbyist, pursuant to Village Code Section 2-301 (Lobbyists), must register with the Village Clerk, prior to engaging in lobbying activities before Village staff, boards, committees, and/or the Village Council. A copy of the Ordinance is available in the Village Clerk's Office at Village Hall.

If a person decides to appeal any decision made by the Village Council with respect to any matter considered at a meeting or hearing, that person will need a record of the proceedings and, for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (F.S. 286.0105).

In accordance with the Americans with Disabilities Act of 1990, all persons who are disabled and who need special accommodations to participate in this proceeding because of that disability should contact the Village Clerk's Office (305-866-4633), not later than two business days prior to such proceeding. All Village Council meeting attendees, including Village staff and consultants, are subject to security screening utilizing a metal detector and/or wand, prior to entering the Council Chamber, Conference Room, or other meeting area located within Village Hall. This is for the safety of everyone. Thanks for your cooperation.



# BAL HARBOUR

- V I L L A G E -

Reinaldo Borges, Chair  
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Building Director Eliezer Palacio  
Village Attorneys Weiss Serota  
Helfman Cole & Bierman, PA

## ARCHITECTURAL REVIEW BOARD

### REGULAR MEETING MINUTES

SEPTEMBER 4, 2025

AT 1:00 P.M.

Bal Harbour Village Hall • 655 – 96<sup>th</sup> Street • Bal Harbour • Florida 33154

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*This meeting was conducted in-person. The meeting was also broadcast on the Village's website ([www.balharbourfl.gov](http://www.balharbourfl.gov)) and members of the public were encouraged to participate by calling 305-865-6449 by emailing [meetings@balharbourfl.gov](mailto:meetings@balharbourfl.gov) before and during the meeting.*

- 1 CALL TO ORDER / PLEDGE OF ALLEGIANCE-** The meeting was called to order at 1:10 PM. Acting Chair Nathan VanDeman.

The following Board Members were present:

Nathan VanDeman, Acting Chair  
Brett Schlacter  
Amanda Barton

The following were not present:

Reinaldo Borges, Chair  
Jose Gomez

The following were also present:

Eliezer Palacio, Building Director  
Dwight Danie, Village Clerk  
Susan Trevarthen, Village Attorney

- 2 PLEDGE OF ALLEGIANCE-** The Pledge of Allegiance was led by Acting Chair Nathan VanDeman

**3 APPROVAL OF MINUTES**

**3.1** January 23, 2025 ARB Minutes

**MOTION: A Motion to approve the minutes was moved by Amanda Barton and seconded by Brett Schlacter.**

**VOTE: The Motion passed by unanimous voice vote (3-0).**

## 4 ARB-HEARINGS -

Ms. Trevarthen read the quasi-judicial procedures statement. She then asked the Board members to disclose ex parte communications, to which Board members responded that they had none to disclose. The Village Clerk swore in all those who would be providing testimony.

### 4.1 REVAR-2025-0008

174 Camden Drive, Bal Harbour FL, 33154

Architect(s): Bryan Brown Architects, LLC

Owners: 174 Camden, LLC

Revision to Exterior of Home

Jeff Breitingner, Bryan Brown Architects, LLC, said that the project at 174 Camden Drive had originally been approved about a year and a half earlier and that the revised plan was focused on material changes to the exterior. He said that the owner wanted to explore alternatives to the travertine, replacing it with stucco in areas not visible from the street. He said that the glass railings would be replaced with a cable rail system.

Mr. Schlacter said that the revisions still looked beautiful and achieved cost savings, and that he had no objections.

Acting Chair VanDeman asked whether the stone on the front elevation would wrap the corner, to which Mr. Breitingner responded that the stone would continue on the right side of the front wall, wrapping to the garage, before transitioning to stucco, while the left side would be entirely stucco. Acting Chair VanDeman said that he had no concerns with the revisions.

Ms. Barton said that she thought the change to vertical wood at the entry was clean and attractive, adding that she had no concerns.

The Village Clerk an email from resident Neca Logan, 64 Camden Drive, saying that changing the walls and parapet to stucco was a great idea and made the home look cleaner. She said that she did not support the change from glass to cable railings, noting that the glass had been nearly invisible and that the cable system introduced an element she thought the homeowners would later regret. She said that the bronze doors on the east and west were overwhelming and emphasized that landscaping would be critical to soften the structure and add individuality.

**MOTION: A Motion to approve the project as presented with the conditions proposed by the Building Official was moved by Brett Schlacter and seconded by Acting Chair Nathan VanDeman.**

The Building Official's conditions are as follows.

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences, and landscape plantings.
4. Any new hedge must be planted at least 10' from the edge of the curb.
5. Any new trees must be planted at least 10' from the edge of the curb.
6. All Electrical, Mechanical and Plumbing equipment are required to be 1.0 foot above B.F.E. (Base Flood Elevation) per F.B.C. & A.S.C.E. 24 and cannot infringe upon the building setbacks.
7. Flood Design Data is required to be in accordance to F.B.C., Section 1603.1.7. & A.S.C.E. 24.
8. Architect to provide an Elevation Certificate FEMA Form 086-0-33, for proposed construction that complies with F.B.C. 322 & A.S.C.E. 24.
9. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
10. The Project shall comply with Section 21-127, a, b, and c regarding setbacks in the R-2 Zoning District.
11. The Project shall comply with Section 21-125, maximum building height of 30 ft. in the R-2 Zoning District.
12. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
13. If any portion of the landscaping, fence, or any other permitted item will be located within the five-foot easement at the front or side of the property, then prior to the issuance of a required permit or permit revision to the master building permit, the Owner of the Project described herein shall execute "Hold Harmless Agreement" as a condition precedent to permit issuance.
14. If the proposed landscape and hardscape design conflicts with the Village's stormwater infrastructure system, the Architect and Civil Engineer are required to resolve prior to permit issuance. Any revisions required to the hardscape or landscape shall be sought before the ARB, if applicable, or be administratively approved prior to permit.
15. Perimeter landscaping required by the certificate of appropriateness must be maintained by the property owner in accordance with the standards of the code.
16. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
17. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.

18. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

**VOTE: The Motion passed by unanimous voice vote (3-0).**

**4.2 ARB-2025-0002**

101 Bal Cross Drive, Bal Harbour FL, 33154

Architect(s): Ramos Architects

Owners: 101 Bal Cross Drive, LLC

New House in a Vacant Lot

Jose Ramos, Ramos Architects, introduced the project saying that it was a new two-story home on an empty lot. He said that the design followed all setback requirements, both horizontal and vertical, and that the setbacks helped break up the mass of the home so it did not appear boxy. He described the design as modern, and that a band element around the roof created depth and variation, while aluminum railings and stepped facades added visual interest. He described the use of a glass garage door, explaining that it matched the home's modern aesthetic and would blend with the glass and stucco design rather than appearing as a typical wood or metal garage door.

Ms. Barton asked about the reasoning behind the glass garage door and that she had concerns about visibility of garage contents from the street, to which Mr. Ramos said that the intent was to make the garage appear integrated with the house, not as a separate elements and that the garage was not directly visible from the street.

Acting Chair VanDeman noted that the landscape plan shown in renderings appeared different from what was actually submitted. He said that the proposed plant palette seemed reminiscent of commercial properties than the tropical landscaping typically expected in the community. He suggested a condition that the planting plan be revisited to include more subtropical or native plants.

Mr. Palacio said that if the landscaping plan submitted did not meet the intent of the board's guidance, the planning and landscaping reviewer could require revisions later.

Mr. Schlacter said that large planting beds at the front of the property could limit usable space for children and families and he suggested keeping the possibility of open green space in mind, since many families in the neighborhood use front yards as play areas due to limited backyard space.

Ms. Barton again expressed her concern about visibility into the garage and recommended alternatives such as frosted or reflective glass saying that this could protect privacy and maintain aesthetics. She proposed making this suggestion a condition for approval. Mr. Schlacter said that a suggestion might be better as a recommendation rather

than a condition, since some families might prefer the open look and natural light. Mr. Palacio explained that if glass was altered after installation with film or coatings, it could void the product approval, so the decision needed to be carefully considered.

The Village Clerk read a public comment from resident Neca Logan, 64 Camden Drive saying that she thought the design as plain and unexceptional. She said that a swing set or other children's structures would likely end up in the front yard due to limited rear yard space. She also questioned whether the driveway was sufficient for a home with six bedrooms and recommended strengthening the landscaping plan.

There was a general consensus from the to frame the landscape revision as a condition of approval—requiring subtropical or native plantings—while the issue of the garage glass would be left as a non-binding recommendation for the applicant's discretion.

**MOTION: A Motion to approve the project as presented with the Board condition to require subtropical and native plantings, and the conditions proposed by the Building Official was moved by Amanda Barton and seconded by Acting Chair Nathan VanDeman.**

The Building Official's conditions are as follows.

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences, and landscape plantings.
4. Any new hedge must be planted at least 10' from the edge of the curb.
5. Any new trees must be planted at least 10' from the edge of the curb.
6. All Electrical, Mechanical and Plumbing equipment are required to be 1.0 foot above B.F.E. (Base Flood Elevation) per F.B.C. & A.S.C.E. 24 and cannot infringe upon the building setbacks.
7. Flood Design Data is required to be in accordance to F.B.C., Section 1603.1.7. & A.S.C.E. 24.
8. Architect to provide an Elevation Certificate FEMA Form 086-0-33, for proposed construction that complies with F.B.C. 322 & A.S.C.E. 24.
9. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
10. The Project shall comply with Section 21-127, a, b, and c regarding setbacks in the R-2 Zoning District.
11. The Project shall comply with Section 21-125, maximum building height of 30 ft. in the R-2 Zoning District.
12. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of

- the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
13. If any portion of the landscaping, fence, or any other permitted item will be located within the five-foot easement at the front, rear or side of the property, then prior to the issuance of a required permit or permit revision to the master building permit, the Owner of the Project described herein shall execute "Hold Harmless Agreement" as a condition precedent to permit issuance.
  14. If the proposed landscape and hardscape design conflicts with the Village's stormwater infrastructure system, the Architect and Civil Engineer are required to resolve prior to permit issuance. Any revisions required to the hardscape or landscape shall be sought before the ARB, if applicable, or be administratively approved prior to permit.
  15. Perimeter landscaping required by the Certificate of Appropriateness must be maintained by the property owner in accordance with the standards of the Code.
  16. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
  17. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
  18. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

**VOTE: The Motion passed by unanimous voice vote (3-0).**

**4.3 REVAR-2025-0013**

209 Bal Bay Drive, Bal Harbour FL, 33154  
Architect(s): Cheryl Bassan  
Owners: Debbie & Jerome Falic  
New Tennis Court & Pergola

Mr. Palacio described the project saying that that the project had previously been presented and approved in June 2024, adding that the applicant had submitted written confirmation acknowledging the eighteen conditions of approval required by the building official. He confirmed that staff and the Zoning consultant had reviewed the revision and agreed that it complied with the Appearance Code and Zoning Ordinance.

Denise Preschel, Cheryl Bassan, said that that her client originally planned to construct a 900-square-foot enclosed gazebo as part of a new tennis court project, but after value engineering decided to simplify the design with the revised plan replacing the gazebo with a 200-square-foot open pergola. She showed side-by-side comparisons of the previously approved design and the new proposal, noting that while the accessory structure was reduced in size, the tennis court remained unchanged. She said that the

pergola, being open and built at grade, eliminated the need for the elevated slab, stairs, and ramps that the gazebo design had required to meet FEMA standards.

Acting Chair VanDeman said that although the original pavilion had been an impressive design, the simplified pergola was still attractive and appropriate, especially since it would not be visible from the street.

Ms. Barton remarked that she found the revised pergola to be a beautiful and simple intervention that complemented the tennis court and surrounding structures.

The Village Clerk read a public comment submitted by Neca Logan, 64 Camden Drive, saying that the landscaping appeared lush and would help offset the scale of the tennis court, and suggesting that the connection between the two combined lots—209 Bal Bay and 160 Biscay—could be reconsidered to better embrace the new arrangement.

Mr. Schlacter said that he supported the revision.

**MOTION: A Motion to approve the project as presented with the conditions proposed by the Building Official was moved by Brett Schlacter and seconded by Acting Chair Nathan VanDeman.**

The Building Official's conditions are as follows.

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences, and landscape plantings.
4. Any new hedge must be planted at least 10' from the edge of the curb.
5. Any new trees must be planted at least 10' from the edge of the curb.
6. All Electrical, Mechanical and Plumbing equipment are required to be 1.0 foot above B.F.E. (Base Flood Elevation) per F.B.C. & A.S.C.E. 24 and cannot infringe upon the building setbacks.
7. Flood Design Data is required to be in accordance to F.B.C. 2023, Section 1603.1.7. & A.S.C.E. 24.
8. Architect to provide an Elevation Certificate FEMA Form 086-0-33, for proposed construction that complies with F.B.C. 322 & A.S.C.E. 24.
9. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
10. The Project shall comply with Section 21-127, a, b, and c regarding setbacks in the R-2 Zoning District.
11. The Project shall comply with Section 21-125, maximum building height of 30 ft. in the R-2 Zoning District.



12. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
13. If any portion of the landscaping, fence, or any other permitted item will be located within the five-foot easement at the front and rear or side of the property, then prior to the issuance of a required permit or permit revision to the master building permit, the Owner of the Project described herein shall execute "Hold Harmless Agreement" as a condition precedent to permit issuance.
14. If the proposed landscape and hardscape design conflicts with the Village's stormwater infrastructure system, the Architect and Civil Engineer are required to resolve prior to permit issuance. Any revisions required to the hardscape or landscape shall be brought before the ARB, if applicable, or be administratively approved prior to permit.
15. Perimeter landscaping required by the Certificate of Appropriateness must be maintained by the property owner in accordance with the standards of the Code.
16. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
17. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
18. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

**VOTE: The Motion passed by unanimous voice vote (3-0).**

**4.4 ARB-2024-0016**

10275 Collins Avenue, Bal Harbour FL, 33154

Architect(s): Pistorino & Alam

Owners: Harbour House Condominium Association

Amenity Deck Renovation

Mr. Palacio introduced the item by explaining that the project involved amenity deck renovations and said that the applicant had provided written confirmation acknowledging eight conditions, and that both staff and the Planning and Zoning consultant had reviewed the plans and confirmed compliance with the Appearance Code and Zoning Ordinance.

Scott Davidson, Pistorino and Alam, the landscape architect and designer, presented the project on behalf of the condominium association. He said that the renovation was primarily driven by the need for waterproofing, requiring the entire deck to be removed and rebuilt. He described a pergola proposed to provide shaded dining areas, and said that additional cabanas and lounge spaces were included along the sides of the deck.



He described new porcelain decking with wood-look finishes, refinished pool surfaces, and new landscaping with palms and hardy species suited to the coastal environment. He said that the project also included a children's area with a kiddie pool, rubberized play surface, and covered playground, as well as hammocks and dune-like artificial turf mounds to evoke a natural beach feel.

Ms. Barton asked about the finishes and where specific materials would be used to which Mr. Davidson explained the placement of stone, porcelain, and tile finishes across the deck, pool, and columns and that while renderings showed a wood look, the actual structures would be aluminum with a brown powder-coated finish to match.

Acting Chair VanDeman praised the overall layout and functionality of the design, noting that the organization of spaces along two axes felt clear and resort-like, and suggested that more shade be considered. He asked about a blank storage area to the west of the children's area to which Mr. Davidson said that emergency access limits required that section to remain unused, though it would be screened with fencing.

Ms. Barton agreed that more shade was an important consideration, recommending that tensile or other shade structures might be considered in the future.

Mr. Schlacter praised the plan saying that the residents should be pleased with the transformation.

The Village Clerk read an email from Neca Logan, 64 Camden Drive saying that the project was large but appeared to successfully modernize the space and create new amenities, with choices that fit the ambiance of the east side of the community.

**MOTION: A Motion to approve the project as presented with the conditions proposed by the Building Official was moved by Amanda Barton and seconded by Brett Schlacter.**

The Building Official's conditions are as follows.

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences and landscape plantings.
4. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
5. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review

- and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
6. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
  7. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
  8. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

**VOTE: The Motion passed by unanimous voice vote (3-0).**

**4.5 ARB 2025-0006**

122 Bal Bay Drive, Bal Harbour FL, 33154

Architect(s): Joseph B. Kaller and Associates

Owners: Jerome Falic & Debbie Falic

Exterior Site Renovation, Landscaping, Exterior Kitchen, Rolling Gate

Mr. Palacio present the project saying that it involved a site renovation for an existing single-family residence. He said that the applicant had acknowledged the his eighteen conditions of approval and that both staff and the Planning and Zoning consultant agreed the project complied with the Appearance Code and Zoning Ordinance requirements.

Joseph Kaller, Joseph BI Kaller and Associates, said that the house was originally built in 1987 and consisted of a two-story main residence at the rear near the water, along with a one-story service quarter and two-car garage near the street. He said that the site had been heavily paved over the years, leaving only about 24% green area, which he said was far too little and that this renovation sought to reverse that by removing significant paved areas, adding landscaping, and increasing green space to 42.32%. He described the project as an exterior upgrade following a recent interior renovation and terrace addition done under a separate permit.

He said that large paved areas would be replaced with sod and new landscaping, while remaining paved surfaces would be redone with new travertine pavers and tiles. He showed renderings and plans that emphasized tropical planting choices and water-efficient design. He said that a new canopy would be added to provide a shaded outdoor living area connecting directly to the dining and living rooms, and that the front fence would also be upgraded, replacing a solid masonry wall with a more decorative picket-style design and an automatic gate. He added that stainless steel cable railings were proposed for upper levels to replace older features.

Mr. Schlacter disclosed that he was friends with the property owners and had once spoken with them about landscaping materials, adding that he had not reviewed the plans beforehand.

Acting Chair VanDeman asked about a rendering that showed sod areas directly in front of certain windows, questioning whether this space could have been planted differently. Mr. Kaller said that the landscape architect had chosen to bookend planting beds at the sides, leaving sod in front of the central window for unobstructed views. He said that the design could be revisited if necessary but noted that the current plan already met code and doubled the property's pervious surface. Acting Chair VanDeman said that while the plan looked good overall, he found the sod-only approach somewhat plain and had expected a mix of plantings.

Mr. Schlacter supported the design, noting that the sod area in front was also highly usable for families with children, since the rear yard had limited green space. He praised the overall renovation, saying the house looked beautiful from the street and that the project was a strong enhancement to the neighborhood.

The Village Clerk read an email from Neca Logan, 64 Camden Drive, saying that the design of the gates as "boring and uninspired" but that she welcomed the addition of sod and landscaping. She also said the updated pavers would be a nice improvement.

Acting Chair VanDeman asked about the street-side area between the property line and the right-of-way, noting that there did not appear to be understory landscaping. He said that if that area was Village property, it would be up to the municipality to decide whether to add planting, though in his view, it would enhance privacy and soften the fence line.

**MOTION: A Motion to approve the project as presented with the conditions proposed by the Building Official was moved by Brett Schlacter and seconded by Acting Chair Nathan VanDeman.**

The Building Official's conditions are as follows.

