

BAL HARBOUR

- VILLAGE -

Reinaldo Borges, Chair
Amanda Barton, Board Member
Jose L. Gomez, Board Member
Brett Schlacter, Board Member
Nathan VanDeman, Board Member

Village Manager Jorge M. Gonzalez
Village Clerk Dwight S. Danie
Building Director Eliezer Palacio
Village Attorneys Weiss Serota
Helfman Cole & Bierman, PA

ARCHITECTURAL REVIEW BOARD

REGULAR MEETING AGENDA

FEBRUARY 5, 2026

AT 1:00 P.M.

Bal Harbour Village Hall • 655 - 96th Street • Bal Harbour • Florida 33154

This meeting will be conducted in-person. The meeting will also be broadcast on the Village's website (www.balharbourfl.gov) and members of the public are encouraged to participate by calling 305-865-6449 by emailing meetings@balharbourfl.gov before and during the meeting.

1 CALL TO ORDER / ROLL CALL

2 PLEDGE OF ALLEGIANCE

3 APPROVAL OF MINUTES

Architectural Review Board Minutes December4_2025_short.pdf

4 ARB-HEARINGS - *Please be advised that the following item on the agenda is quasi-judicial in nature. If you wish to comment upon an item, please inform the Chairman when he asks for public input on the item. An opportunity for persons to speak will be made available after the applicant and staff have made their presentations on each item. All testimony, including public testimony and evidence, will be made under oath or affirmation. Additionally, each person who gives testimony may be subject to cross-examination. If you refuse either to be cross-examined or to be sworn, your testimony will be given its due weight. The general public will not be permitted to cross-examine witnesses, but the public may request the Architectural Review Board to ask questions of staff or witnesses on their behalf. Persons representing organizations must present evidence of their authority to speak for their organization. Further details of the quasi-judicial procedures may be obtained from the Clerk.*

(Disclosure of Ex-Parte Communications)

(Swearing-In by Village Clerk)

4.1 RARB-2025-0016

148 Bal Bay Drive, Bal Harbour FL, 33154
Architect: Eneida Pinon
Owner: MDH Miami, LLC
New Single-Family Home

- [1- RARB2025-0019 - 148 BAL BAY DR - MEMO.pdf](#)
- [2 - RARB2025-0019 - 148 BAL BAY DR - POWERPOINT \(CL\).pdf](#)
- [3- RARB2025-0019 - 148 BAL BAY DR - APPLICATION.pdf](#)
- [4- RARB2025-0019 - 148 BAL BAY DR - NARRATIVE.pdf](#)
- [5- RARB2025-0019 - 148 Bal Bay - PROPERTY APPRAISER.pdf](#)

5 OTHER BUSINESS

5.1 2026 Meeting Dates

[2026-ARB-Calendar.pdf](#)

6 PUBLIC COMMENT

7 ADJOURNMENT

One or more members of any Village Committee/Board may attend this meeting of the Council and may discuss matters which may later come before their respective Boards/Committees. The New Business and Council Discussion Section includes a section for Public Comment. On public comment matters, any person is entitled to be heard by this Council on any matter; however, no action shall be taken by the Council on a matter of public comment, unless the item is specifically listed on the agenda, or is added to the agenda by Council action. Any person who acts as a lobbyist, pursuant to Village Code Section 2-301 (Lobbyists), must register with the Village Clerk, prior to engaging in lobbying activities before Village staff, boards, committees, and/or the Village Council. A copy of the Ordinance is available in the Village Clerk's Office at Village Hall.

If a person decides to appeal any decision made by the Village Council with respect to any matter considered at a meeting or hearing, that person will need a record of the proceedings and, for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (F.S. 286.0105).

In accordance with the Americans with Disabilities Act of 1990, all persons who are disabled and who need special accommodations to participate in this proceeding because of that disability should contact the Village Clerk's Office (305-866-4633), not later than two business days prior to such proceeding. All Village Council meeting attendees, including Village staff and consultants, are subject to security screening utilizing a metal detector and/or wand, prior to entering the Council Chamber, Conference Room, or other meeting area located within Village Hall. This is for the safety of everyone. Thanks for your cooperation.