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences and landscape plantings.
4. Any new hedge must be planted at least 10' from the edge of the curb (existing hedge may remain).
5. Any new trees must be planted at least 10' from the edge of the curb (existing trees/palms may remain).
6. All Electrical, Mechanical and Plumbing equipment are required to be 1.0 foot above B.F.E. (Base Flood Elevation) per F.B.C. & A.S.C.E. 24 and cannot infringe upon the building setbacks.
7. Flood Design Data is required to be in accordance to F.B.C. 2023, Section 1603.1.7. & A.S.C.E. 24.

8. Architect to provide an Elevation Certificate FEMA Form 086-0-33, for proposed construction that complies with F.B.C. 322 & A.S.C.E. 24.
9. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
10. The Project shall comply with Section 21-102 (a) and (b) regarding setbacks in the R-1 Zoning District.
11. The Project shall comply with Section 21-100, maximum building height of 35 ft. in the R-1 Zoning District.
12. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
13. If any portion of the landscaping, fence, or any other permitted item will be located within the five-foot easement at the front or side of the property, then prior to the issuance of a required permit or permit revision to the master building permit, the Owner of the Project described herein shall execute "Hold Harmless Agreement" as a condition precedent to permit issuance.
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16. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
17. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
18. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

**VOTE: The Motion passed by unanimous voice vote (3-0).**

**4.6 ARB 2025-0003**

226 Bal Cross drive, Bal Harbour FL, 33154

Architect(s): Joseph B. Kaller and Associates

Owners: Fair & Swanson Holdings, Inc.

Front Facade Renovation, Landscaping, Refinish Existing Vertical Wall

Joseph Kaller, Joseph B. Kaller and Associates, said that the project was focused on upgrading and enhancing the front façade of the existing one-story residence. He described the house as almost courtyard-like in design, with an interior open space,

and noted that the goal was to give the home a more contemporary look. He said that the revisions would focus on new façade treatments with contemporary materials, colors, and textures, including porcelain tile accents, fresh paint, and a redesigned entryway.

He said that an existing vertical tower would be clad in a new composite vertical slatted material to create a stronger focal point at the entry and that a new front door would feature a modern design with a large handle, and the porch and steps would be rebuilt for a more inviting approach. He said that the driveway, which was currently asphalt, would be completely redone in pavers to harmonize with the updated façade, and that landscaping would be refreshed with a Florida natural theme to frame the improvements.

The Village Clerk read an email from Neca Logan, 64 Camden Drive, praising the overall update, and noting that new pavers, paint, and landscaping would greatly enhance the façade of what she described as a tired-looking home. She questioned why the pavers were not extended all the way back to the garage, suggesting it would create a more seamless look.

Acting Chair VanDeman asked for clarification on the extent of the new paver installation, pointing out a transition band shown in the plans, to which Mr. Kaller said that the pavers would extend over the entire drivable area, stopping at a logical break point, and that much of the rear portion of the drive was concrete rather than asphalt. He said that the project did cover all main drivable areas and that the transition would be far back on the site, not visible from the street.

**MOTION: A Motion to approve the project as presented with the conditions proposed by the Building Official was moved by Amanda Barton and seconded by Acting Chair Nathan VanDeman.**

The Building Official's conditions are as follows.

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences, and landscape plantings.
4. Any new hedge must be planted at least 10' from the edge of the curb.
5. Any new trees must be planted at least 10' from the edge of the curb.
6. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.

7. The Project shall comply with Section 21-127, a, b, and c regarding setbacks in the R-2 Zoning District.
8. The Project shall comply with Section 21-125, maximum building height of 30 ft. in the R-2 Zoning District.
9. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
10. If any portion of the landscaping, fence, or any other permitted item will be located within the five-foot easement at the front or side of the property, then prior to the issuance of a required permit or permit revision to the master building permit, the Owner of the Project described herein shall execute "Hold Harmless Agreement" as a condition precedent to permit issuance.
11. If the proposed landscape and hardscape design conflicts with the Village's stormwater infrastructure system, the Architect and Civil Engineer are required to resolve prior to permit issuance. Any revisions required to the hardscape or landscape shall be sought before the ARB, if applicable, or be administratively approved prior to permit.
12. Perimeter landscaping required by the Certificate of Appropriateness must be maintained by the property owner in accordance with the standards of the Code.
13. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
14. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
15. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

**VOTE: The Motion passed by unanimous voice vote (3-0).**

## **5 OTHER BUSINESS**

The Village Clerk said that the October meeting date fell on Yom Kippur, which was a non-workable holiday, and suggested moving the meeting to Thursday, October 16. He added that Chair Borges had agreed to the date change, and that he was still waiting to hear from Mr. Gomez. There was a general consensus from the Board to change the meeting date to October 16, 2025..

## **6 PUBLIC COMMENT** - There were no further comments from the public.

**7 ADJOURNMENT** The meeting was adjourned at 2:33 PM.

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Reinaldo Borges, Chair



Attest:

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Dwight S. Danie, Village Clerk

# BAL HARBOUR

- V I L L A G E -

## ARCHITECTURAL REVIEW BOARD MEMORANDUM

TO: Architectural Review Board Members

FROM: Eliezer Palacio, Building Director

DATE: 10/16/2025

SUBJECT: 271 Bal Cross Drive  
New Two-Story Single-Family Residence



### **BACKGROUND**

The Village of Bal Harbour (the "Village") received an Architectural Review Board (ARB) application on July 2, 2025 for the development of a new two-story single-family residence located at 271 Bal Cross Drive (the "Property").

The lot sits on Block 9, Lot 10 and is located in the R-2, single family zoning district of the Bal Harbour Village Residential Section. The Property is 14,897 square feet and the Applicant is proposing a new two-story residence with 6,744 square feet of conditioned interior space and 780 square feet of unconditioned outdoor areas / garages, for a total square footage of 7,524.

The entrance to the residence faces West and the proposed garage entry does not face the street.

This Property is located in the AE-8 N.G.V.D. Base Flood Elevation Zone and the Applicant is constructing the proposed residence at 9.67' N.G.V.D., which complies with the Florida Building Code (F.B.C.) and ASCE 24 for AE zones.

### **THE PROJECT (AE Description)**

The following is a written document to describe the proposed New Construction to be located on 271 Bal Cross Dr, Bal Harbour, Fl. 33154.

271 Bal Cross Drive residence is a single-family residence designed by Z.W. Jarosz Architect P.A.

According to the Owner's direction, the residence was designed in a contemporary, timeless interpretation of Mediterranean revival style.

The two-story building features elements like round and elliptical arches and chamfered columns on selected locations with stucco finish; pitched roofs with barrel roof tile, rafters, and wood finishes. These elements along with contemporary architecture elements like large openings, allow transparency and flow of the space between the inside and the rear yard area.



The main entry to the residence is through a deep arch, which gives protection to the front round glass door, leading into a foyer that features the main staircase of the residence. The front arched glass door dialogues with three arches at the corridor connecting the entry area with the dining, living space and the front and rear yards.

The first floor consists of the living room, dining room, and bar area, a guest bedroom, kitchen, accessory areas, staff room, garages and gym. The rear yard features a pool, a covered terrace for a barbecue on the northeast side and a connecting loggia, leading to the gym on the southeast side.

The second-floor features two studios and the sleeping area: with the master bedroom, a large bathroom, two walking closets and terrace overlooking the rear yard, and three bedrooms each with its own bath and closets.

The proposed design complies with all required setback and height criteria per the Bal Harbour Village Code. The second-floor setbacks exceed minimum requirements without utilizing the optional flex provisions. The structure is within the permitted height and has been thoughtfully designed to be compatible with the character of the neighborhood.

The residence has been designed in full compliance with the Bal Harbour Village Code. It meets all height and setback requirements, with second-floor setbacks exceeding minimum standards without reliance on optional flex provisions. The proposed total ground area coverage is 5,330 sq. ft. (35.8%), well below the maximum allowable coverage of 7,448 sq. ft. (based on a 50% coverage limit of the 14,897 sq. ft. lot). The enclosed floor area includes 3,852 sq. ft. on the first floor and 2,892 sq. ft. on the second floor, for a total of 6,744 sq. ft., exclusive of non-conditioned spaces such as garages and open terraces.

This project has been carefully designed to align with the architectural character of the neighborhood while maintaining full zoning compliance. The architectural approach balances tradition and modernity, creating a residence that is both contextually appropriate and architecturally refined.

## **RECOMMENDATION**

It is the opinion of this writer that the proposed new two-story single-family residence follows the Village's Appearance Code and Zoning Ordinance. The Village Planning and Zoning Consultant and the Parks and Public Spaces Department have reviewed the plans and concur that the plans comply.

I recommend that the Board review the submittal for compliance and if they concur with my recommendation, issue a Certificate of Appropriateness.

If approved, the following conditions should be added to the motion:

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.

2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences, and landscape plantings.
4. Any new hedge must be planted at least 10' from the edge of the curb.
5. Any new trees must be planted at least 10' from the edge of the curb.
6. All Electrical, Mechanical and Plumbing equipment are required to be 1.0 foot above B.F.E. (Base Flood Elevation) per F.B.C. & A.S.C.E. 24 and cannot infringe upon the building setbacks.
7. Flood Design Data is required to be in accordance to F.B.C., Section 1603.1.7. & A.S.C.E. 24.
8. Architect to provide an Elevation Certificate FEMA Form 086-0-33, for proposed construction that complies with F.B.C. 322 & A.S.C.E. 24.
9. A construction contract and/or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
10. The Project shall comply with Section 21-127, a, b, and c regarding setbacks in the R-2 Zoning District.
11. The Project shall comply with Section 21-125, maximum building height of 30 ft. in the R-2 Zoning District.
12. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
13. If any portion of the landscaping, fence, or any other permitted item will be located within the five-foot easement at the front, rear or side of the property, then prior to the issuance of a required permit or permit revision to the master building permit, the Owner of the Project described herein shall execute "Hold Harmless Agreement" as a condition precedent to permit issuance.

14. If the proposed landscape and hardscape design conflicts with the Village's stormwater infrastructure system, the Architect and Civil Engineer are required to resolve prior to permit issuance. Any revisions required to the hardscape or landscape shall be brought before the ARB, if applicable, or be administratively approved prior to permit.
15. Perimeter landscaping required by the Certificate of Appropriateness must be maintained by the property owner in accordance with the standards of the Code.
16. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
17. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
18. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.



# BAL CROSS DRIVE RESIDENCE

271 BAL CROSS DRIVE, BAL HARBOUR, FL 33154

## INDEX OF DRAWINGS:

### ARCHITECTURE:

SURVEY  
 A0.00 COVER SHEET  
 A0.01 GENERAL NOTES  
 A0.02 AERIAL VIEWS & CONTEXT  
 A0.03 SITE PHOTOGRAPHS  
 A0.04 NEIGHBORING PROPERTIES  
 A0.05 PROJECT RENDERINGS AND MATERIALS  
 A0.06 PROJECT RENDERINGS AND MATERIALS  
 A0.07 RENDERINGS  
 A0.08 RENDERINGS  
 A1.01 SITE PLAN  
 A1.02 SITE DIAGRAMS  
 A1.03 AREA DIAGRAMS  
 A2.01 FIRST FLOOR PLAN  
 A2.02 SECOND FLOOR PLAN  
 A2.03 ROOF PLAN  
 A3.01 COLOR ELEVATIONS-FRONT & REAR  
 A3.02 COLOR ELEVATIONS -SIDE ELEVATIONS  
 A3.03 BUILDING SECTIONS  
 A4.01 DETAILS .WALLS FENCES GATES . YARD SECTIONS

### LANDSCAPE:

L-0.00 COVER SHEET & SHEET INDEX  
 L-1.00 EXISTING TREE SURVEY & DISPOSITION PLAN  
 L-1.01 EXISTING TREE CHART, MITIGATION SUMMARY & DETAILS  
 L-2.00 LANDSCAPE PLAN  
 L-3.00 PLANT LIST, LANDSCAPE CODE, NOTES + DETAILS  
 L-4.00 PLANT MATERIAL, IMAGES  
 L-4.01 PLANT MATERIAL, IMAGES  
 L-4.01B PERMEABLE PAVERS  
 L-4.02 EXISTING CONDITIONS, IMAGES

### CIVIL:

C-1 GENERAL NOTES  
 C-2 PAVING GRADING AND DRAINAGE PLAN  
 C-2 WATER AND SANITARY SEWER PLAN  
 C-3 POLLUTION PREVENTION CONTROL PLAN  
 C-3.1 POLLUTION PREVENTION CONTROL PLAN  
 C-4 POLLUTION PREVENTION CONTROL PLAN

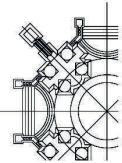
Zbigniew Jarosz  
 Digitally signed by Zbigniew Jarosz  
 Date: 2025.09.19 09:03:03 -04'00'



Z.W. JAROSZ ARCHITECT, P.A.

3326 MARY STREET SUITE 500  
 COCONUT GROVE, FLORIDA 33133  
 305.446.0888 WWW.JAROSZARCH.COM

DESIGN ARCHITECT: Z.W. JAROSZ, AIA, RIBA. ARC 8223



### CONSULTANTS:

#### LANDSCAPE:

CHRIS CAWLEY- Landscape Architecture  
 780 NE 69th Street, Suite 200  
 Miami, Florida 33138  
 786.536.2961

#### CIVIL:

Ross Engineering, Inc.  
 3325 S. University Drive. Suite 111  
 Davie, Florida 33328  
 954.318.0624

#### STRUCTURAL:

PLF STRUCTURAL ENGINEERS, INC.  
 4960 SW 52nd street, Suite #401  
 Davie, Florida 33314  
 (305) 219 - 2344

#### MECHANICAL - ELECTRICAL - PLUMBING:

RCI Engineering, Inc.  
 5230 S University Dr. Suite 106.  
 Davie, Florida 33328  
 (954) 680 - 2690



GENERAL

1. STRUCTURAL DRAWINGS SHALL BE WORKED TOGETHER WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS TO LOCATE DEPRESSURED SLABS, SLOPES, DRAINS, OUTLETS, RECESSES, OPENINGS, RISERS, TEST UTILITY RISERS, ETC., IN ORDER TO BRING THE SAME INTO THE PROJECT. IT IS THE DUTY OF THE ARCHITECT TO BRING THE SAME INTO THE PROJECT BEFORE PROCEEDING WITH ANY AND ALL WORK.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE BEFORE STARTING ANY WORK. BRING ALL DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT BEFORE BEGINNING ANY WORK. NO WORK IS TO BE DONE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
3. CONTRACTOR TO VERIFY THE LOCATION OF ANY AND ALL UNDERGROUND AND OVERHEAD UTILITY LINES IN THE AREAS OF PROPOSED WORK.
4. NO DEVIATIONS OF THESE PLANS ARE TO BE MADE, IN ANY WAY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE ARCHITECT. ALTERNATE WORK MAY ONLY BE SUBSTITUTED WITH WRITTEN APPROVAL OF THE ARCHITECT.

5. PROVIDING OF ALL SHOP DRAWINGS IS REQUIRED BY THE ARCHITECT AND THE GENERAL CONTRACTOR. THE OWNER, CONTRACTOR, OR SUB-CONTRACTOR IS REQUIRED TO SUBMIT ALL SHOP DRAWINGS IN ACCORDANCE WITH SECTION 9302.1.1 OF THE FLORIDA BUILDING CODE. THE ARCHITECT SHALL REVIEW AND APPROVE OR DISAPPROVE THE SHOP DRAWINGS FOR CONCEPT ONLY. ALL SHOP DRAWINGS APPROVED BY THE ARCHITECT SHALL BEAT THE SIGNATURE OF THE ARCHITECT.
6. ALL SHOP DRAWINGS SHALL BE SUBMITTED ON A 3" X 9" BOND PAPER ONLY. SUBMIT ON (5) COPIES FOR APPROVAL. TRUSS DRAWINGS SHALL BE AT THE SAME SCALE AS THAT OF THE FLOOR PLAN, AND ALL SHOP DRAWINGS SHALL BE SEALED AND SIGNED WITH CALCULATION BY A FLORIDA REGISTERED ENGINEER IN ORDER TO BE APPROVED.
7. THESE DRAWINGS ARE DIAGRAMMATIC ONLY. IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION.

8. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT AND OWNER REPRESENTATIVE IN WRITING OF THE EXISTENCE OF ANY UNEXPECTED VARIATION BETWEEN THE CONTRACT DOCUMENTS AND THE APPLICABLE CODES OR ORDINANCES.
9. ATTENTION IS DIRECTED TO PROVISIONS IN AND DOCUMENT A01 "GENERAL CONDITIONS", ARTICLE 4, REGARDING CONTRACTORS RESPONSIBILITY IN REGARDS TO SHOP DRAWINGS. ALL CONSTRUCTION WILL MEET ALL RECENT CODE REQUIREMENTS AND OR MANUFACTURER SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.

10. GENERAL CONTRACTOR AND FRAMING CONTRACTOR TO VERIFY AIR HANDLER UNITS SIZE TO ADJUST SIZE OF A/C CLOSETS TO ALLOW FOR A CLEARANCE AROUND UNITS.
11. MEANS OF EGRESS
1. DWELLINGS SHALL BE PROVIDED WITH A MEANS OF EGRESS WHICH IS TO BE A CONTINUOUS AND UNINTERRUPTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAVEL FROM ALL PORTIONS OF THE DWELLING TO THE REQUIRED ADDRESS DOOR WITHOUT REQUIRING TRAVEL THROUGH A GARAGE. THE REQUIRED EGRESS DOOR SHALL OPEN DIRECTLY IN TO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO PUBLIC WAY.
2. AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SIZE-RATED AND SHALL BE LOCATED CLEAR WIDTH OF NOT LESS THAN 32 INCHES (813 mm) WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES (157 deg). THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES (1981 mm) IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. OTHER DOORS SHALL NOT BE REQUIRED UNLESS ALREADY PROVIDED WITH THE MINIMUM DIMENSIONS. THESE DOORS SHALL BE EASILY OPERABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
3. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVING. EVERY LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES (914 mm) IN ONE DIRECTION AND 48 INCHES (1219 mm) IN THE OTHER DIRECTION. EXTERIOR LANDINGS SHALL NOT EXCEED 1 UNIT VERTICAL IN 12 UNIT HORIZONTAL (2.5% SLOPE). EXTERIOR LANDINGS SHALL NOT BE LESS THAN 36 INCHES (914 mm) IN ONE DIRECTION AND 48 INCHES (1219 mm) IN THE OTHER DIRECTION. EXTERIOR LANDINGS SHALL BE PERMITTED PROVIDED THAT THE DEPTH AT THE WALKING AND THE TOTAL AREA IS NOT LESS THAN THAT OF A SQUARE CIRCLE WITH A RADIUS EQUAL TO THE REQUIRED LANDING WIDTH.

SITE PREPARATION

1. FILL AND BACKFILL TO BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DENSITY AT OPTIMUM MOISTURE AS DETERMINED BY THE STANDARD PROCTOR TEST.
2. FILL MATERIAL TO BE CLEANED COURSE AND GRADED UNIFORM FREE OF ORGANIC OR DELTERIOUS MATERIAL OF A MINIMUM DRY DENSITY OF 110 POUNDS PER CUBIC FOOT.
3. MATERIAL EXCAVATED FROM THE SITE MAY BE REUSED FOR FILL PROVIDED IT IS FREE FROM BLACKTOP, GRADING OR DELTERIOUS MATERIAL, AND IS COMPACTED TO ONE (1) INCH OF SETTLE PER 12 INCHES OF MATERIAL. MINIMUM DRY DENSITY OF 110 POUNDS PER CUBIC FOOT AND WILL COMPACT TO 95% OF THE MAXIMUM DRY DENSITY.