BAL HARBOUR

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Building Director Eliezer Palacio
Village Attorneys Weiss Serota
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ARCHITECTURAL REVIEW BOARD

REGULAR MEETING MINUTES

DECEMBER 4, 2025

AT 1:00 P.M.

Bal Harbour Village Hall • 655 - 96th Street • Bal Harbour • Florida 33154

This meeting was conducted in-person. The meeting was also broadcast on the Village's website (www.balharbourfl.gov) and members of the public were encouraged to participate by calling 305-865-6449 by emailing meetings@balharbourfl.gov before and during the meeting.

1 CALL TO ORDER / PLEDGE OF ALLEGIANCE- The meeting was called to order at 1:02 PM. Chair Reinaldo Borges.

The following Board Members were present:

Reinaldo Borges, Chair
Jose Gomez
Nathan VanDeman

The following were not present:

Brett Schlacter
Amanda Barton

The following were also present:

Eliezer Palacio, Building Director
Dwight Danie, Village Clerk
Chanae Woods, Village Attorney

2 PLEDGE OF ALLEGIANCE - The Pledge of allegiance was led by Chair Borges.

3 APPROVAL OF MINUTES

3.1 November 6, 2025 Architectural Review Board Meeting Minutes

MOTION: A Motion to approve the minutes was moved by Nathan VanDeman and seconded by Jose Gomez.

VOTE: The Motion passed by unanimous voice vote (3-0).

4 ARB-HEARINGS -

Ms. Woods read the quasi-judicial procedures statement. She then asked the Board members to disclose ex parte communications, to which all Board members responded that they had none to disclose. The Village Clerk swore in all those who would be providing testimony.

4.1 ARB-2025-0016

148 Bal Bay Drive, Bal Harbour FL, 33154

Architect: Eneida Pinon

Owner: MDH Miami, LLC

New Single-Family Home

Mr. Palacio described the project saying that the applicant had submitted written confirmation acknowledging the eighteen conditions of approval required by the building official. He confirmed that staff and the Village's Zoning consultant had reviewed the revision and agreed that it complied with the Appearance Code and Zoning Ordinance. Eneida Pinon, Architect, said that the design architect was Leo Romano from Brazil and that the general contractor's team was also present. She described the project design as a modern contemporary concept with a raw concrete feel, extensive glass that mirrored greenery that reflected sky and water, that had a symmetrical architectural language on all sides.

Ms. Pinon reviewed the site plan and floor plans adding that a mezzanine overlooking the first floor that she said qualified by being about one-third of the space, used as a secondary presentation area. She described the second floor as private bedrooms with a family TV room, a waterfront master suite, and the roof plan with mechanical equipment and water tanks enclosed behind screening.

She presented proposed materials including large Titoni glass panels on the front first floor and rear waterfront side for exterior views. Chair Borges asked if they were all sliders, to which Ms. Pinon said the first-floor panels were sliders with fixed panels where they landed when open. She described reflective mirrored glass options and a bifold Euro-Wall system, noting that Titoni did not have an approved bifold, so Euro-Wall was used on other projects.

Chair Borges said that the bifold system would introduce a lot of aluminum but the renderings looked frameless, and that what was being presented might be too minimalistic compared to real construction. He said the local architect should help ensure client expectations matched reality.

Ms. Pinon said she understood, adding that fixed areas would stay fixed glass and open areas would require bifolds with heavier frames. Mr. VanDeman asked whether extrusions were shown in line-drawing elevations, to which Ms. Pinon said that she had tried to illustrate thickness where bifolds were used.

Chair Borges asked about details for the inverted knife-edge canopy and how finishes would meet stucco or other systems. Ms. Pinon said they planned a stamped, rubberized concrete product with a drip edge to prevent water creep.

Mr. VanDeman said he'd like to see more on site and landscape; Ms. Pinon flipped ahead to civil plans, exfiltration trenches, elevations, utilities, and the new landscape design.

Chair Borges asked if all trees were new, to which Ms. Pinon said one existing tree might remain, but most were new.

Chair Borges said that he would like to see a section showing the mezzanine relationship to floors and ceiling heights.

Mr. Gomez praised the design as one of the most exciting houses the Board had seen in years. He said that he believed the renderings were theoretical and didn't prove the design could be built as shown, especially with folding doors. He pointed out mismatches between details and elevations, like glass protruding two feet in perspective but only six inches in detail, and said it felt impossible to deliver the exact look without more information. He also asked for cross sections explaining the mezzanine, more realistic 3D views, and clearer understanding of the north elevation. He said he loved the design but needed more detail to feel comfortable approving.

Chair Borges agreed, saying the burden of such a concept was proper detailing and execution in a restricted environment. He said that he wanted clarity on how sliding and folding systems interacted, especially panel widths.

Mr. VanDeman said that as an aesthetic review board they were seeing a gap between what was being sold and what would be delivered. He said the applicant could either pursue the most excellent version that matched intent or show a pragmatic realistic version, but either way had to make the reality legible.

Chair Borges asked if they were still in schematics; Ms. Pinon said yes, they had passed a bit but schematic design was complete. Chair Borges said they wanted design-development-level detailing, not to slow the process but because it was necessary anyway.

Mr. Gomez asked whether they'd worked with the structural engineer, noting the house was large and appeared to rely only on perimeter columns with a central cutout. Ms. Pinon said structural engineers had been involved due to tight height limits and mezzanine requirements, and they had discussed slabs, floor plates, and routing of AC, electrical, and plumbing. Mr. Gomez said he was "nitpicking" because he loved the project and didn't want it to become another disappointing build after approval. He asked for more refinement and proof of how it worked.

Ms. Pinon explained the Brazilian design language treated bifolds as a decorative brise-soleil element meant to stay open for façade variation, with sliders serving as the primary operable enclosure, though Mr. VanDeman said the brise-soleil logic worked for louvers but not for glass-on-glass redundancy. Ms. Pinon said frameless mirror glass was essentially impossible under local hurricane ratings, but she agreed the concerns were valid and that she would take them back to the Brazilian designer.

Mr. Gomez said function was up to the client, but the board's concern was how it read visually and whether it matched intent.

Chair Borges said that the Board wanted to approve such an interesting project but couldn't responsibly do so without evidence the intention would survive translation into compliant systems, and suggested that the applicant return with more detail.

The Village Clerk read an email from Necia Logan, 64 Camden Drive, who said that this was effectively a three-level home—first floor, mezzanine, second floor—raising concerns about roofline levels. She asked why the parking deck and other elements were in setbacks, said there was no vegetation to limit sightlines or noise along the active south side, questioned SUV turning radius into a 12-foot-wide garage, and said an eight-bedroom home needed more parking than shown with no street capacity. She noted her concern about mirror-finished windows causing glare, plus extensive LED lighting potentially worsening it.

Mr. Palacio responded that by zoning and building code the mezzanine wasn't a third story because it was within the 30% floor-area rule, and said the zoning consultant had reviewed it. Ms. Pinon added she had had the designer shrink that interior volume to about four feet so it didn't read as a full floor, and she agreed a section would help explain the concept.

There was a general consensus from the ARB to have the applicant submit a building section because the mezzanine was central to both how the house would be perceived and how it would be classified, and that plans alone couldn't prove those vertical relationships.

Robert Mondshine, 34 Bal Bay Drive, said the project looked nice but that he was concerned whether a taller security fence would be installed between properties, how construction vehicles would park and avoid blocking his frontage, whether shadows from the building would encroach on his home, what type of pilings would be used and whether vibration studies were needed, expectations for daily cleanup and site maintenance, and details about the new seawall height and water-runoff barriers given the new property would be elevated relative to his older one.