4. AFTER REMOVAL OF ANY TOP SOIL, DEBRIS, AND ORGANIC OR DELTERIOUS MATERIAL, COMPACTED EXISTING MATERIALS WITH A HEAVY SELF-PROPULLED VIBRATORY ROLLER (MINIMUM STATIC WEIGHT OF 10 TONS) WITH A MINIMUM OF 10 PASSES OVERLAPPING 8 INCHES.

5. GRADING
1. CONTRACTOR SHALL PROVIDE A SUB GRADE TO WITHIN 8 INCHES OF FINAL GRADE SPECIFIED ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISIONS OF THE PLANS. THE CONTRACTOR SHALL PROVIDE INFORMATION ON LANDSCAPE DRAINAGE SUPERCEDES ALL OTHER DRAWINGS.

DEMOLITION

1. STATE LAW REQUIRES ASBESTOS ABATEMENT TO BE DONE BY LICENSED CONTRACTORS, MOVING, REMOVAL OR DISPOSAL OF ASBESTOS-CONTAINING MATERIALS ON A RESIDENTIAL BUILDING WHERE THE BUILDING IS NOT FOR SALE OR LEASE, AND THE WORK IS PERFORMED ACCORDING TO THE FOLLOWING:
2. ALL WORK MUST BE DONE IN ACCORDANCE TO ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS WHICH APPLY TO ASBESTOS ABATEMENT PROJECTS. IN ACCORDANCE WITH FBC SECTION 105.8, THE OWNER OR OPERATOR IS RESPONSIBLE TO COMPLY WITH THE PROVISIONS OF SECTION 489.003, FLORIDA STATUTES, AND TO NOTIFY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION OF HIS OR HER INTENTIONS TO REMOVE ASBESTOS, WHEN APPLICABLE, IN ACCORDANCE WITH STATE AND FEDERAL LAW.

3. STATE LAW REQUIRES ASBESTOS ABATEMENT TO BE DONE BY LICENSED CONTRACTORS, MOVING, REMOVAL OR DISPOSAL OF ASBESTOS-CONTAINING MATERIALS ON A RESIDENTIAL BUILDING WHERE THE BUILDING IS NOT FOR SALE OR LEASE, AND THE WORK IS PERFORMED ACCORDING TO THE FOLLOWING:
4. ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS WHICH APPLY TO ASBESTOS ABATEMENT PROJECTS. IN ACCORDANCE WITH FBC SECTION 105.8, THE OWNER OR OPERATOR IS RESPONSIBLE TO COMPLY WITH THE PROVISIONS OF SECTION 489.003, FLORIDA STATUTES, AND TO NOTIFY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION OF HIS OR HER INTENTIONS TO REMOVE ASBESTOS, WHEN APPLICABLE, IN ACCORDANCE WITH STATE AND FEDERAL LAW.

PROTECTION OF OPENINGS

1. EXTERIOR GLAZED OPENINGS IN BUILDINGS LOCATED IN WINDBORNE DEBRIS REGION SHALL BE PROTECTED FROM WINDBORNE DEBRIS BY MEANS OF A WINDBORNE DEBRIS RESISTANT WALL. MEET THE REQUIREMENTS OF THE LARGE MIDDLE TEST OF ASTM F1998 AND ASTM F1988 AS MODIFIED IN SECTION 901.2.1.1.1. THE WALL SHALL BE 20 INCHES THICK AND SHALL BE 10 FEET HIGH. GLAZED OPENING PROTECTION FOR WINDBORNE DEBRIS SHALL MEET THE REQUIREMENTS OF AN APPROVED IMPACT-RESISTING SYSTEM AS APPROVED BY THE ARCHITECT.
2. WIND EXPOSURE CATEGORY: II

3. FOR BUILDINGS WITH A WIND PROOF HEIGHT OF LESS THAN OR EQUAL TO 30 FEET, THE GROUND SURFACE ROUGHNESS IS PRESENT IN THE UPWIND DIRECTION FOR A DISTANCE OF AT LEAST 1,500 FEET.
4. SURFACE ROUGHNESS CATEGORY: II

5. URBAN AND SUBURBAN ZONES
6. URBAN AND SUBURBAN ZONES

7. URBAN AND SUBURBAN ZONES
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42. URBAN AND SUBURBAN ZONES

43. URBAN AND SUBURBAN ZONES
44. URBAN AND SUBURBAN ZONES

FIRE RESISTANCE CONSTRUCTION

1. EXTERIOR WALLS, CONSTRUCTION, PROJECTIONS, OPENINGS, AND PENETRATIONS OF EXTERIOR WALLS OF DWELLINGS AND ACCESSORY BUILDINGS SHALL BE AT LEAST 1 HOUR RATED AND TESTED IN ACCORDANCE WITH SECTION 901.2.1.1.1.1. THE WALL SHALL BE 10 INCHES THICK AND SHALL BE 10 FEET HIGH. GLAZED OPENING PROTECTION FOR WINDBORNE DEBRIS SHALL MEET THE REQUIREMENTS OF AN APPROVED IMPACT-RESISTING SYSTEM AS APPROVED BY THE ARCHITECT.
2. PENETRATIONS SHALL BE INSTALLED AS TESTED IN THE APPROVED FIRE RESISTANCE - RATED ASSEMBLY AS PER FBC SECTION 903.2.1.1.1.1. FIRE-RESISTANCE-RATED ASSEMBLY.
3. PENETRATIONS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRE-PROTECTION SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E814 OR UL 1493, WITH A POSITIVE PRESSURE DIFFERENTIAL OF NOT LESS THAN 0.01 INCH OF WATER (3 PA) AND SHALL HAVE AN R-RATING OF NOT LESS THAN 1.5 HOURS.
4. THE DAMAGE SHALL BE REPAIRED AS REQUIRED BY TABLE 903.2.1.1.1.1.1. OPENINGS IN GABLE WALLS SHALL COMPLY WITH SECTION 903.2.1.1.1.1.1. ATTACHMENT OF CYCLONIC BOMBS SHALL COMPLY WITH TABLE 903.2.1.1.1.1.1.1.
5. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS UNDER-SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SPACE WITH 1/2-INCH (12.7 mm) CYCLONIC BOMBS.
6. TYPE OF CONSTRUCTION ALL EXTERIOR WALLS ARE OF NONCOMBUSTIBLE MATERIALS AND THE EXTERIOR BUILDING ELEMENTS ARE OF ANY FIRE-RETARDANT MATERIAL. FIRE-RETARDANT-TREATED WOOD FRAMING COMPLYING WITH SECTION 903.2.1.1.1.1.1. SHALL BE PERMITTED WITH EXTERIOR WALL ASSEMBLIES OF A 2-HOUR-RATING OR LESS, TYPE II AS PER FBC SECTION 602 (CONSTRUCTION CLASSIFICATIONS).

7. TYPE OF CONSTRUCTION ALL EXTERIOR WALLS ARE OF NONCOMBUSTIBLE MATERIALS AND THE EXTERIOR BUILDING ELEMENTS ARE OF ANY FIRE-RETARDANT MATERIAL. FIRE-RETARDANT-TREATED WOOD FRAMING COMPLYING WITH SECTION 903.2.1.1.1.1.1. SHALL BE PERMITTED WITH EXTERIOR WALL ASSEMBLIES OF A 2-HOUR-RATING OR LESS, TYPE II AS PER FBC SECTION 602 (CONSTRUCTION CLASSIFICATIONS).
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CONTEXT

01  
A0.02



AERIAL VIEW - LOOKING SOUTHEAST

02  
A0.02



AERIAL VIEW LOOKING NORTH

03  
A0.02





COLOR PHOTOGRAPHS OF BUILDING SITE - EXISTING STRUCTURE

01  
A0.03

PROJECT /  
SHEET TITLE

**BAL CROSS DRIVE**  
271 BAL CROSS DRIVE, BAL HARBOUR, FL 33154  
**SITE PHOTOGRAPHS.**

LIC. AR8223  
Digitally signed by Zbigniew Jarosz  
Date: 2025.09.19 09:00:48  
0400

REVISIONS	
NO.	DATE

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**BC**

DATE:	September 15, 2025
DRAWN BY:	SLC/RS
CHECKED BY:	BJ
SCALE:	AS SHOWN

**A0.03**





COLORED PHOTOGRAPHS OF NEIGHBORING STRUCTURES SHOWING THE CHARACTER

01  
A0.04

PROJECT /  
SHEET TITLE

BAL CROSS DRIVE  
271 BAL CROSS DRIVE, BAL HARBOUR, FL 33154  
NEIGHBORING PROPERTIES

LIC. AR6223  
OF  
Digitally  
Signed by  
Jarosz  
Date  
2025.09.19  
04:00

REVISIONS

NO. DATE: DESCRIPTION

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RENDERINGS IN COLOR OF PROPOSED NEW RESIDENCE ELEVATION - FRONT



1

TERREAL CLAY ROOF TILE  
LUDOWICI LANGUEDOICIENNE  
PANACHE ANCIENNE MEDIUM  
LIGHT VARYING TONES OR  
SIMILAR AT ALL SLOPED  
ROOFS



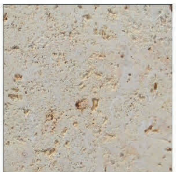
2

AT ROOF OVERHANG AND  
COVERED TERRACES  
  
DARK BROWN CEDAR  
TONGUE AND GROOVE



3

WHITE, LIGHT TONE STUCCO  
AT ALL FACADES



4

CORALINA STONE OR SIMILAR  
AT EXTERIOR FLOORING,  
DECORATIVE FACADE TRIMS  
AND WINDOW STONE SILLS.

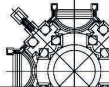


5

PERMEABLE PAVERS  
UNILOCK TRIBECA COBBLE  
OR SIMILAR

Z.W. JAROSZ ARCHITECT, P.A.

3326 MARY STREET, SUITE 500  
COCONUT GROVE, FLORIDA 33133  
305.446.0888 WWW.JAROSZARCH.COM



PROJECT /  
SHEET TITLE

BAL CROSS DRIVE  
271 BAL CROSS DRIVE, BAL HARBOUR, FL 33154  
PROJECT RENDERINGS AND MATERIALS

LIC. ARS223



REVISIONS

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REV.	DATE	DESCRIPTION

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SHEET:	01

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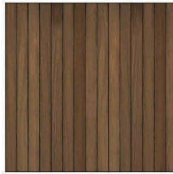
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1

TERREAL CLAY ROOF TILE  
LUDOWICI LANGUEDOICIENNE  
PANACHE ANCIENNE MEDIUM  
LIGHT VARYING TONES OR  
SIMILAR AT ALL SLOPED  
ROOFS



2

AT ROOF OVERHANG AND  
COVERED TERRACES  
  
DARK BROWN CEDAR  
TONGUE AND GROOVE



3

WHITE, LIGHT TONE STUCCO  
AT ALL FACADES



4

CORALINA STONE OR SIMILAR  
AT EXTERIOR FLOORING,  
DECORATIVE FACADE TRIMS  
AND WINDOW STONE SILLS.



5

PERMEABLE PAVERS  
UNILOCK TRIBECA COBBLE  
OR SIMILAR



2

1

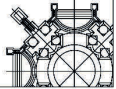
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RENDERINGS IN COLOR OF PROPOSED NEW RESIDENCE ELEVATION - REAR

01  
A0.06

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PROJECT /  
SHEET TITLE

BAL CROSS DRIVE  
271 BAL CROSS DRIVE, BAL HARBOUR, FL 33154  
PROJECT RENDERINGS AND MATERIALS

UP: 01/22/23  
Zbigniew  
Jarosz  
Digitally signed by  
Zbigniew Jarosz  
Date: 2025.09.19  
09:14:14 -0400  
REVISIONS

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A0.06





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PROJECT /  
SHEET TITLE

BAL CROSS DRIVE  
271 BAL CROSS DRIVE, BAL HARBOUR, FL 33154  
PROJECT RENDERINGS

LIC. AR8223  
Zbigniew Jarosz  
Date: 2025-09-19  
2025-09-19

REVISIONS

REV. DATE: DESCRIPTION

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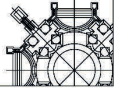
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PROJECT /  
SHEET TITLE

BAL CROSS DRIVE  
271 BAL CROSS DRIVE, BAL HARBOUR, FL 33154  
PROJECT RENDERINGS

LIC. ARS231  
Zbigniew Jarosz  
2025-09-30  
2018-09-30

REVISIONS

REV. DATE: 09/01/2024

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SCALE: AS SHOWN

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THE LOT SITS ON LOT 10 BLOCK 9, AND IS LOCATED IN THE R-2 ZONING DISTRICT OF THE VILLAGE RESIDENTIAL SECTION.

THE LOT IS 14,897 SQ. FT. AND THE APPLICANT IS PROPOSING A NEW 2 STORY SINGLE FAMILY RESIDENCE ON THE PROPERTY WITH 6,744 SQ.FT. OF CONDITIONED INTERIOR SPACE (1) 780 SQ.FT. OF UNCONDITIONED OUTDOOR AREAS (2) FOR A TOTAL SQUARE FOOTAGE OF 7,524 SQ.FT.

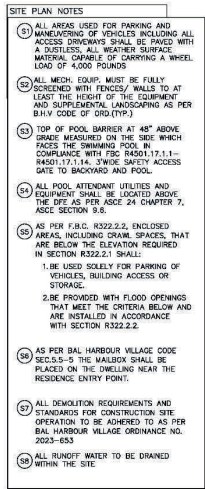
THE ENTRANCE TO THE RESIDENCE FACES WEST AND THE PROPOSED GARAGE ENTRY DOES NOT FACE THE STREET.  
\*(ENCLOSED GARAGES ADDITIONAL AREAS: 786SF)

FLORIDA BUILDING CODE - RESIDENTIAL, 2023  
FLORIDA BUILDING CODE - PLUMBING, 2023  
FLORIDA BUILDING CODE - MECHANICAL, 2023  
FLORIDA BUILDING CODE - FUEL GAS, 2023  
FLORIDA FIRE PREVENTION CODE, 2023 EDITION  
NFPA 101 LIFE SAFETY CODE, 2021 EDITION  
VILLAGE OF BAL HARBOUR, FLORIDA  
BAL HARBOUR VILLAGE ORDINANCE NO. 2023-653

COMPLIANCE WITH ASCE 24-14

AS REQUIRED PER FBC, CH. 107.3.5 & MIAMI  
DADE COUNTY CODE SECTION 8-10.

OCCUPANCY TYPE: R-3  
OCCUPANCY LOAD: 6,744/200 = 34 PERSONS  
CONSTRUCTION TYPE: V-A  
RISK CATEGORY: 2  
EXPOSURE CATEGORY: D



AS REQUIRED PER FBC, R322.2.2  
FLOOD VENTS PROVIDED SHART 1540-520, 2008# EACH.  
PROVIDES 200 SQ.IN. OF NET OPENING, RELIEVING  
HYDROSTATIC PRESSURE FOR 200 SQ.FT. OF ENCLOSED AREA  
EACH.

GARAGE #1 AREA, 387 SF PROVIDED 2 FLOOD VENTS =  
400SL.

322.2.2.1 INSTALLATION OF OPENINGS.  
THE WALLS OF UNCLOSED AREAS SHALL HAVE OPENINGS  
INSTALLED SUCH THAT:

- 1 THERE SHALL BE NOT LESS THAN TWO OPENINGS ON OPPOSITE SIDES OF EACH ENCLOSED AREA IF A BUILDING HAS MORE THAN ONE ENCLOSED AREA BELOW THE DESIGN FLOOD ELEVATION. EACH AREA SHALL HAVE CHIMNEYS.

3. OPENINGS SHALL BE PERMITTED TO BE INSTALLED IN DOORS AND WINDOWS, DOORS AND WINDOWS WITH GLITE INSTALL TO DIFFERENT DO NOT MEET THE REQUIREMENTS OF THIS SECTION.

4 FLOOD VENT SPECIFICATION (ALL 4 VENTS): SMART FLOOD VENT  
ICC-ES ESR-2014 MODEL 15 1/2" X 7 1/2" (F4) 1540-10/1540-200 200 SQ. FT.

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Small image showing a component or machine part.

10 of 11

PLAN 

5152 -1



**SITE PLAN**  
SCALE: 3/32"=1"



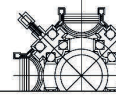
SITE LOCATION

## LOCATION MAP

SCALE: N.T.S.

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Z.W. JAROSZ ARCHITECT, P.A.



PROJECT / SHEET TITLE

**BAL CROSS DRIVE**  
271 BAL CROSS DRIVE, BAL HARBOUR, FL 33154

LIC. AR8223  
 Zbigniew Jarosz  
 Digitally signed by Zbigniew Jarosz  
 Date: 2025.09.19 09:20:12  
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## REVISIONS

NO. DATE DOCA FREQ.