Mr. Palacio explained ordinance 2023-653 required a pre-construction meeting involving Police, Code Enforcement, Public Works, Building, utilities, and others before permits were issued. He said construction workers had to park only in front of the project property or within it; otherwise they had to park at Haulover Park and be bused in under a contractor agreement. He said that pilings were auger piles with minimal to no vibration, similar to other homes nearby, and that seawall sheet piles were not impact-driven and were installed from the water side. He said the seawall height would match the park next door and aligned with evolving FEMA-related safety elevations, noting a consultant was evaluating a future village ordinance to raise seawalls.

Chair Borges re-stated the Board wanted the applicant to return with further detailing on the edge canopy system and the integration of sliding versus folding doors. Mr. Gomez added that clear north-south and east-west sections were needed to show mezzanine logic, elevator override.

Ms. Pinon agreed that she would present more accurate glazing and framing sizes next time, possibly supported by a full-scale mockup. Mr. Gomez repeated that he wasn't demanding full engineering documents, only realistic architectural representations matching what could be built.

MOTION: A Motion to defer the project was moved by Nathan VanDeman and seconded by Jose Gomez.

VOTE: The Motion passed by unanimous voice vote (3-0).

5 OTHER BUSINESS

- 5.1** Discussion Regarding January 2026 Meeting Date – The first Thursday of the Month falls on January 1, New Year's Day.

The Village Clerk noted that the Board's regular first-Thursday meeting would fall on January 1, and asked members to agree on an alternate date. Chair Borges suggested the second Thursday, January 8, for which there was general consensus from those present.

Chair Borges added the applicant didn't need to return by the eighth unless ready, but that the extra time for details would be a benefit.

6 PUBLIC COMMENT

There were no further comments from the public.

7 ADJOURNMENT - The meeting was adjourned at 2:21 P.M.

Reinaldo Borges, Chair



Attest:

Dwight S. Danie, Village Clerk

BAL HARBOUR

- VILLAGE -

ARCHITECTURAL REVIEW BOARD MEMORANDUM

TO: Architectural Review Board Members

FROM: Eliezer Palacio, Building Director

DATE: 12/04/2025

SUBJECT: 148 Bal Bay Dr
New Two-Story Single-Family Residence (Deferred on December
4th, 2025 - Resubmittal)



BACKGROUND

The Village of Bal Harbour (the "Village") received an Architectural Review Board (ARB) application on September 5, 2025 for the development of a new two-story single-family residence located at 148 Bal Bay Dr (the "Property").

The lot sits on NLY ½ Lot 18 & Lot 19 Block 1, and is located in the R-1, single family zoning district of the Bal Harbour Village Residential Section. The Property is 27,999 square feet and the Applicant is proposing a new two- story residence with 15,691 square feet of conditioned interior space 8755 square feet of unconditioned outdoor areas / garages, for a total square footage of 24,808.

The entrance to the residence faces East and the proposed garage entry does not face the street.

This Property is located in the AE-8 N.G.V.D. Base Flood Elevation Zone and the Applicant is constructing the proposed residence at 9.67' N.G.V.D., which complies with the Florida Building Code (F.B.C.) and ASCE 24 for AE zones.

THE PROJECT (AE Description)

The following is a written document to describe the proposed New Construction to be located on 148 Bal Bay Dr, Bal Harbour, Fl. 33154.

This submission also complies with the request from the Board from the previous Hearing for more information showing the massing of the two-story building.

This project resides in the prestigious Bal Harbour Village neighborhood, west of Bal Harbour Boulevard and just south of the Bal Harbour Village Marina. The existing property is a waterfront lot with water on one side of the property and is currently empty. The current site is situated between two (2) one-story residences and in front of a one-story residence and a two-story residence across the street on Bal Bay Drive. The proposed design allows for open vistas to the intracoastal, while providing privacy to and from the neighboring properties. The proposed design also conforms with the R-1Zoning requirements as noted on the Site Plans.

The design aesthetic of this residence will have modern-contemporary architectural features that are grounded with natural-feeling materials. The design features are a nod to Miami modernism, Mimo and Art Deco styles, with angular linear features, sweeping overhead eyebrows and cantilevers. The use of rustic-toned materials such as bronzed metal and wood-stamped concrete juxtaposed with the use of water provides a darker modern-contemporary building look that blends in with the lush landscape and with the tranquil view of the waterfront. The additional water features surrounding the home further emphasize the doneness and connection to the waterfront and bring the tranquil qualities of water onto the project site. The proposed design is two stories tall at the full allowable height of 35 feet tall. The entry on the ground floor will open up to a large double height open living room area with tall ceilings that have a large overhead skylight to provide natural lighting within the home. This large welcoming space will open to the exterior pool deck to fully embrace the waterfront views. The programmatic spaces adjacent to this central living area include supporting spaces such as an adjacent kitchen, garage, spa, playroom, wine cellar, game room and entertainment room (on the mezzanine). Two accessory quarters are also provided on the first floor with separate entry access. The second floor holds the more private spaces, with a large opening that looks down into the first floor living area. The programming includes the large master suite that will overlook the pool area and the entire west wing with the view towards the waterfront. There are also five more bedrooms on the second floor, each with their own private bathrooms and most with views to the street side. An additional and more private family room, pantry and laundry are also on this floor.

The building systems include concrete foundations, CMU walls, steel joists/concrete slabs for floor systems and roofs, concrete, metal finishes and impact windows/doors. The proposed design has the least amount as possible of glass in the south facing elevations and more glazing on the other facades which have an overhead eyebrow, following passive architectural techniques to minimize heat gain. Large covered/shaded terraces reduce direct sun exposure on areas with more glazed openings. All building window/door openings will be HVHZ impact rated. All windows will have interior screens for privacy and to minimize sun exposure. The roof will have a flat roof deck system, which will allow for higher ceilings floor to floor. This proposed structure will uphold all of the codes and laws regulated by the governing authorities of the project, State and Local with special regards to HVHZ requirements and environmental protections. All practices will meet or exceed requirements of the Florida Building Code 2023, 8th edition and the State of Florida Department of Environmental Protection.

RECOMMENDATION

It is the opinion of this writer that the proposed new two-story single-family residence follows the Village's Appearance Code and Zoning Ordinance. The Village Planning and Zoning Consultant and the Parks and Public Spaces Department have reviewed the plans and concur that the plans comply.

I recommend that the Board review the submittal for compliance and if they concur with my recommendation, issue a Certificate of Appropriateness.

If approved, the following conditions should be added to the motion:

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. The Applicant shall comply with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences, and landscape plantings.
4. Any new hedge must be planted at least 10' from the edge of the curb.
5. Any new trees must be planted at least 10' from the edge of the curb.
6. All Electrical, Mechanical and Plumbing equipment must be 1.0 foot above B.F.E. (Base Flood Elevation) per F.B.C. & A.S.C.E. 24 and must not infringe upon the building setbacks.
7. Flood Design Data is required to be in accordance to F.B.C., Section 1603.1.7. & A.S.C.E. 24.
8. Architect to provide an Elevation Certificate FEMA Form 086-0-33, for proposed construction that complies with F.B.C. 322 & A.S.C.E. 24.
9. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
10. The Project shall comply with Section 21-102, a, b, and c regarding setbacks in the R-1 Zoning District.