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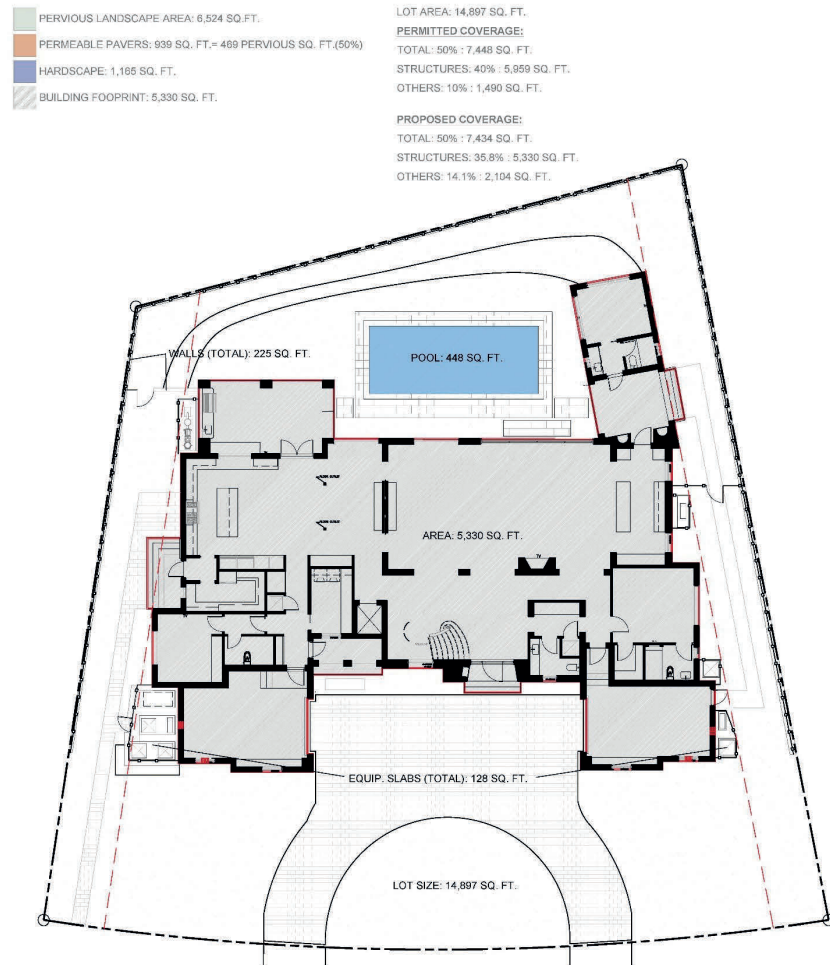
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TABLE 1



**Z.W. JAROSZ ARCHITECT, P.A.**  
 3326 MARY STREET SUITE 500  
 COCONUT GROVE, FLORIDA 33133  
 305.446.0688 WWW.JAROSZARCH.COM

PROJECT / SHEET TITLE

**BAL CROSS DRIVE**  
271 BAL CROSS DRIVE, BAL HARBOUR, FL 33154  
**SITE DIAGRAMS**

LIC. ARR323

STATE OF NEW YORK  
Zbigniew Jarosz  
w Jarosz

Digitally signed by Zbigniew Jarosz  
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## REVISIONS

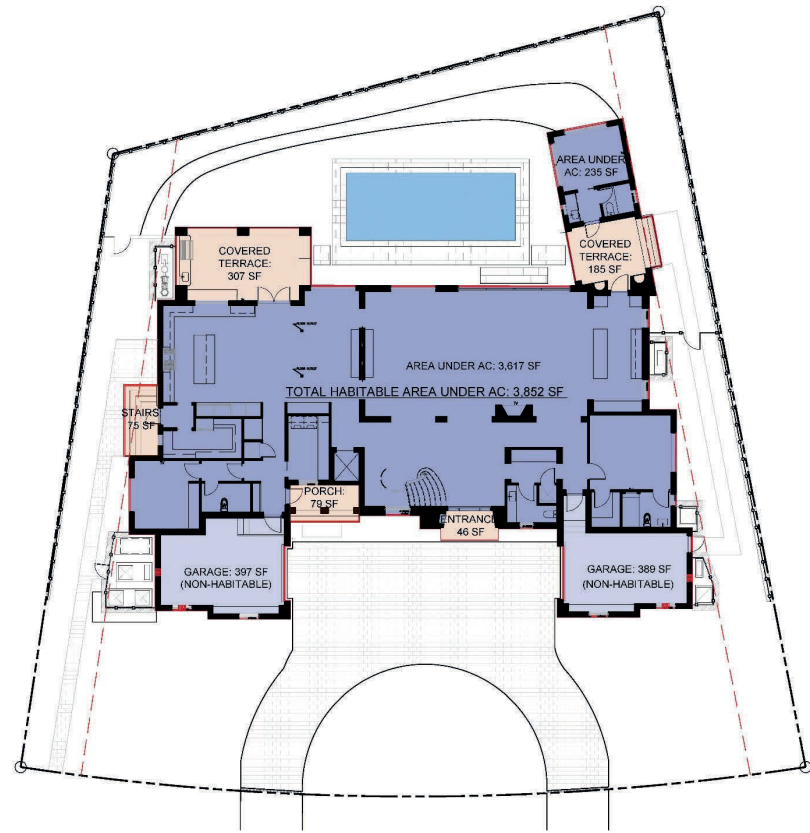
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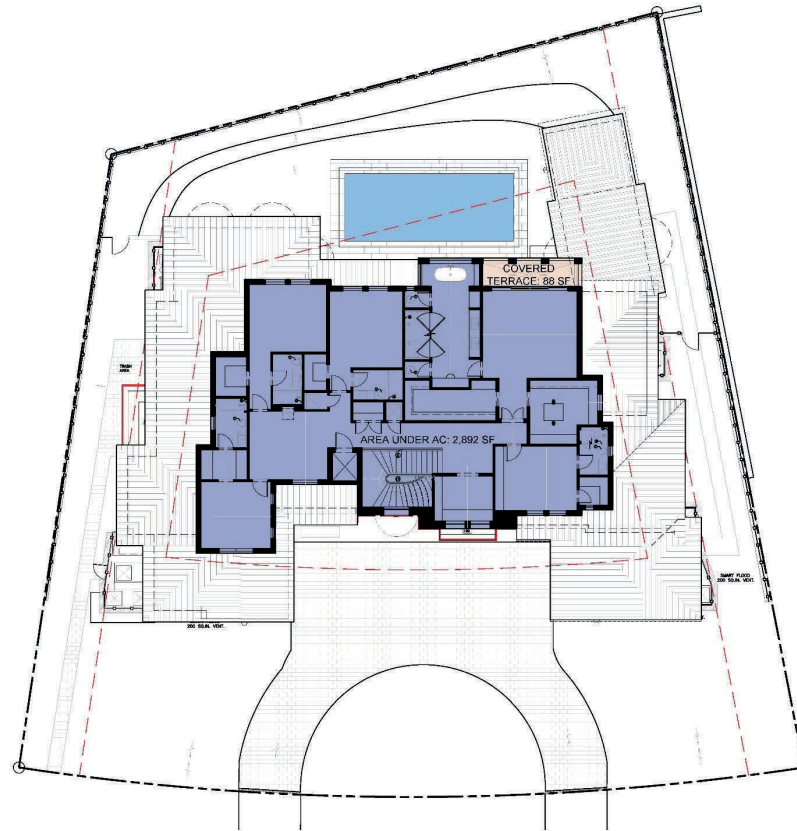




FIRST FLOOR

SCALE: 3/32" = 1'-0"

01  
A1.03



SECOND FLOOR

SCALE: 3/32" = 1'-0"

02  
A1.03

LOT AREA: 14,897 SQ. FT.

CONDITIONED INTERIOR SPACE, AREA UNDER AC

AC FIRST FLOOR : 3,852 SQ. FT.

AC SECOND FLOOR : 2,892 SQ. FT.

AC TOTAL: 3,852 + 2,892 = 6,744 SQ. FT. (1)

UNCONDITIONED OUTDOOR AREAS

NON AC GROUND FLOOR : 46+79+75+307+185 = 692 SQ. FT.

NON AC SECOND FLOOR: 88 SQ. FT.

NON AC TOTAL: 692+88 = 780 SQ. FT. (2)

TOTAL (1)+(2): 6,744+780 = 7,530 SQ. FT.

\* ENCLOSED GARAGES (NON HABITABLE SPACES): 397+389=786 SQ. FT.

PROJECT /  
SHEET TITLE

BAL CROSS DRIVE  
271 BAL CROSS DRIVE, BAL HARBOUR, FL 33154  
AREA DIAGRAMS

LIC. ARS223  
Zbigniew Jarosz  
Date: 2025.09.19  
by: 08/20

REVISIONS

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SCALE: AS SHOWN  
SHEET

A1.03

NOTES:  
ENCLOSED AREAS BELOW THE DFL OR, THE LOWEST FLOOR ELEVATION WHICHEVER IS HIGHER SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS OR STORAGE. (ASCE 24-14 4.6.2, FBCR SECT R322.2.2, R322.2.3)

NOTES:  
ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS HEATING, VENTILATION, AIR CONDITIONING, PLUMBING, APPLIANCES AND PLUMBING FIXTURES, EJECT SYSTEMS, AND OTHER SERVICE EQUIPMENT (WATER HEATERS, GENERATORS, ELECTRICAL PANELS) SHALL BE ELEVATED AT OR ABOVE DESIGN FLOOD ELEVATION (+9.67' NVD)(ASCE 24-14 5.1.7.8)-FBCR 322.1.6-FBCR 322.1.7

NOTES:  
ALL CONSTRUCTION AND FINISH MATERIAL BELOW DESIGN FLOOR ELEVATION OR THE LOWEST FLOOR ELEVATION WHICHEVER IS HIGHER SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL. (ASCE 24-14 5.1.5.5)-FBCR SECT R322.1.8

NOTES:  
WOOD CLADDING ON EXTERIOR WALLS MUST COMPLY WITH FBC 2023, 1403.5

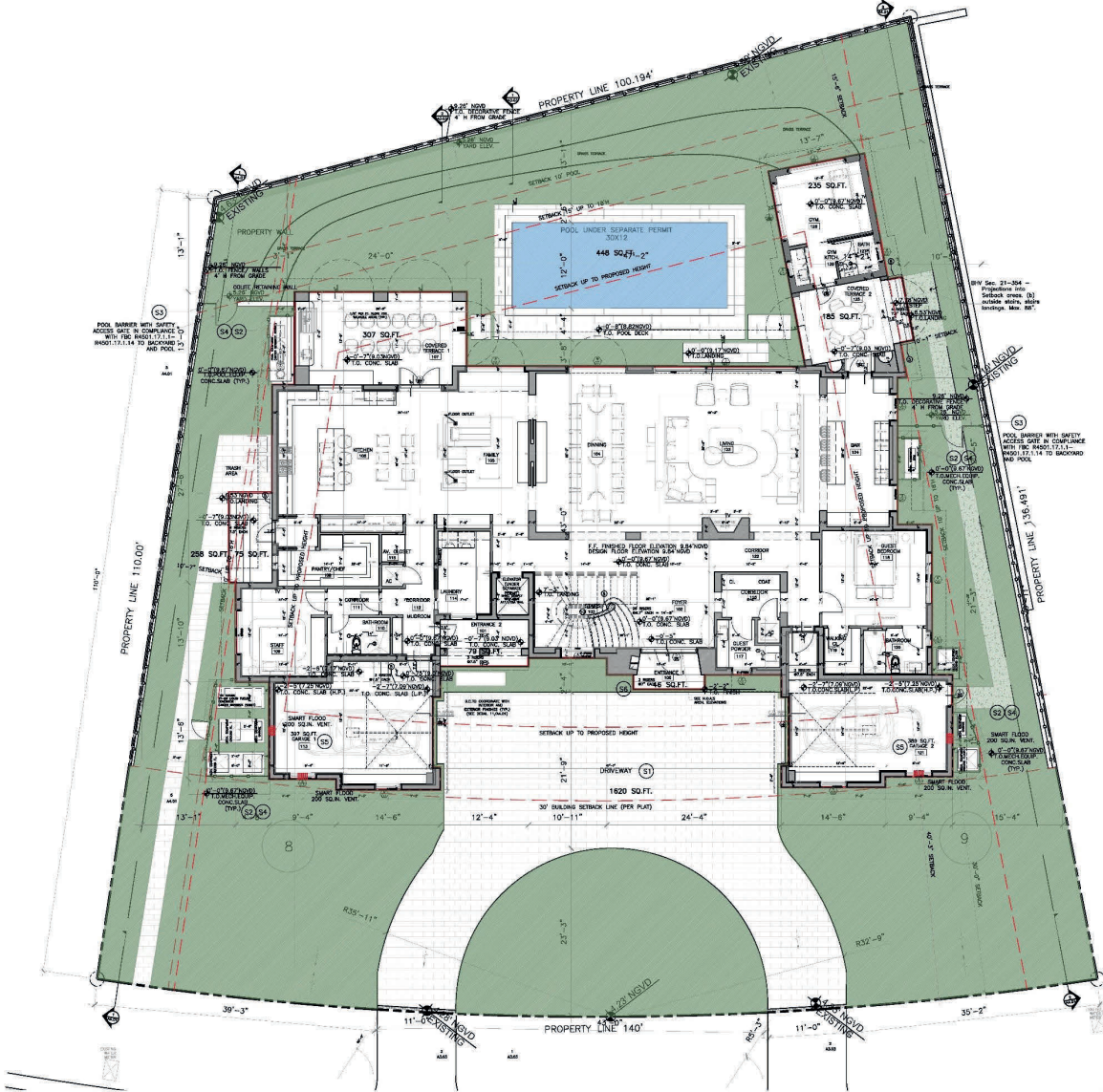
WALL LEGEND	
GRS CONSTRUCTION	
GRS PARTITION	
WET WALL	
CONCRETE COLUMN	
STEEL COLUMN	

- NOTES
- SPACE REQUIRED FOR THE FIXTURES SHALL BE IN ACCORDANCE WITH FBCR SECTION R307, AND IN ACCORDANCE WITH THE REQUIREMENTS OF FBC P SECTION 405
  - SAFETY GLASS CATEGORY II TYP. ALL SHOWERS AS PER FBCR SECTION R308
  - SHOWER AND SHOWER FLOORING AND WALLS ABOVE SHOWERING WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON ABSORBENT MATERIAL UP TO MIN. 4" (TYP.) AS PER FBC R322.2
  - MATERIALS USED AS BACKERS FOR WALL, TILE ON TUB AND SHOWER AREAS AND WALL PANELS SHALL BE OF MATERIALS LISTED IN TABLE R702.4.2, INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION, TO COMPLY WITH THE 2023 FBC R SECTION 702.4.2, BACKER BOARDS
  - SHOWERS SHALL COMPLY WITH REQUIREMENTS AS PER FBCR SECTION CHAPTER 27 PLUMBING FIXTURES (FBCR 27.1.1), HAN NUMBERING MUST SLIPS A MIN. OF 2" PER FOOT TOWARDS DRAIN WITH NO PENETRATION LESS THAN 1" ABOVE THRESHOLD
  - 24"X36" ATTIC ACCESS W/ PAUL CHAIN LIGHT FIXTURE TO HAVE A VERTICAL HEADROOM OF 30 INCHES MINIMUM, G.C. TO COORDINATE WITH FINAL ROOF TRUSSES AND ROOF LAYOUTS
  - HANDRAIL @30"X4" SHALL BE CONTINUOUS WITH RETURNED ENDS AS PER FBCR 311.7.8 WALKER TO PROVIDE BAILING SHOP DRAWINGS FOR ARCHITECT REVIEW AND APPROVAL. REQUIRED GUARD HEIGHT SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW A PROJECT OF A SPHERE 4 INCHES IN DIAMETER, EXCEPT FOR THE IMMEDIATE OPENING AT THE TOP OF STAIR FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD WHICH SHALL NOT ALLOW PASSAGE OF A SPHERE 6 INCHES IN DIAMETER, TO COMPLY WITH FBCR R 312.1.3
  - SCUPPER OPENINGS SHALL BE NOT LESS THAN 4 INCHES IN HEIGHT AND HAVE A WIDTH THAT IS EQUAL TO OR GREATER THAN THE CIRCUMFERENCE OF A ROOF DRAIN SET FOR THE SAME ROOF AREA AS PER TUBE PLUMBING 1108.6, G.C. TO SUBMIT SHOP DINGS FOR ARCHITECT APPROVAL. ALL SCUPPERS TO BE #1/4"
  - COMBUSTIBLE EXTERIOR WALL COVERINGS AT CORNICES, EAVE OVERHANGS, EXTERIOR BALCONIES AND SIMILAR PROJECTIONS EXTENDING BEYOND THE EXTERIOR WALL SHALL CONFORM TO THE REQUIREMENTS OF FBC R SECTION 705.2
  - EXTERIOR EGRESS BALCONIES, EXIT STAIRWAYS AND RAMPS SHALL COMPLY WITH SECTIONS 1021 AND 1071.2 NOT EXTENDING ANY CLOSER TO THE LINE USED TO DETERMINE THE FIRE SEPARATION DISTANCE AS SHOWN ON TABLE 705.2 OF 2023 FBC R
  - ROOF TOP EQUIPMENT IS REQUIRED TO BE 10'-0" AWAY FROM THE EDGE OF THE BUILDING ROOF OR BE PROTECTED BY GUARDS 42" MINIMUM IN HEIGHT TO COMPLY WITH 2023 FBC R SECTIONS 1009.1.5.2 AND 1013.3
  - THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES (914 mm) MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1 UNIT VERTICAL IN 12 UNIT HORIZONTAL (2.08%). FBC R 311.7.4 -LANDINGS OF SHAPES OTHER THAN SQUARE OR RECTANGULAR SHALL BE PERMITTED PROVIDED THAT THE DEPTH AT THE WALKING AND THE TOTAL AREA IS NOT LESS THAN THAT OF A SQUARE CIRCLE WITH A RADIUS EQUAL TO THE REQUIRED LANDING WIDTH R311.7.5.2.1 Winder treads. Winder treads shall have a tread depth of not less than 10 inches (254 mm) measured between the vertical planes of the foremost projection of adjacent treads at the intersections with the nosing. Winder treads shall have a tread depth of not less than 6 inches (152 mm) at any point within the clear width of the stair. With any right of slope, the broadest winder tread depth at the nosing shall not exceed the smallest winder tread by more than 1/4 inch (6.35 mm).

CODES IN EFFECT:

FLORIDA BUILDING CODE - RESIDENTIAL, 2023  
FLORIDA BUILDING CODE - PLUMBING, 2023  
FLORIDA BUILDING CODE - MECHANICAL, 2023  
FLORIDA BUILDING CODE - FUEL GAS, 2023  
FLORIDA FIRE PREVENTION CODE, 2023 EDITION  
NFPA 101 LIFE SAFETY CODE, 2021 EDITION  
VILLAGE OF BAL HARBOUR, FLORIDA  
BAL HARBOUR VILLAGE ORDINANCE NO. 2023-053  
COMPLIANCE WITH ASCE 24-14

- SITE PLAN NOTES
- ALL AREAS USED FOR PARKING AND MANEUVERING OF VEHICLES INCLUDING ALL ACCESS DRIVEWAYS SHALL BE PAVED WITH A DUSTLESS, ALL WEATHER SURFACE MATERIAL, CAPABLE OF CARRYING A WHEEL LOAD OF 4,000 POUNDS
  - ALL MCH. EQUIP. MUST BE FULLY GROUNDING WITH FENCIBLE WALLS TO AT LEAST THE HEIGHT OF THE EQUIPMENT AND SUPPLEMENTAL LANDSCAPING AS PER B.H.V CODE OF ORD (TYP.)
  - TOP OF POOL BARRIER AT 48" ABOVE GRADE MEASURED ON THE SIDE WHOSE FACES THE SWIMMING POOL. COMPLIANCE WITH FBC R4501.17.1.1 - R4501.17.1.14, 2" WIDE SAFETY ACCESS GATE TO BACKWARD AND POOL.
  - ALL POOL ATTENDANT UTILITIES AND EQUIPMENT SHALL BE LOCATED ABOVE THE DFL AS PER ASCE 24 CHAPTER 7, ASCE SECTION 9.6.
  - AS PER F.B.C. R322.2.2, ENCLOSED AREAS, INCLUDING DRINK SPACES THAT ARE BELOW THE ELEVATION REQUIRED IN SECTION R322.2.1 SHALL:  
1. BE USED SOLELY FOR PARKING OF VEHICLES, BUILDING ACCESS OR STORAGE.  
2. BE PROVIDED WITH FLOOD OPENINGS THAT MEET THE CRITERIA BELOW AND ARE INSTALLED IN ACCORDANCE WITH SECTION R322.2.2.
  - AS PER BAL HARBOUR VILLAGE CODE SECS.5-5 THE MAILBOX SHALL BE PLACED ON THE DWELLING NEAR THE RESIDENCE ENTRY POINT.
  - ALL DEMOLITION REQUIREMENTS AND STANDARDS FOR CONSTRUCTION SITE OPERATION TO BE ADHERED TO AS PER BAL HARBOUR VILLAGE ORDINANCE NO. 2023-053
  - ALL RUNOFF WATER TO BE DRAINED WITHIN THE SITE



FIRST FLOOR PLAN  
SCALE: 1/8" = 1'

**Z.W. JAROSZ ARCHITECT, P.A.**  
3226 MARY STREET, SUITE 500  
COCONUT GROVE, FLORIDA 33133  
305.466.0888 WWW.JAROSZARCH.COM

**BAL CROSS DRIVE**  
271 BAL CROSS DRIVE, BAL HARBOUR, FL 33154  
**FIRST FLOOR PLAN**

LIC: AB022357  
Zbigniew Jarosz  
2023.08.23  
09:00

REVISIONS

NO.	DATE	DESCRIPTION

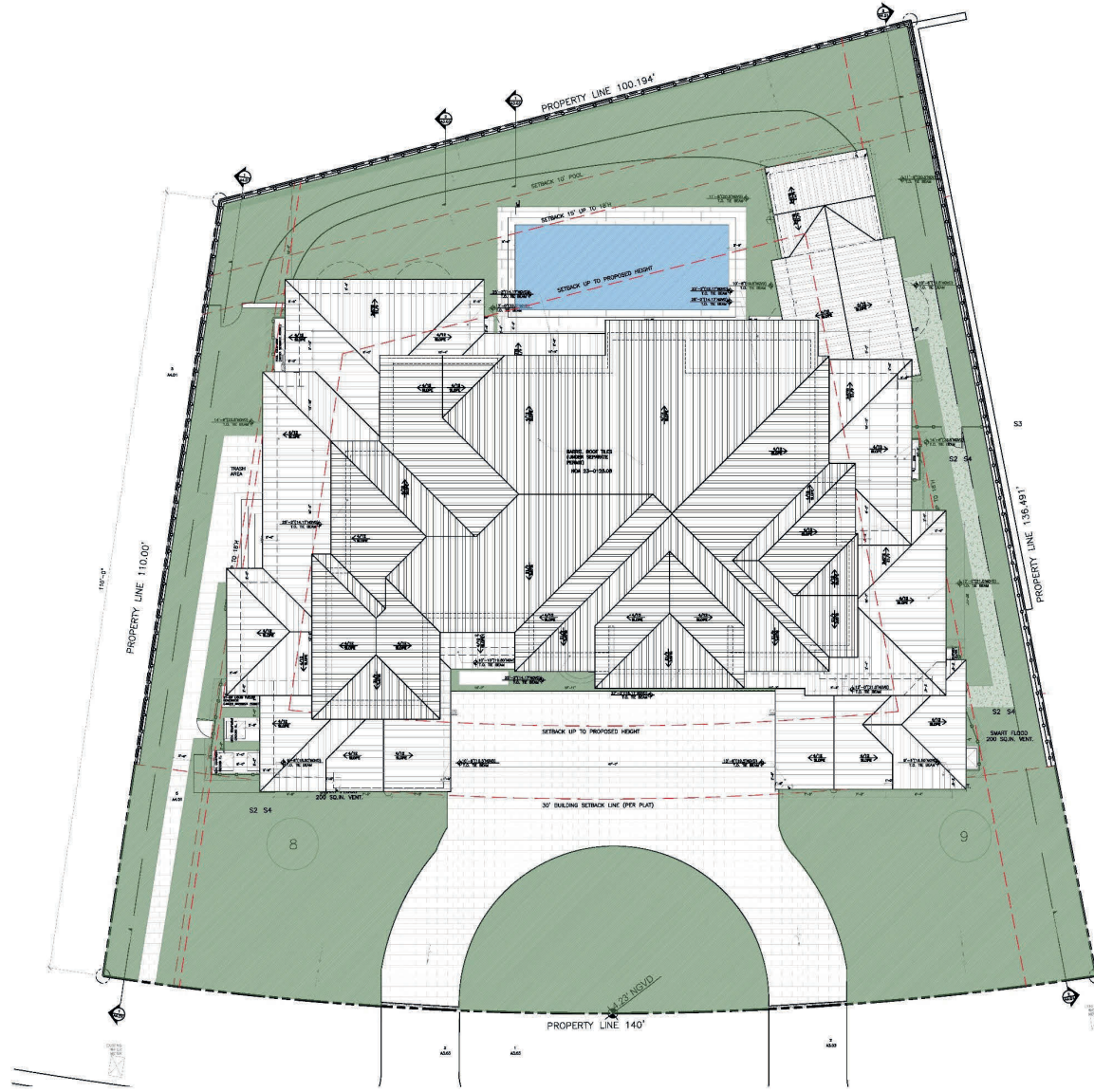
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DATE: 08/23/2023  
DRAWN BY: JC, JR.  
CHECKED BY: Z  
SCALE: AS SHOWN  
SHEET: 1 OF 1

A2.01







ROOF PLAN  
SCALE: 1/8" = 1'

**Z.W. JAROSZ ARCHITECT, P.A.**  
 3326 MARY STREET, SUITE 500  
 COCONUT GROVE, FLORIDA 33133  
 305.446.0888 WWW.JAROSZARCH.COM

PROJECT / SHEET TITLE

**BAL CROSS DRIVE**  
 271 BAL CROSS DRIVE, BAL HARBOUR, FL 33154  
**ROOF PLAN**

LIC: AR8223  
 Digitally signed by Zbigniew Jarosz  
 Date: 2025.09.19 09:30:00 -0400

REVISIONS

REV.	DATE	DESCRIPTION

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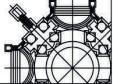
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CHECKED BY	Z
SCALE	AS SHOWN
1/11	



WINDOWS PROPOSED, NOA NUMBERS		DOORS PROPOSED, NOA NUMBERS		PROPOSED ROOF TILE NOA NUMBER		PROPOSED SUMMIT VENT NOA NUMBER	
NOA	DESCRIPTION	NOA	DESCRIPTION	NOA	DESCRIPTION	NOA	DESCRIPTION
23-0714.02	ALUMINUM FIXED WINDOW	23-0714.10	OUTSWING ENTRANCE DOOR	23-0125.06	BARREL TILE ROOF	FL-1002	FL-1002
20-1118.02	FIXED WINDOW WALL SYSTEM	23-0724.13	SINGLE OUTSWING ENTRANCE DOOR				
23-0519.09	SINGLE HUNG WINDOWS	24-0812.15	SLIDING GLASS DOOR				
24-1007.06	ALUMINUM CASEMENT WINDOWS	23-0714.08	OUTSWING FRENCH DOOR				
20-1118.02	FIXED ARCHED WINDOW						



Z.W. JAROSZ ARCHITECT, P.A.



PROJECT / SHEET TITLE

BAL CROSS DRIVE  
271 BAL CROSS DRIVE, BAL HARBOUR, FL 33154  
ELEVATIONS



REVISIONS		
NO.	DATE	DESCRIPTION

DATE: 10/24/2024	
DRAWN BY: BC	SCALE: 1/4" = 1'
CHECKED BY: JZ	DATE: 10/24/2024
DATE: 10/24/2024	DESCRIPTION: ELEVATIONS

A3.01

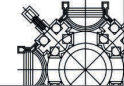




WINDOWS PROPOSED NOA NUMBERS		DOORS PROPOSED NOA NUMBERS		PROPOSED ROOF TILE NOA NUMBER		PROPOSED SHIRT VENT NOA NUMBER	
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23-0717.22	ALUMINUM FIXED WINDOWS	23-0714.10	OUTSWING ENTRANCE DOOR	23-0125.06	BARREL TILE ROOF	FL-1822	SHIRT VENT
20-1118.02	FIXED WINDOW WALL SYSTEM	23-0724.13	SINGLE OUTSWING ENTRANCE DOORS				
23-0519.09	SINGLE HUNG WINDOWS	24-0912.15	SLIDING GLASS DOOR				
24-1007.06	ALUMINUM CASSETT WINDOWS	23-0714.08	OUTSWING TRENCH DOOR				
20-1118.02	FIXED ARCHED WINDOW						



Z.W. JAROSZ ARCHITECT, P.A.  
3128 W. WYCK STREET SUITE 310  
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PROJECT /  
SHEET TITLE

BAL CROSS DRIVE  
271 BAL CROSS DRIVE, BAL HARBOUR, FL 33154  
ELEVATIONS

DATE OF DESIGN  
2025.08.19  
J. Jarosz  
J. Jarosz

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		

BC

DATE

DESIGNED BY

CHECKED BY

SCALE

BY

DATE

SCALE

BY

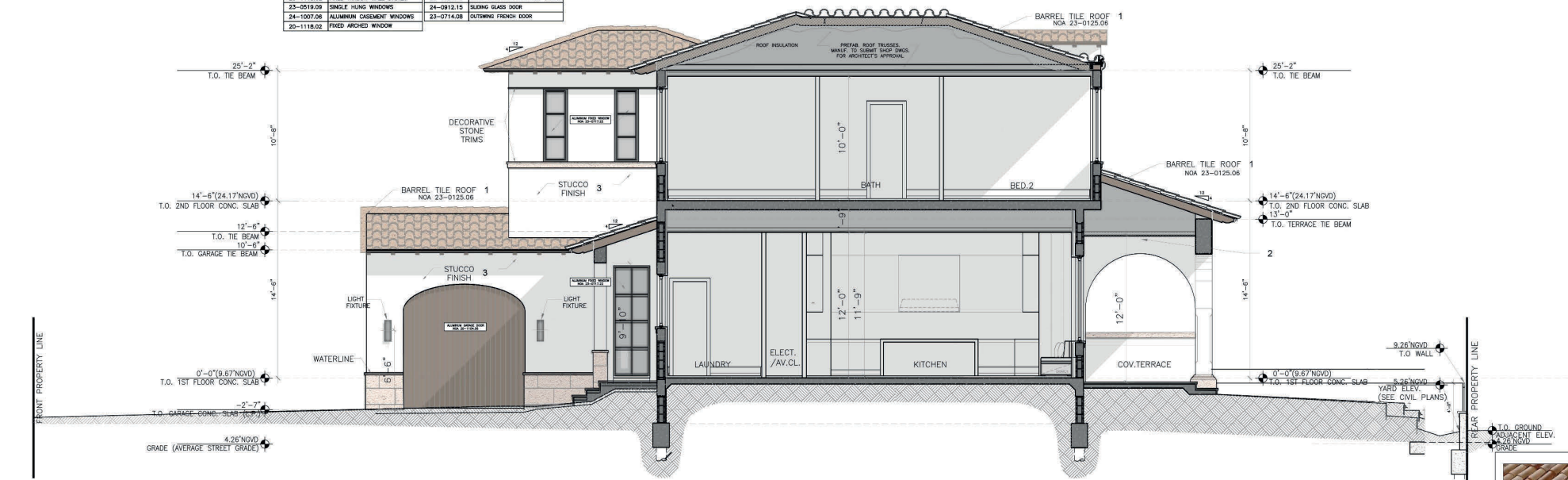
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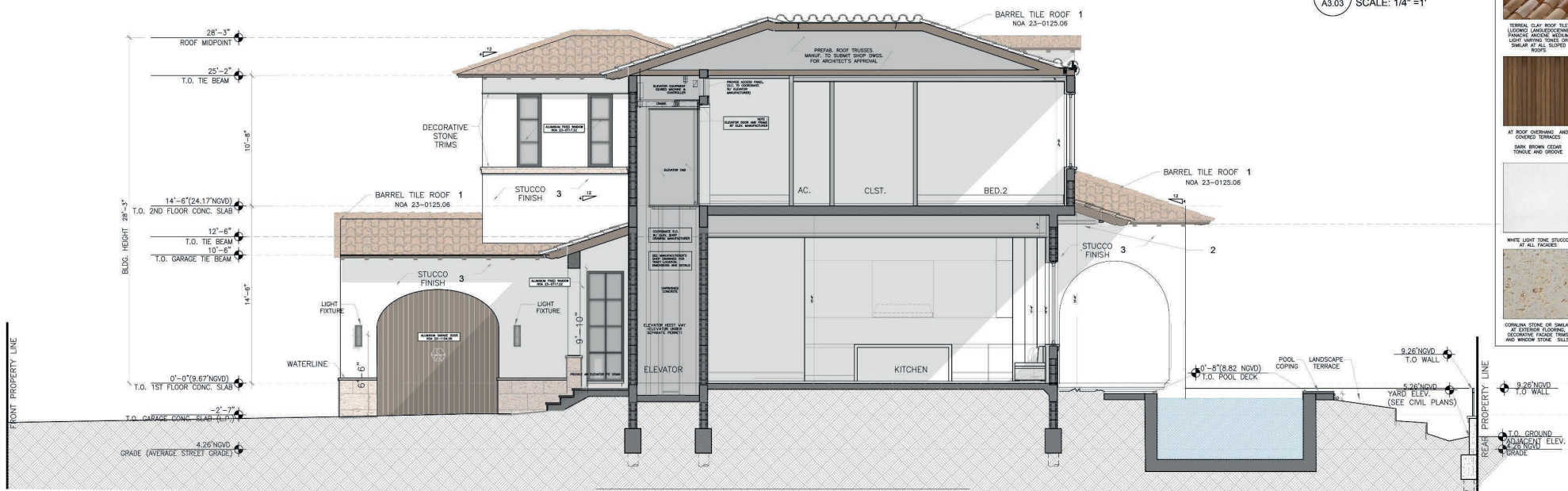
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WINDOWS PROPOSED NOA NUMBERS		DOORS PROPOSED NOA NUMBERS		PROPOSED ROOF TILE NOA NUMBER		PROPOSED SMART VENT NOA NUMBER	
23-0717.02	ALUMINUM FIXED WINDOWS	23-0714.10	OUTSWING ENTRANCE DOOR	23-0125.06	BARREL TILE ROOF	FL-5823	25% MIN. TO MINIMUM TILE
20-1118.03	FIXED WINDOW WALL SYSTEM	23-0724.13	SINGLE OUTSWING ENTRANCE DOORS				
23-0519.09	DOUBLE HUNG WINDOWS	24-0912.15	SLIDING GLASS DOOR				
24-1007.08	ALUMINUM CASEMENT WINDOWS	23-0714.08	OUTSWING FRENCH DOOR				
20-1118.02	FIXED ARCHED WINDOW						



02  
A3.03 SECTION  
SCALE: 1/4" = 1"



01  
A3.03 SECTION  
SCALE: 1/4" = 1"

- 1 TERRAZZO CLAY ROOF TILE  
LOOKING LANDSCAPE  
FACADE TRIMS  
LIGHT BROWN TONES ON  
SHIM AT ALL CORNER  
ROOSTS
- 2 AT ROOF OVERHANG AND  
CORNER TRIMMER  
DARK BROWN CEDAR  
TONGUE AND GROOVE
- 3 WHITE LIGHT TONE STUCCO  
AT ALL PACKAGES
- 4 CORALUM STONE OR SIMILAR  
ON EXTERIOR FLOORING  
DECORATIVE FACADE TRIMS  
AND WINDOW STONE SILLS

Z.W. JAROSZ ARCHITECT, P.A.  
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PROJECT / SHEET TITLE  
BAL CROSS DRIVE  
271 BAL CROSS DRIVE, BAL HARBOUR, FL 33154  
SECTIONS

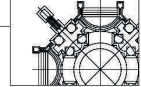
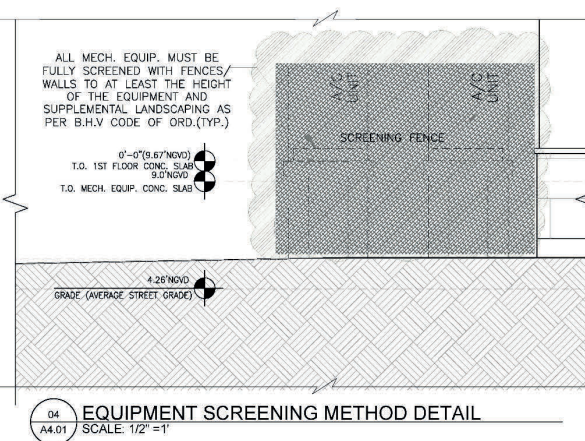
LIC. ARS225 OF 64088  
Zbigniew Jarosz  
Date: 2025-08-19  
By: 03300

REVISIONS  
NO. DATE DESCRIPTION

BC  
DATE: September 10, 2025  
DRAWN BY: S.C. RA  
CHECKED BY: JZ  
SCALE: AS SHOWN

A3.03





**Z.W. JAROSZ ARCHITECT, P.A.**  
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COCONUT GROVE, FLORIDA 33133  
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**BAL CROSS DRIVE**  
271 BAL CROSS DRIVE, BAL HARBOUR, FL 33154  
**SIDE YARDS SECTIONS**



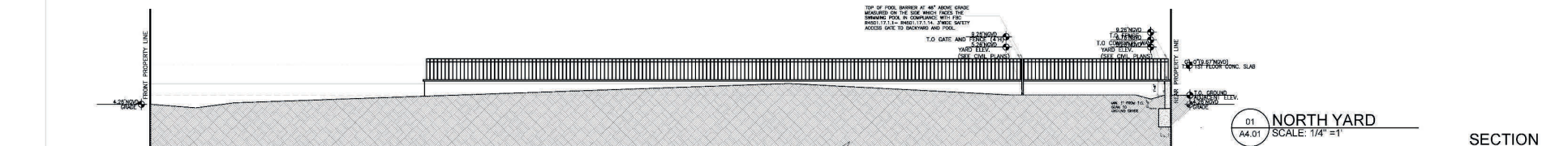
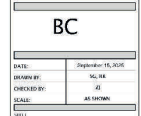
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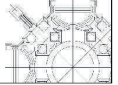


NEW RESIDENCE | 271 BAL CROSS DRIVE, BAL HARBOUR



- L0.00 LANDSCAPE COVER + SHEET INDEX
- L1.00 EXISTING TREE SURVEY + DISPOSITION PLAN
- L1.01 EXISTING TREE CHART, MITIGATION SUMMARY + DETAILS
- L2.00 LANDSCAPE PLAN
- L3.00 PLANT LIST, LANDSCAPE CODE, NOTES + DETAILS
- L4.00 PLANT MATERIAL IMAGES
- L4.01 PLANT MATERIAL IMAGES

3326 MARY STREET SUITE 500  
COCONUT GROVE, FLORIDA 33133  
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**BAL CROSS DRIVE**  
271 BAL CROSS DRIVE, BALL HARBOUR, FL 33154