11. The Project shall comply with Section 21-100 maximum building height of 35 ft. in the R-1 Zoning District.
12. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
13. If any portion of the landscaping, fence, or any other permitted item will be located within the five-foot easement at the front, rear or side of the property, then prior to the issuance of a required permit or permit revision to the master building permit, the Owner of the Project described herein shall execute "Hold Harmless Agreement" as a condition precedent to permit issuance.
14. If the proposed landscape and hardscape design conflicts with the Village's stormwater infrastructure system, the Architect and Civil Engineer are required to resolve prior to permit issuance. Any revisions required to the hardscape or landscape shall be bought before the ARB, if applicable, or be administratively approved prior to permit.
15. Perimeter landscaping required by the Certificate of Appropriateness must be maintained by the property owner in accordance with the standards of the Code.
16. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
17. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
18. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

OWNER:

MDH MIAMI LLC

DESIGN TEAM:

Eneida Pinon PLLC

Architecture and Design

Architect of Record

9099 NW 165th Terrace

Miami Lakes, FL 33018

United States

Phone: 305.331.7759

Leo Romano

Design Architect

R. 131,79

St. Sul, Goiania - Go, 74093-200

Brazil

Phone: +55.62.3086.1965



148 BAL BAY RESIDENCE

148 Bal Bay Drive
Bal Harbour, FL 33154

ARCHITECTURAL REVIEW BOARD

FEBRUARY 5, 2026



Digitally
signed by
Eneida Pinon
Date:
2026.01.23
08:42:12-05'00'