## REVISIONS

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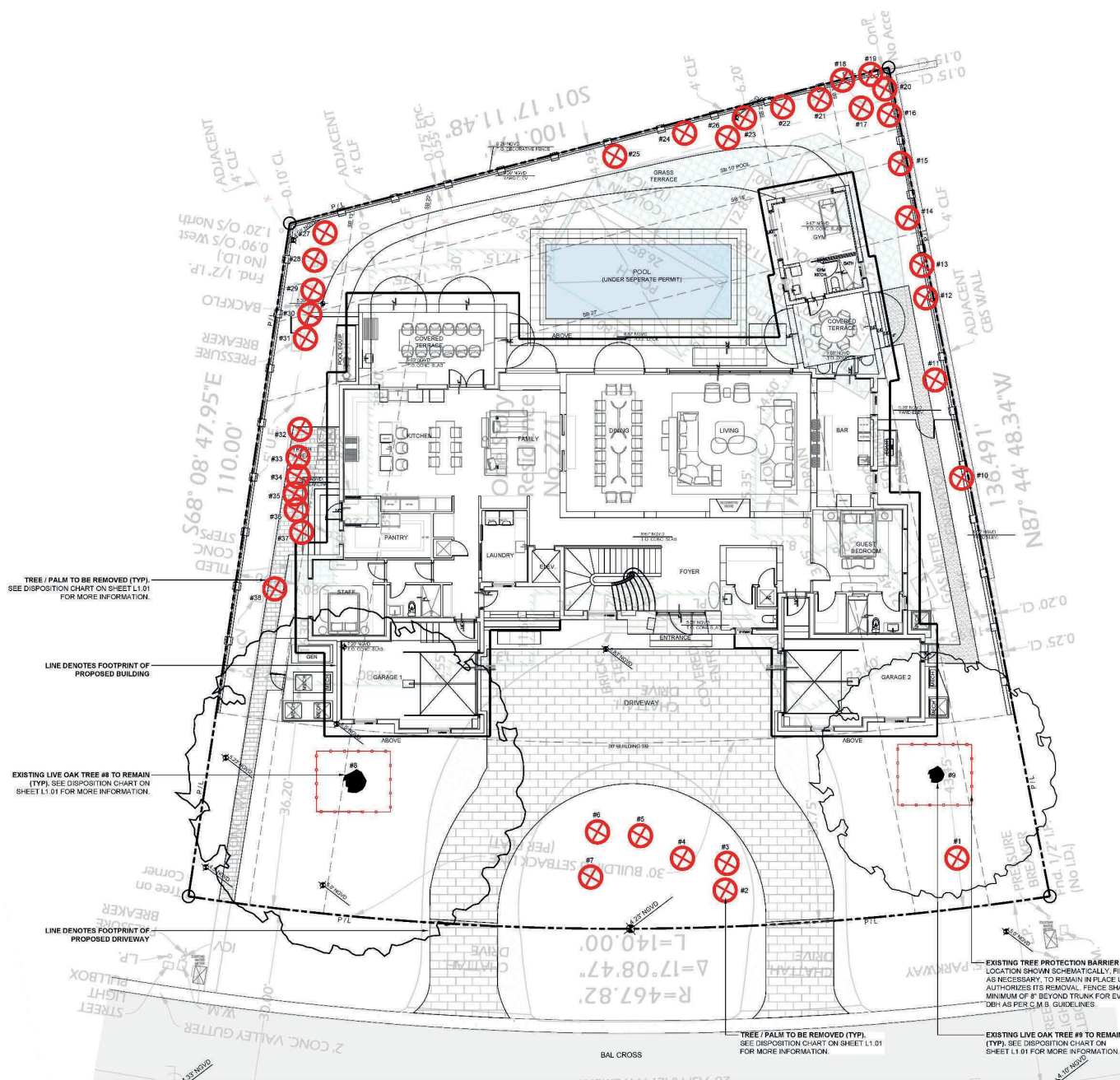
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**CHRISTOPHER  
CAWLEY  
LANDSCAPE  
ARCHITECTURE**  
700 Mt. Airy Drive, Suite 100 Myers, Florida 33156  
Tel: 781.536.2681 Fax: 305.474.1562  
CHRISTOPHERCAWLEY.COM LG 2000-0900





EXISTING TREE INVENTORY + DISPOSITION NOTES

1. THIS EXISTING TREE INVENTORY + DISPOSITION PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE MIAMI-DADE COUNTY ENVIRONMENTAL RESOURCES MANAGEMENT (SECTION 24-60).
2. THE INFORMATION AS PRESENTED HEREIN HAS BEEN FIELD VERIFIED BY THE LANDSCAPE ARCHITECT ON 02.10.25.
3. AN ARBORIST REPORT DATED 11.01.24 HAS BEEN PROVIDED BY CERTIFIED ARBORIST MICHAEL MCCOY #MA-4243A OF NEW LEAF ENVIRONMENTAL LLC. PLEASE REFER TO ATTACHED REPORT FOR MORE INFORMATION.

EXISTING TREE SURVEY LEGEND

- TREE or PALM TO BE REMOVED
- TREE TO REMAIN, PRESERVE + PROTECT
- TREE or PALM PROTECTION FENCE

EXISTING TREE SURVEY + DISPOSITION PLAN



CHRISTOPHER  
CAWLEY  
LANDSCAPE  
ARCHITECTURE

PROJECT /  
SHEET TITLE

BAL CROSS DRIVE  
271 BAL CROSS DRIVE, BALL HARBOR, FL 33154

Digitally signed  
by Christopher  
Cawley  
Date: 2025.09.17  
13:10:47-0400'

CHRISTOPHER CAWLEY, P.E.  
LANDSCAPE ARCHITECT

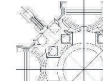
REVISIONS

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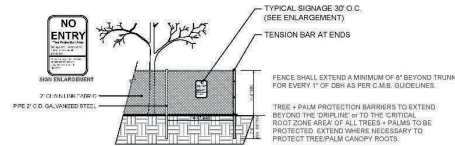
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Z.W. JAROSZ ARCHITECT, P.A.  
2026 MARCY STREET, SUITE 530  
BAL HARBOR, FL 33154  
305.446.0888 WWW.JAROSZARCH.COM



NO ACTIVITY OR DISTURBANCE SHOULD OCCUR WITHIN THE FENCED AREAS, INCLUDING VEHICLE USE, STORAGE OF MATERIALS, DUMPING OF LIQUIDS OR MATERIALS, GRADE CHANGES, GRUBBING, AND MECHANICAL TRENCHING FOR IRRIGATION, ELECTRICAL, LIGHTING, ETC. WITHOUT URBAN FORESTER APPROVAL.



**1 TREE + PALM PROTECTION DETAIL (CHAINLINK FENCE)**  
3/16" = 1'-0" CD-PL-06

NUMBER	COMMON NAME	BOTANICAL NAME	SPECIMEN	D.B.H. (IN)	HEIGHT (FT)	SPREAD (FT)	CODITION	DISPOSITION	CANOPY LOSS (P)	COMMENTS
1	COCONUT PALM	Coccothrin palm	NO	8	28	16	GOOD	REMOVE	100	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
2	COCONUT PALM	Coccothrin palm	NO	14	30	10	GOOD	REMOVE	100	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
3	CHINESE FAN PALM	Livistona chinensis	NO	8.0	28	14	GOOD	REMOVE	114	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
4	CHINESE FAN PALM	Livistona chinensis	NO	7	28	14	GOOD	REMOVE	114	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
5	CHINESE FAN PALM	Livistona chinensis	NO	7.0	32.0	14	GOOD	REMOVE	114	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
6	CHINESE FAN PALM	Livistona chinensis	NO	10.0	32.0	14	GOOD	REMOVE	114	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
7	COCONUT PALM	Coccothrin palm	NO	8	18	10	GOOD	REMOVE	100	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
8	QING QING	Quercus virginiana	YES	36	44	40	FAIR	REMAIN	NA	PRESERVE + PROTECT DURING CONSTRUCTION
9	LIVE OAK	Quercus virginiana	YES	36	42	40	FAIR	REMAIN	NA	PRESERVE + PROTECT DURING CONSTRUCTION
10	MAHOANY	Swietenia mahagoni	NO	22	48	28	FAIR	REMOVE	1124	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
11	MAHOANY	Swietenia mahagoni	YES	28	48	30	GOOD	REMOVE	1237	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
12	MAHOANY PALM	Phytelephas macrocarpa	NO	3	22	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
13	PIGMY DATE PALM	Phoenix rostrata	NO	3	10	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
14	PIGMY DATE PALM	Phoenix rostrata	NO	3	10	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
15	PIGMY DATE PALM	Phoenix rostrata	NO	3.4	12	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
16	PIGMY DATE PALM	Phoenix rostrata	NO	5.0	8	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
17	PIGMY DATE PALM	Phoenix rostrata	NO	3.3	12	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
18	MAGNATREE PALM	Phytelephas macrocarpa	NO	3	20	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
19	MAGNATREE PALM	Phytelephas macrocarpa	NO	3	20	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
20	MAGNATREE PALM	Phytelephas macrocarpa	NO	3	20	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
21	PIGMY DATE PALM	Phoenix rostrata	NO	3	10	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
22	PIGMY DATE PALM	Phoenix rostrata	NO	3.3	8	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
23	PIGMY DATE PALM	Phoenix rostrata	NO	3.3	10	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
24	PIGMY DATE PALM	Phoenix rostrata	NO	3.3	10	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
25	PIGMY DATE PALM	Phoenix rostrata	NO	3	8	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
26	SOUTHERN PALM	Phytelephas virginiana	NO	4	28	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
27	MAGNATREE PALM	Phytelephas macrocarpa	NO	4	20	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
28	MAGNATREE PALM	Phytelephas macrocarpa	NO	4	20	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
29	MAGNATREE PALM	Phytelephas macrocarpa	NO	3	18	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
30	MAGNATREE PALM	Phytelephas macrocarpa	NO	3	18	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
31	SOUTHERN PALM	Phytelephas virginiana	NO	3	20	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
32	SOUTHERN PALM	Phytelephas virginiana	NO	3	28	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
33	SOUTHERN PALM	Phytelephas virginiana	NO	3	20	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
34	SOUTHERN PALM	Phytelephas virginiana	NO	3	20	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
35	SOUTHERN PALM	Phytelephas virginiana	NO	3	18	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
36	SOUTHERN PALM	Phytelephas virginiana	NO	3	18	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
37	SOUTHERN PALM	Phytelephas virginiana	NO	3	28	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.
38	SOUTHERN PALM	Phytelephas virginiana	NO	CLUSTER	DELTA	8	GOOD	REMOVE	50	IN CONFLICT WITH SITE DESIGN, MITIGATION PROVIDED.

## CANOPY MITIGATION SUMMARY

MIAMI DADE COUNTY ENVIRONMENTAL RESOURCES MANAGEMENT (SECTION 24-60)

TREES		
REMOVED (SF OF CANOPY)	REQUIRED (SF OF CANOPY)	CANOPY MITIGATION SUMMARY
4,967 SF	4,967 SF	<p><b>5,200 SF CANOPY PROVIDED</b></p> <p><b>BREAKDOWN:</b></p> <p>(2) NATIVE JUMBO LIMBO TREES (CATEGORY 1 TREE @ 500 SF EACH) = 1,000 SF</p> <p>(8) BRIDAL VEIL TREES (CATEGORY 1 TREE @ 500 SF EACH) = 3,000 SF</p> <p>(1) JAPANESE PRIVET TREES (CATEGORY 1 TREE @ 500 SF EACH) = 500 SF</p> <p>(2) ALEXANDER PALMS (CATEGORY 1 PALM @ 300 SF EACH) = 600 SF</p> <p>(1) SILVER PALMS (CATEGORY 2 PALM @ 100 SF EACH) = 100 SF</p>



**Z.W. JAROSZ ARCHITECT, P.A.**

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 COCONUT GROVE, FLORIDA 33133  
 305.446.0888 WWW.JAROSZARCH.COM

PROJECT /  
SHEET TITLE

BAL CROSS DRIVE

2771 BAL CROSS DRIVE, BALL HARBOUR, FL 33154

Digitally signed by Christopher  
Cawley  
Date: 2025.09.17  
13:10:50-0400'

CHRISTOPHER GALEY, RLA  
P.O. BOX 146546 LA 90014-0546

## REVISIONS

[illegible]

BYRONIC DESIGNER WILLIAM W. BROWN, FOUNDER OF THE FIRM OF BROWN AND CALDWELL, HAS BEEN AWARDED AN ACADEMIC ACHIEVEMENT AWARD FOR HIS CONTRIBUTION TO THE FIELD OF ARCHITECTURE. THE AWARD WAS PRESENTED TO HIM BY THE UNIVERSITY OF CALIFORNIA, BERKELEY, DURING A RECENT VISIT TO THE UNIVERSITY. BROWN HAS BEEN A MEMBER OF THE UNIVERSITY'S BOARD OF TRUSTEES SINCE 1965 AND HAS BEEN A MEMBER OF THE UNIVERSITY'S BOARD OF REGENTS SINCE 1975. HE HAS ALSO BEEN A MEMBER OF THE UNIVERSITY'S BOARD OF CHAIRMAN SINCE 1985. BROWN HAS BEEN A MEMBER OF THE UNIVERSITY'S BOARD OF CHAIRMAN SINCE 1985. HE HAS ALSO BEEN A MEMBER OF THE UNIVERSITY'S BOARD OF CHAIRMAN SINCE 1985.

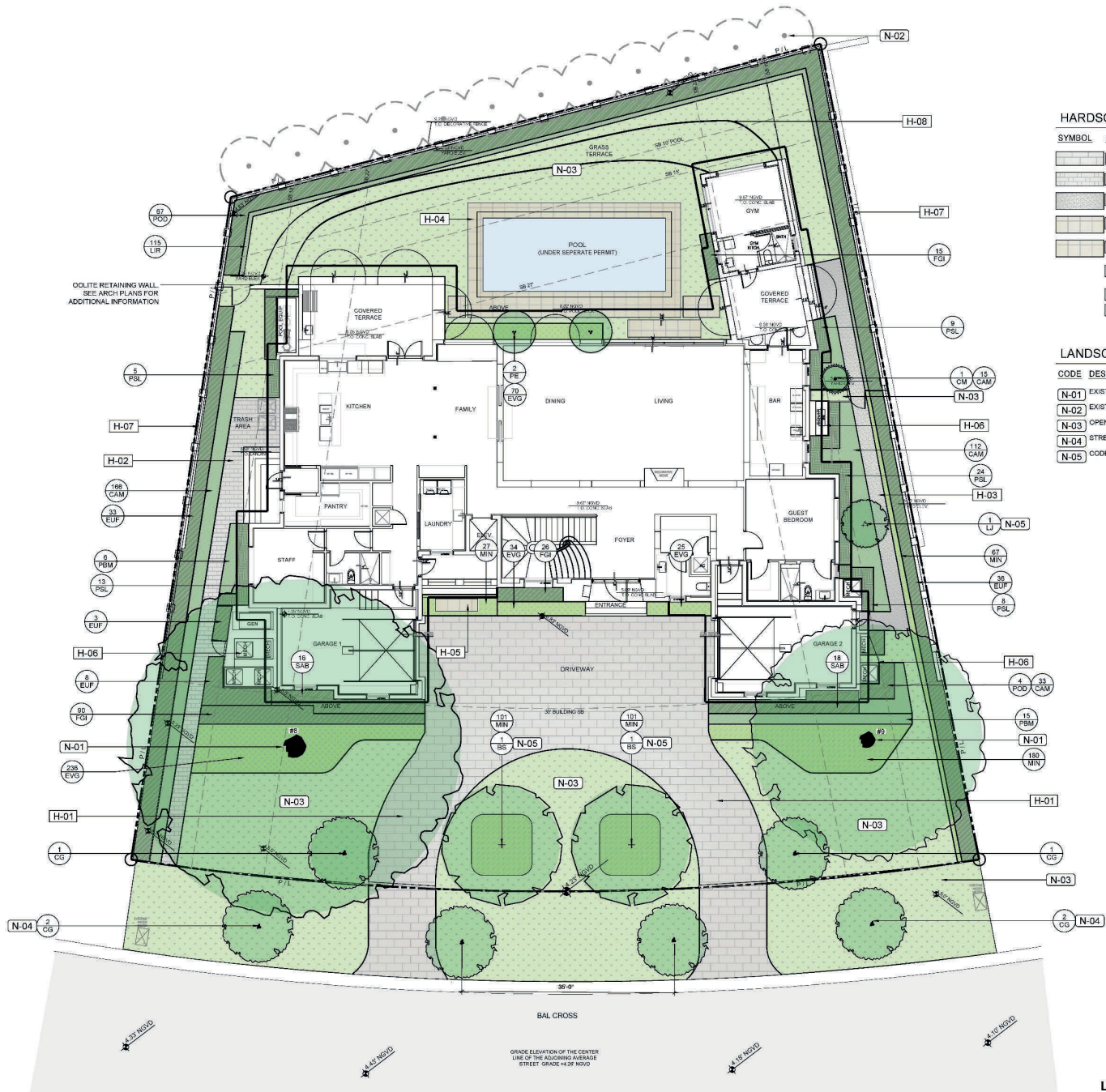
BC

DATE:	17_12_2024
DRAWN BY:	SC
CHECKED BY:	SL, JI
CALL:	AS SHOWN

L1.01

**CHRISTOPHER  
CAWLEY  
LANDSCAPE  
ARCHITECTURE**  
700 N. 60th Street, Suite 100 Minneapolis, Florida 55156

## EXISTING TREE CHART, MITIGATION SUMMARY + DETAILS



HARDSCAPE LEGEND

SYMBOL	CODE	DESCRIPTION	QTY
	H-01	PERVIOUS AUTOCOURT PAV. SIZE + COLOR TBD.	1,944 SF
	H-02	PERVIOUS SERVICE PATH. SIZE + COLOR TBD.	249 SF
	H-03	3/8" GREY DECOMPOSED GRANITE AGGREGATE OVER FILTER FABRIC	180 SF
	H-04	POOL DECK PAVERS ON CONCRETE SLAB. MATERIAL TO MATCH INTERIOR FLOOR. NON-SLIP FINISH.	343 SF
	H-05	ENTRY PAVERS ON CONCRETE SLAB. MATERIAL TO MATCH INTERIOR FLOOR.	14 SF
	H-06	EQUIPMENT ON CONCRETE SLAB. REFER TO ARCH PLANS FOR ADDITIONAL INFORMATION.	
	H-07	RETAINING WALL WITH DECORATIVE FENCE	
	H-08	TERRACED LAWN STEPS. REFER TO ARCH PLANS FOR ADDITIONAL INFORMATION	

LANDSCAPE NOTES LEGEND

CODE	DESCRIPTION
N-01	EXISTING OAK TREE TO REMAIN
N-02	EXISTING NEIGHBORING CALOPHYLLUM TREE HEDGE
N-03	OPEN LAWN AREA (TYP)
N-04	STREET TREE
N-05	CODE TREE

Z.W. JAROSZ ARCHITECT, P.A.

305.466.0888 WWW.JAROSZARCH.COM

BAL CROSS DRIVE  
271 BAL CROSS DRIVE, BALL HARBOR, FL 33154

Digitally signed  
by Christopher  
Cawley  
Date: 2025.09.17  
13:10:54 -0400

CHRISTOPHER CAWLEY, P.A.  
FARMER, L. JAMES L. JAMES, JR.

REVISIONS

NO.	DATE	DESCRIPTION

BC

DATE:	07.03.25
DRAWN BY:	BC
CHECKED BY:	BC
SCALE:	AS SHOWN

L2.00

CHRISTOPHER  
CAWLEY  
LANDSCAPE  
ARCHITECTURE





**Notes:**

\*\*\* Required Shade tree at time of planting must be a min of 12 ft in overall height, min 4' dia. of clear wood before branching and have min. 2 1/2" trunk caliper. Palm Trees (16" has a 3" caliper) can be substituted at a 3:1 ratio (except approved larger palm species at 1:1 @ 15' min; at max. 30% of the required trees).

\*\*\* Miami-Dade County Right-of-Way Code Sec. 18B  
Street Tree Size = 12" min. height/5' min. clear wood/2 1/2" min. trunk caliper

\*\*\* Required Shade tree at time of planting must be a min. of 16 inches in overall height, spaced max. 24 inches on center. If used as a visual screen must be a minimum of 30 inches in overall height.

\*\*\* Miami-Dade County Landscape Code Sec. 18A-5(A)(3): 60% of plant material must be listed in either M/D Landscape Manual / M/D Street Tree Master Plan / U/F Florida Low-Maintenance Landscape Plants for South Florida.

## PLANT SPECIFICATION NOTES

- LANDSCAPE CONTRACTOR TO PROVIDE IMAGES OF ALL MAJOR PLANT MATERIAL TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL BEFORE PURCHASE + INSTALLATION.
- LANDSCAPE CONTRACTOR TO MEET WITH LANDSCAPE ARCHITECT AND OWNER ON SITE TO REVIEW THE PROPOSED DESIGN PRIOR TO SUBMITTING A BID FOR THE PROJECT.
- LANDSCAPE CONTRACTOR TO PROVIDE AN ADDITIONAL ALLOWANCE OF \$15,000 DOLLARS FOR POTTED PLANTS + MISCELLANEOUS VEGETATION TO BE SELECTED DURING THE INSTALLATION OF THE PROJECT
- ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER.
- ALL PROVIDED PLANT SPECIFICATIONS ARE THE MINIMUM REQUIRED.
- THE PLANT LIST IS INTENDED ONLY AS AN AID TO BIDDING. ANY DISCREPANCIES FOUND BETWEEN THE QUANTITIES ON THE PLAN AND PLANT LIST, THE QUANTITIES ON THE PLAN SHALL BE HELD AS FINAL.

**CHRISTOPHER  
CAWLEY  
LANDSCAPE  
ARCHITECTURE**  
700 NE 69th Street, Suite 100 Miami, Florida 33155  
O: 786.536.2641 F: 305.679.1560  
CHRISTOPHERCAWLEY.COM LC 20090099

3326 MARY STREET SUITE 500  
COCONUT GROVE, FLORIDA 33133  
305.446.0888 WWW.JAROSZARCH.COM

Digitally signed  
by Christopher  
Cawley  
Date:  
2025.09.17  
13:10:57-0400

CHRISTOPHER CHALEY, RIA

## REVISIONS

[illegible]

CONTRACTS WITH ALL RIGHTS RESERVED. THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE COMPANY. NO PART OF THIS PUBLICATION MAY BE REPRODUCED OR TRANSMITED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM THE COMPANY. ALL RIGHTS RESERVED.

BC

DATE:	07.03.25
DRAWN BY:	SG
CHECKED BY:	SK, J
SCALE:	AS SHOWN

L3.00







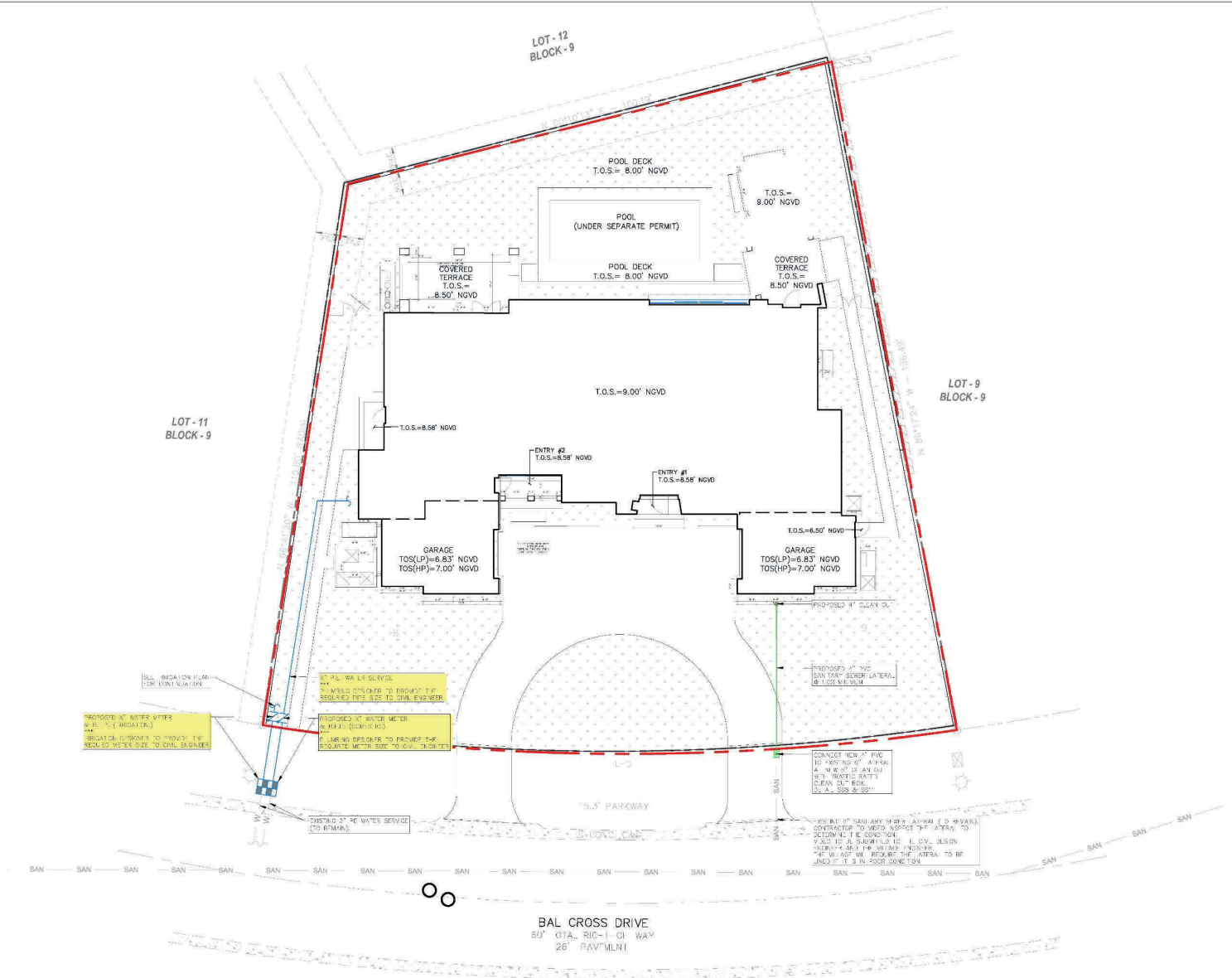












LEGEND	
	PROPERTY LINE
	EXISTING SUBMID
	EXISTING OVERHEAD LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED WATER & SEWER
	PROPOSED WATER METER
	PROPOSED SANITARY METER
	PROPOSED SANITARY METER

- NOTES:
1. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN ARE APPROXIMATE LOCATIONS AND HAVE BEEN PREPARED FOR THE MOST PART BY THE OWNER AND ARE NOT TO BE USED FOR ANY OTHER PURPOSES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  2. CONTRACTOR SHALL VERIFY ANY WORK IS IN THE RIGHT LOCATION AND DEPTH PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY THE OWNER OF ANY CONFLICTS BEFORE PROCEEDING WITH ANY CONSTRUCTION OF THE PROJECT.
  3. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING STRUCTURES AND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWNERS RISK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MIAMI BEACH.
  4. CONTRACTOR IS TO RESTORE ANY CURB, LANDSCAPE, AND/OR FENCE TO ORIGINAL CONDITION. ANY DAMAGE TO EXISTING CURB, LANDSCAPE, AND/OR FENCE DUE TO CONSTRUCTION TO A CONDITION EQUAL TO WHAT IS EXISTING.

DATE	6/26/25		
DESIGNED BY	201		
DATE	6/26/25		
DRAWN BY	201		
DATE	6/26/25		
CHECKED BY	201		
DATE	6/26/25		
APPROVED BY	201		
DATE	6/26/25		

PRIVATE RESIDENCE  
271 BAL CROSS DRIVE  
BAL HARBOUR PLACE



3325 S. UNIVERSITY DRIVE, SUITE 111  
JAYL, FLORIDA 33225  
(854) 318-0824 (854) 358-0180 FAX  
P.O. BOX 10000, MIAMI, FL 33101



Date: 6/26/2025

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY ROBERT J. RIOS, P.E. ON THE DATE AGUMENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPY.

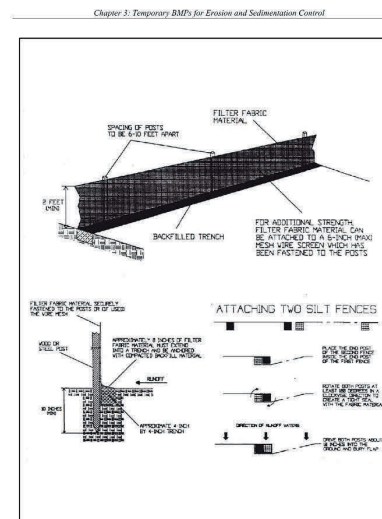
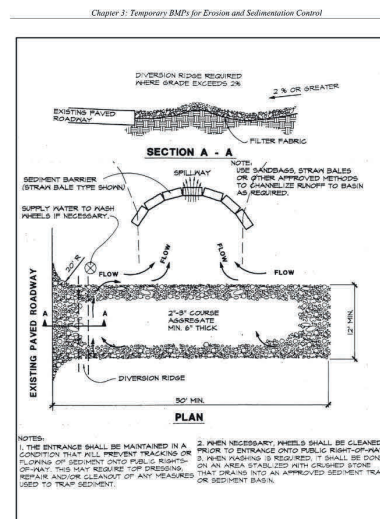
WATER AND SANITARY SEWER PLAN

SCALE: 1" = 10'

SHEET No. 1 of 1





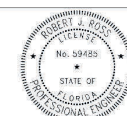


RT	9/18/75		
3L32NLS 2"	201.		
RF	9/16/75		
3656A. 37"	201.		
N <sub>2</sub>	9/16/75		
21ECLD 37"	201.		
RF	9/18/75		
M*RCVDF 36"	201.	Mo. DWF	RVSERS

**PRIVATE RESIDENCE**  
271 BAL CROSS DRIVE  
BAL HARBOUR VILLAGE



3528 S. JAVELIN TRAIL, SUITE "T"  
JAVELIN, FLORIDA 33528  
(954) 378-0824 (954) 358-0190 FAX  
CHRIE CA - CHAL - CHAZA ID# No. 9808



Robert J. Ross  
Date 9/18/2025

Digitally signed by Robert J. Ross  
DN: cn=ROBERT J. ROSS, o=EMERSON ELECTRIC HOLDING INC.,  
c=US, email=ROBERT.J.ROSS@EMERSON.COM, ou=EMERSON  
EMERSON ELECTRIC HOLDING INC.  
Reason: I am approving this doc. next with my  
legal y binding signature  
Location: Miami FL  
Date: 2009.09.16 12:00:30  
File: PhotonPDF Version: 0.7.5

# POLLUTION PREVENTION CONTROL PLAN

## LEGEND

### ABBREVIATIONS:

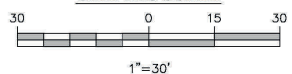
A = ARC DISTANCE  
AC = AIR CONDITIONER PAD  
BCR = BROWARD COUNTY RECORDS  
BLDG = BUILDING  
BM = BENCH MARK  
BOB = BASIS OF BEARINGS  
CBS = CONCRETE BLOCK & STUCCO  
(C) = CALCULATED  
C&G = CURB & GUTTER  
CLF = CHAIN LINK FENCE  
COL = COLUMN  
D.E. = DRAINAGE EASEMENT  
D.M.E. = DRAINAGE & MAINTENANCE EASEMENT  
D/W = DRIVEWAY  
EB = ELECTRIC BOX  
ENC. = ENCROACHMENT  
EP = EDGE OF PAVEMENT  
EW = EDGE OF WATER  
FDH = FOUND DRILL HOLE  
FFE = FINISHED FLOOR ELEVATION  
FIP = FOUND IRON PIPE (NO ID)  
FIR = FOUND IRON ROD (NO ID)  
FN = FOUND NAIL (NO ID)  
FPL = FLORIDA POWER & LIGHT TRANSFORMER PAD  
L.E. = LANDSCAPE EASEMENT  
L.M.E. = LAKE MAINTENANCE EASEMENT  
(M) = MEASURED  
MDCR = MIAMI-DADE COUNTY RECORDS  
MH = MAN HOLE  
ML = MONUMENT LINE  
(P) = PLAT  
PB = PLAT BOOK  
PC = POINT OF CURVATURE  
PCP = PERMANENT CONTROL POINT  
PE = POOL EQUIPMENT PAD  
PG = PAGE  
PI = POINT OF INTERSECTION  
PL = PLANTER  
POB = POINT OF BEGINNING  
POC = POINT OF COMMENCEMENT  
PRC = POINT OF REVERSE CURVATURE  
PRM = PERMANENT REFERENCE MONUMENT  
PT = POINT OF TANGENCY  
R = RADIUS DISTANCE  
(R) = RECORD  
R/W = RIGHT-OF-WAY  
RES = RESIDENCE  
SIP = SIP LB#8023  
SND = SET NAIL & DISK LB#8023  
STL = SURVEY TIE LINE  
SWK = SIDEWALK  
(TYP) = TYPICAL  
UB = UTILITY BOX  
U.E. = UTILITY EASEMENT  
W/F = WOOD FENCE

### SYMBOLS:

[T] = TELEPHONE RISER  
[C] = CABLE TV RISER  
[W] = WATER METER  
X 0.00 = ELEVATION  
(00') = ORIGINAL LOT DISTANCE  
Δ = CENTRAL ANGLE  
C = CENTER LINE  
W = WATER VALVE  
C = CURB INLET  
H = FIRE HYDRANT  
L = LIGHT POLE  
C = CATCH BASIN  
U = UTILITY POLE  
D = DRAINAGE MANHOLE  
S = SEWER MANHOLE  
M = METAL FENCE  
W = WOOD FENCE  
C = CHAIN LINK FENCE  
E = EASEMENT  
B = BOUNDARY LINE  
O = OVERHEAD UTILITY LINE  
O = ORIGINAL LOT LINE



### GRAPHIC SCALE



1"=30'

### CURVE DETAILS:

C-1  
R = 467.82'  
AL = 140'  
CL = 139.48'  
CB = N 14°44'17" E  
Δ = 17°08'47"

### TREE TABLE:

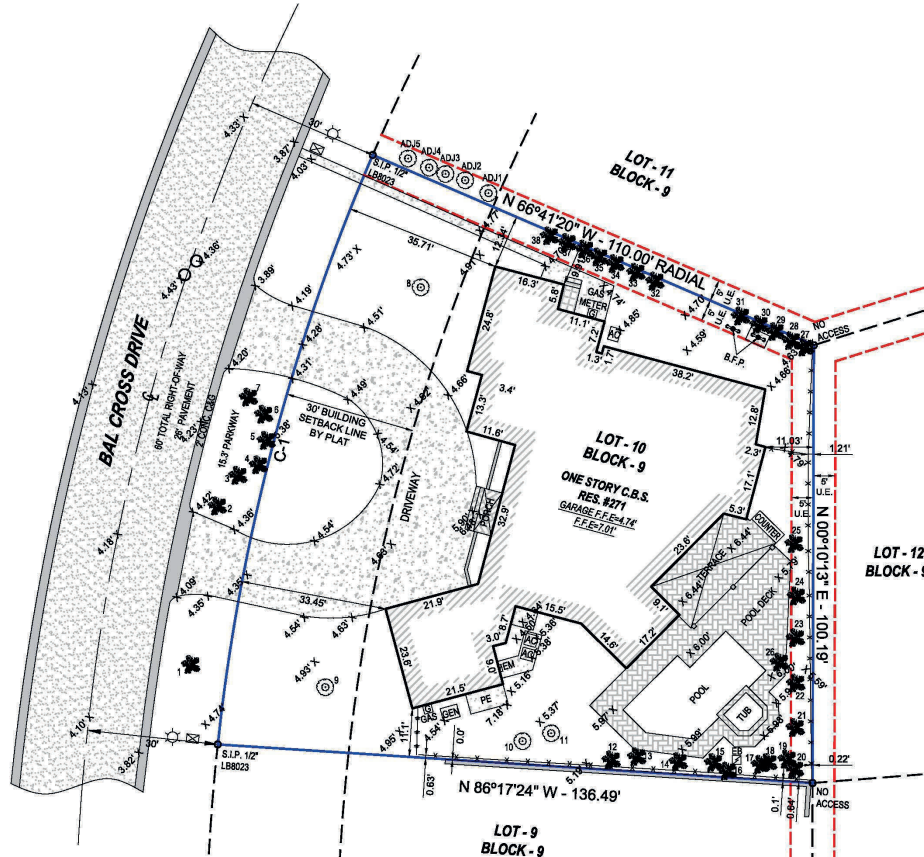
Tree #	Common Name	Scientific Name	DBH (inches)	Condition	Number of stems	Height (feet)	Spread (feet)
1	coconut palm	Cocos nucifera	9	Good	1	28	16
2	coconut palm	Cocos nucifera	14	Good	1	50	16
3	Chinese fan palm	Livistona chinensis	9.8	Good	1	26	14
4	Chinese fan palm	Livistona chinensis	7	Good	1	26	14
5	Chinese fan palm	Livistona chinensis	7.10	Good	1	28.20	14
6	Chinese fan palm	Livistona chinensis	10.9	Good	1	26.28	14
7	coconut palm	Cocos nucifera	9	Good	1	50	16
8	live oak	Quercus virginiana	34	Good	1	50	55
9	live oak	Quercus virginiana	25	Fair	1	42	40
10	mahogany	Swietenia mahogany	22	Fair	1	48	38
11	mahogany	Swietenia mahogany	28	Good	1	48	40
12	Macarthur palm	Pythosperma macarthuri	3	Good	1	22	8
13	pygmy date palm	Phoenix roebelinii	3	Good	1	10	8
14	pygmy date palm	Phoenix roebelinii	3	Good	1	10	8
15	pygmy date palm	Phoenix roebelinii	3.4	Good	1	12	8
16	pygmy date palm	Phoenix roebelinii	3.3	Good	1	10	8
17	pygmy date palm	Phoenix roebelinii	3.3	Good	1	12	8
18	Macarthur palm	Pythosperma macarthuri	3	Good	1	20	8
19	Macarthur palm	Pythosperma macarthuri	3	Good	1	20	8
20	Macarthur palm	Pythosperma macarthuri	3	Good	1	20	8
21	pygmy date palm	Phoenix roebelinii	3	Good	1	10	8
22	pygmy date palm	Phoenix roebelinii	3.3	Good	1	8	8
23	pygmy date palm	Phoenix roebelinii	3.3	Good	1	10	8
24	pygmy date palm	Phoenix roebelinii	3.3	Good	1	10	8
25	pygmy date palm	Phoenix roebelinii	3	Good	1	8	8
26	solitaire palm	Pythosperma elegans	4	Good	1	26	8
27	Macarthur palm	Pythosperma macarthuri	4	Good	1	20	8
28	Macarthur palm	Pythosperma macarthuri	4	Good	1	20	8
29	Macarthur palm	Pythosperma macarthuri	3	Good	1	18	8
30	Macarthur palm	Pythosperma macarthuri	3	Good	1	18	8
31	Macarthur palm	Pythosperma macarthuri	3	Good	1	18	8
32	solitaire palm	Pythosperma elegans	3	Good	1	20	8
33	solitaire palm	Pythosperma elegans	3	Good	1	28	8
34	solitaire palm	Pythosperma elegans	3	Good	1	20	8
35	solitaire palm	Pythosperma elegans	3	Good	1	16	8
36	solitaire palm	Pythosperma elegans	3	Good	1	16	8
37	solitaire palm	Pythosperma elegans	3	Good	1	26	8
38	solitaire palm	Pythosperma elegans	cluster	Good	1	26.16	8
AD11	Mamey sapote	Platanus sapota	8	Good	1	20	25
AD12	gumbo limbo	Bursaria sinaruba	8	Good	1	24	20
AD13	gumbo limbo	Bursaria sinaruba	8	Good	1	24	20
AD14	gumbo limbo	Bursaria sinaruba	7	Good	1	25	20
AD15	gumbo limbo	Bursaria sinaruba	8	Good	1	24	20

TREE DETAILS PROVIDED BY: NEW LEAF ENVIRONMENTAL, LLC

### BENCHMARK UTILIZED:

NAME: Z-313  
ELEV(NGVD29): 9.59  
LOCATION1: 96 ST --- 215' NORTH OF NORTH EDGE OF PAVEMENT  
LOCATION2: HWY A-1-A (COLLINS AVE) --- 81' SW OF SW CURB  
LOCATION3: HARDING AVE --- 42' EAST OF EAST CURB  
DESCRIPTION1: US C & G BRASS DISC IN NE CORNER OF SEWER PUMPING STATION.

# MAP OF BOUNDARY, TOPOGRAPHIC & TREE SURVEY



LOT AREA=14,897 SQ. FT.

Nicolas Del Vento

Digitally signed by Nicolas Del Vento  
Date: 2025.01.09 12:16:34 -05'00'

NICOLAS DEL VENTO  
PROFESSIONAL SURVEYOR & MAPPER  
STATE OF FLORIDA LIC. # 6945

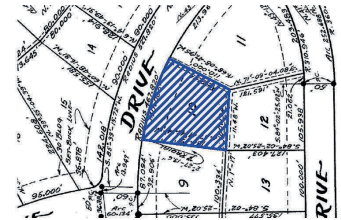
CERTIFICATE OF AUTHORIZATION # LB-8023

## Survey Pros, Inc.

4348 SW 74TH AVENUE, MIAMI, FL. 33155  
Tel: 305.767.8802  
www.survey-pros.com

### LOCATION SKETCH:

NOT TO SCALE



### PROPERTY ADDRESS:

271 BAL CROSS DRIVE, BAL HARBOUR, FL. 33154

### LEGAL DESCRIPTION:

LOT 10, BLOCK 9, BAL HARBOUR RESIDENTIAL SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 44, PAGE 98, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

### FLOOD ZONE INFORMATION:

THE GRAPHICALLY DEPICTED BUILDING(S) SHOWN ON THIS MAP OF SURVEY IS WITHIN ZONE AE BASE FLOOD ELEVATION 8. COMMUNITY NAME & NUMBER TOWN OF BAL HARBOUR VILLAGE 120636. MAP & PANEL NUMBER 12086C0144 SUFFIX L.

### SURVEYOR'S NOTES:

- ELEVATIONS WHEN SHOWN REFER TO 1929 NATIONAL GEODETIC VERTICAL DATUM (NGVD 1929).
- NO ATTEMPT WAS MADE TO LOCATE FOOTINGS/FOUNDATIONS, OR UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
- THE LANDS SHOWN HEREON HAVE NOT BEEN ABSTRACTED IN REGARDS TO MATTERS OF INTEREST BY OTHER PARTIES, SUCH AS EASEMENTS, RIGHTS OF WAYS, RESERVATIONS, ETC. ONLY PLATTED EASEMENTS ARE SHOWN.
- THIS SURVEY WAS PREPARED FOR AND CERTIFIED TO THE PARTY(IES) INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE WITHOUT WRITTEN CONSENT OF THIS FIRM.
- ALL BOUNDARY LIMIT INDICATORS SET ARE STAMPED LB#8023.
- THE BOUNDARY LIMIT INDICATORS ESTABLISHED ON THIS SURVEY ARE BASED ON THE LEGAL DESCRIPTION PROVIDED BY THE CLIENT OR ITS REPRESENTATIVE.
- FENCE OWNERSHIP IS NOT DETERMINED. DIMENSIONS ARE TO THE INTERIOR PORTION OF THE FENCE.
- ADDITIONS OR DELETIONS TO THIS SURVEY MAP AND/OR REPORT BY SOMEONE OTHER THAN THE SIGNING PARTY(IES) IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY(IES).
- THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. OTHERWISE THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY.

### SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY DIRECTION AND MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA STATE BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTE.

### CERTIFIED TO:

KATIE TAYLOR CHAPLIN

DATE OF ORIGINAL FIELD WORK:  
10/22/2024

JOB NUMBER: 241011685

DRAWN BY: ADRIEL

CAD FILE: CHAPLIN

SHEET 1 OF 1

REVISION(S):





# BAL HARBOUR

- V I L L A G E -

The undersigned Agent/Owner request(s) Architectural Review Board review of the following application(s):

☒ New Building (\$2,500.00)    ☐ Alteration/ Additions (\$1,000.00)    ☐ Revision (\$250.00)

## PROJECT INFORMATION

Street Address of the Subject Property: 271 Bal Cross Drive Bal Harbour, FL 33154-1318

Property/Project Name: New 2 Story Single Residence

Legal description: Lot(s) 10

Block(s) 9 Section(s) Bal Harbour Residential Section

Folio No. 12-2226-002-1680

Owner(s): Katie Taylor Chaplin

Mailing Address: 271 Bal Cross Dr. Bal Harbour, FL 33154

Telephone: (305) 725-3772 Fax

Other Email katielaylorchaplin@gmail.com

Architect(s)/Engineer(s): Zbigniew. W. Jarosz Architect, P.A.

Architect(s)/Engineer(s) Mailing Address: 3326 Mary Street, 5<sup>th</sup> Floor. Coconut Grove, FL 33133

Telephone: Business 30544600888 Fax 3054471177

Other Email zwjarosz@jaroszarch.com

## PROJECT INFORMATION

Project Description(s): NEW 2 STORY SINGLE RESIDENCE

Estimated project cost\*: 6,744 SQ.FT AC x \$600/SF + 786 SF ENCLOSED GARAGES x \$100+ 780 SQ.FT NON AC X \$50+ = \$4,046,400 + \$78,600 + \$39,000 = \$4,164,000

(\*Estimated cost shall be +/- 10% of actual cost)

Date(s) of Previous Submittal(s) and Action(s):

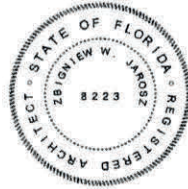
AUGUST, 18, 2025



**NOTE: BOTH SIGNATURES OR AFFIRMATION/CONSENT ARE REQUIRED**

Owner / Representative Printed Name: Katie Taylor Chaplin			Architect(s)/Engineer(s) Print Name: Zbigniew.W. Jarosz Architect, P.A.		
Owner / Representative Signature: <i>Katie T. Chaplin</i>			Architect(s)/Engineer(s) Signature: <i>Zbigniew W. Jarosz</i>		
Address: 271 BAL CROSS DR. BAL HARBOUR, FL 33154			Address: 3326 Mary Street, 5th Floor. Coconut Grove, FL 33133		
Telephone: (305)725-3772	Fax:	Email: katietailorchaplin@gmail.com	Telephone: 30544600888	Fax:	Email: zwjarosz@jaroszarch.com

Architect/Engineer Seal:



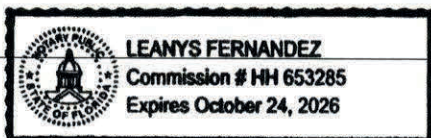
**NOTARIZATION**

STATE OF FLORIDA  
COUNTY OF MIAMI-DADE

Sworn to or affirm and subscribed before me  
this 2nd day of JULY, in the year 2025  
by Katie T. Chaplin who has taken an  
oath and is personally known to me or has produced  
as identification.

My Commission Expires: 10/24/26

Notary Public



**NOTARIZATION**

STATE OF FLORIDA  
COUNTY OF MIAMI-DADE

Sworn to or affirm and subscribed before me  
this 2nd day of JULY, in the year 2025  
by Zbigniew W. Jarosz who has taken  
an oath and is personally known to me or has  
produced as identification.

My Commission Expires: 10/24/26

Notary Public





**Z. W. JAROSZ ARCHITECT, P. A.**

3326 Mary Street 5<sup>th</sup> Floor

Miami, Florida 33133

(305) 446. 0888, fax (305) 447.117

[www.jaroszarch.com](http://www.jaroszarch.com)

## **271 Bal Cross Drive**

### **Narrative**

271 Bal Cross Drive residence is a single-family residence designed by Z.W. Jarosz Architect P.A.

According to the Owner's direction, the residence was designed in a contemporary, timeless interpretation of Mediterranean revival style.

The two-story building features elements like round and elliptical arches and chamfered columns on selected locations with stucco finish; pitched roofs with barrel roof tile, rafters, and wood finishes. These elements along with contemporary architecture elements like large openings, allow transparency and flow of the space between the inside and the rear yard area.

The main entry to the residence is through a deep arch, which gives protection to the front round glass door, leading into a foyer that features the main staircase of the residence. The front arched glass door dialogues with three arches at the corridor connecting the entry area with the dining, living space and the front and rear yards.

The first floor consists of the living room, dining room, and bar area, a guest bedroom, kitchen, accessory areas, staff room, garages and gym. The rear yard features a pool, a covered terrace for a barbecue on the northeast side and a connecting loggia, leading to the gym on the southeast side.

The second-floor features two studios and the sleeping area: with the master bedroom, a large bathroom, two walking closets and terrace overlooking the rear yard, and three bedrooms each with its own bath and closets.

The proposed design complies with all required setback and height criteria per the Bal Harbour Village Code. The second-floor setbacks exceed minimum requirements without utilizing the optional flex provisions. The structure is within the permitted height and has been thoughtfully designed to be compatible with the character of the neighborhood.

The residence has been designed in full compliance with the Bal Harbour Village Code. It meets all height and setback requirements, with second-floor setbacks exceeding minimum standards without reliance on optional flex provisions. The proposed total ground area coverage is 5,330 sq. ft. (35.8%), well below the maximum allowable coverage of 7,448 sq. ft. (based on a 50% coverage limit of the 14,897 sq. ft. lot). The enclosed floor area includes 3,852 sq. ft. on the first floor and 2,892 sq. ft. on the second floor, for a total of 6,744 sq. ft., exclusive of non-conditioned spaces such as garages and open terraces.

This project has been carefully designed to align with the architectural character of the neighborhood while maintaining full zoning compliance. The architectural approach balances tradition and modernity, creating a residence that is both contextually appropriate and architecturally refined.

For additional zoning data and design documentation, please refer to the attached set of plans. Should you have any questions or require further information, feel free to contact me at 786-271-7124.



Zbigniew W. Jarosz

AIA, CGG

PRESIDENT Z.W.JAROSZ ARCHITECT P.A.





# PROPERTY APPRAISER OF MIAMI-DADE COUNTY

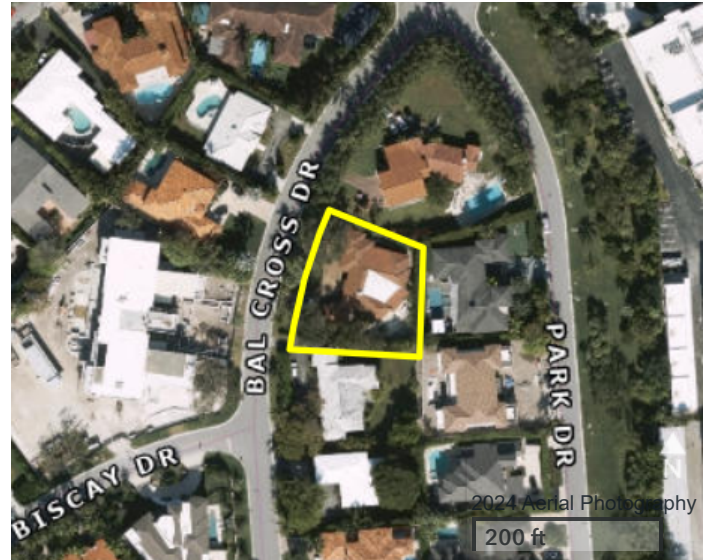
## Detailed Report

Generated On: 09/22/2025

PROPERTY INFORMATION	
Folio	12-2226-002-1680
Property Address	271 BAL CROSS DR BAL HARBOUR, FL 33154-0000
Owner	KATIE TAYLOR CHAPLIN
Mailing Address	271 BAL CROSS DR BAL HARBOUR, FL 33154
Primary Zone	0800 SGL FAMILY - 1701-1900 SQ
Primary Land Use	0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT
Beds / Baths /Half	5 / 4 / 0
Floors	1
Living Units	1
Actual Area	4,713 Sq.Ft
Living Area	3,817 Sq.Ft
Adjusted Area	4,044 Sq.Ft
Lot Size	15,530 Sq.Ft
Year Built	Multiple (See Building Info.)

ASSESSMENT INFORMATION			
Year	2025	2024	2023
Land Value	\$5,590,800	\$4,831,529	\$5,311,199
Building Value	\$429,230	\$434,164	\$9,000
Extra Feature Value	\$39,943	\$40,432	\$1,000
Market Value	\$6,059,973	\$5,306,125	\$5,321,199
Assessed Value	\$5,460,002	\$5,306,125	\$3,944,645

BENEFITS INFORMATION				
Benefit	Type	2025	2024	2023
Save Our Homes Cap	Assessment Reduction	\$599,971		
Non-Homestead Cap	Assessment Reduction			\$1,376,554
Homestead	Exemption	\$25,000	\$25,000	
Second Homestead	Exemption	\$25,722	\$25,000	
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).				



TAXABLE VALUE INFORMATION			
Year	2025	2024	2023
COUNTY			
Exemption Value	\$50,722	\$50,000	\$0
Taxable Value	\$5,409,280	\$5,256,125	\$3,944,645
SCHOOL BOARD			
Exemption Value	\$25,000	\$25,000	\$0
Taxable Value	\$5,435,002	\$5,281,125	\$5,321,199
CITY			
Exemption Value	\$50,722	\$50,000	\$0
Taxable Value	\$5,409,280	\$5,256,125	\$3,944,645
REGIONAL			
Exemption Value	\$50,722	\$50,000	\$0
Taxable Value	\$5,409,280	\$5,256,125	\$3,944,645

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# PROPERTY APPRAISER OF MIAMI-DADE COUNTY

Generated On: 09/22/2025

## Property Information

**Folio:** 12-2226-002-1680

**Property Address:** 271 BAL CROSS DR

## Roll Year **2025** Land, Building and Extra-Feature Details

LAND INFORMATION						
Land Use	Muni Zone	PA Zone	Unit Type		Units	Calc Value
GENERAL	R-2	0800	Square Ft.		15,530.00	\$5,590,800
BUILDING INFORMATION						
Building Number	Sub Area	Year Built	Actual Sq.Ft.	Living Sq.Ft.	Adj Sq.Ft.	Calc Value
1	2	1975	329	0	110	\$11,675
1	1	1948	4,384	3,817	3,934	\$417,555
EXTRA FEATURES						
Description				Year Built	Units	Calc Value
Wood Fence				2006	12	\$161
Whirlpool - Attached to Pool (whirlpool area only)				2006	36	\$4,133
Pool 6' res BETTER 3-8' dpth, tile 250-649 sf				2006	1	\$24,600
Patio - Marble				2006	980	\$9,643
Chain-link Fence 4-5 ft high				1996	190	\$1,406

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# PROPERTY APPRAISER OF MIAMI-DADE COUNTY

Generated On: 09/22/2025

## Property Information

**Folio:** 12-2226-002-1680

**Property Address:** 271 BAL CROSS DR

## Roll Year **2024** Land, Building and Extra-Feature Details

### LAND INFORMATION

The calculated values for this property have been overridden. Please refer to the Land, Building, and XF Values in the Assessment Section, in order to obtain the most accurate values.

Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value
GENERAL	R-2	0800	Front Ft.	126.26	

### BUILDING INFORMATION

The calculated values for this property have been overridden. Please refer to the Land, Building, and XF Values in the Assessment Section, in order to obtain the most accurate values.

Building Number	Sub Area	Year Built	Actual Sq.Ft.	Living Sq.Ft.	Adj Sq.Ft.	Calc Value
1	2	1975	329	0	110	
1	1	1948	4,384	3,817	3,934	

### EXTRA FEATURES

The calculated values for this property have been overridden. Please refer to the Land, Building, and XF Values in the Assessment Section, in order to obtain the most accurate values.

Description	Year Built	Units	Calc Value
Wood Fence	2006	12	
Whirlpool - Attached to Pool (whirlpool area only)	2006	36	
Pool 6' res BETTER 3-8' dpth, tile 250-649 sf	2006	1	
Patio - Marble	2006	980	
Chain-link Fence 4-5 ft high	1996	190	

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# PROPERTY APPRAISER OF MIAMI-DADE COUNTY

Generated On: 09/22/2025

## Property Information

**Folio:** 12-2226-002-1680

**Property Address:** 271 BAL CROSS DR

## Roll Year **2023** Land, Building and Extra-Feature Details

### LAND INFORMATION

The calculated values for this property have been overridden. Please refer to the Land, Building, and XF Values in the Assessment Section, in order to obtain the most accurate values.

Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value
GENERAL	R-2	0800	Front Ft.	126.26	

### BUILDING INFORMATION

The calculated values for this property have been overridden. Please refer to the Land, Building, and XF Values in the Assessment Section, in order to obtain the most accurate values.

Building Number	Sub Area	Year Built	Actual Sq.Ft.	Living Sq.Ft.	Adj Sq.Ft.	Calc Value
1	2	1975	329	0	110	
1	1	1948	4,384	3,817	3,934	

### EXTRA FEATURES

The calculated values for this property have been overridden. Please refer to the Land, Building, and XF Values in the Assessment Section, in order to obtain the most accurate values.

Description	Year Built	Units	Calc Value
Wood Fence	2006	12	
Whirlpool - Attached to Pool (whirlpool area only)	2006	36	
Pool 6' res BETTER 3-8' dpth, tile 250-649 sf	2006	1	
Patio - Marble	2006	980	
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# PROPERTY APPRAISER OF MIAMI-DADE COUNTY

Generated On: 09/22/2025

## Property Information

**Folio:** 12-2226-002-1680

**Property Address:** 271 BAL CROSS DR

### FULL LEGAL DESCRIPTION

BAL HARBOUR RES SEC PB 44-98  
LOT 10 BLK 9  
AND PROP INT IN & TO COMMON  
ELEMENTS NOT DEDICATED TO PUBLIC  
LOT SIZE 126.260 X 123  
OR 16933-2050 TO 56 0995 5

### SALES INFORMATION

Previous Sale	Price	OR Book-Page	Qualification Description
01/18/2023	\$6,242,500	33550-3346	Qual by exam of deed
07/09/2021	\$4,607,500	32655-0911	Qual by exam of deed
09/01/1995	\$0	00000-00000	Sales which are disqualified as a result of examination of the deed

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