Szauer Engineering, Inc.
Civil Engineer

7251 W Palmetto Park Road, Suite 100

Boca Raton, FL 33433

United States

Phone: 561.716.0159

Andres Montero Landscape
Architecture
Landscape Architect

2300 E Oakland Park Boulevard

Fort Lauderdale, FL 33306

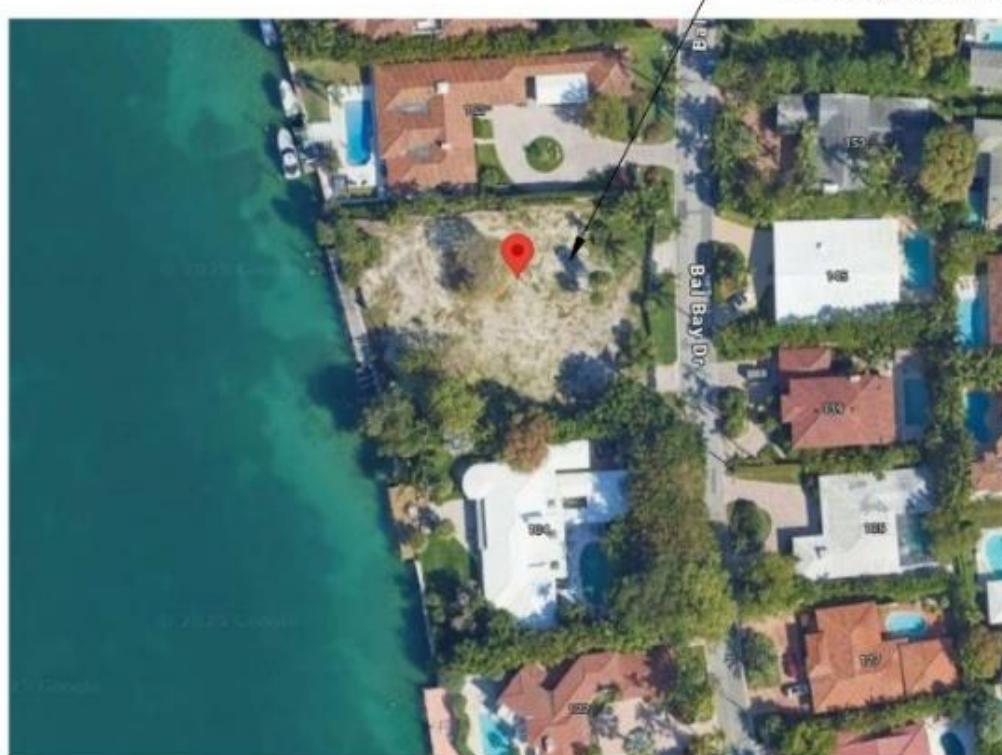
United States

Phone: 954.533.8259

STREET VIEW



LOCATION MAPS



PROJECT INFORMATION

OWNER: MDH MIAMI LLC
 BUILDING ADDRESS: 148 BAL BAY DRIVE, BAL HARBOUR, FL 33154
 PARCEL ID NUMBER: 12-2226-002-0180
 LEGAL DESCRIPTION: ALL OF LOT 19 AND THE NORTHERLY HALF OF LOT 18, IN BLOCK 1, OF THE RESIDENTIAL SECTION OF BAL HARBOUR, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 44, AT PAGE 98, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, THE SAID NORTHERLY HALF OF LOT 18, MORE PARTICULARLY DESCRIBED AS FOUND ON SURVEY.
 ZONING: R-1 SINGLE FAMILY RESIDENCE
 OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-3
 CONSTRUCTION TYPE: II-B (MIN. V-B FOR SINGLE FAMILY HOMES)

SCOPE OF WORK

NEW CONSTRUCTION OF A TWO-STORY SINGLE FAMILY RESIDENCE. ALL NEW MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL SYSTEMS TO SUPPORT BUILDING.

THE DRAWINGS COMprise THE CONTRACT DOCUMENTS OUTLINING THE INTENT OF THE ARCHITECT, AND MAY BE SUPPLEMENTED BY FURTHER INFORMATION ISSUED BY ARCHITECT. THE DRAWINGS ARE ARRANGED IN GENERAL TO SPECIFIC ORDER, FOLLOWING A TOP TO BOTTOM, RIGHT TO LEFT FORMAT. CONTRACTORS ARE ADVISED TO READ AND FAMILARIZE THEMSELVES WITH THE INFORMATION, AS WELL AS THE GENERAL LEGENDS CONTAINED IN THE G SERIES OF DRAWINGS, PRIOR TO REVIEW OF THE PLANS, ELEVATIONS AND DETAILS. ADVISE THE ARCHITECT WHERE INTENT IS NOT CLEARLY PERCEIVED, PRIOR TO PROCEEDING WITH WORK.

APPLICABLE CODES

BUILDING	FLORIDA BUILDING CODE 8TH EDITION (2023) - RESIDENTIAL & BUILDING
ENERGY CODE	FLORIDA BUILDING CODE 8TH EDITION (2023) - ENERGY CONSERVATION
PLUMBING	FLORIDA BUILDING CODE 8TH EDITION (2023) - PLUMBING
MECHANICAL	FLORIDA BUILDING CODE 8TH EDITION (2023) - MECHANICAL
ELECTRICAL	FLORIDA BUILDING CODE 8TH EDITION (2023) - ELECTRICAL 2023 NATIONAL ELECTRICAL CODE (NEC) / NFPA-70
FIRE/LIFE SAFETY	FLORIDA FIRE PREVENTION CODE 8TH EDITION (2023) NFPA 101, NFPA 2023 EDITION (CHAPTER 42), & STATE STATUTES, 2023 EDITION (ADOPTED REFERENCED PUBLICATIONS FOUND HEREIN.)
WIND LOADS	ASCE 7-10 WIND AS PER FBC 170 MPH / EXPOSURE C / CATEGORY II

CONSTRUCTION NOTES, SPECIFICATIONS & GENERAL REQUIREMENTS

ARCHITECT'S STATUS:

A. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS, IN CONNECTION WITH THE WORK, AND HE OR SHE WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO FOLLOW THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OF THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.

CODES:

A. ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THE PROJECT, INCLUDING ALL APPLICABLE STATE, CITY AND COUNTY BUILDING, ZONING, ELECTRICAL, PLUMBING, LIFE SAFETY AND FIRE CODES. CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS AND BRING ANY DISCREPANCY BETWEEN THE CODES AND THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE ARCHITECT.

THE PROJECT WAS DESIGNED IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-14 EDITION), (AMERICAN INSTITUTE OF STEEL CONSTRUCTION (ACI) 318-14 EDITION), BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530-13/ASCE 5-13/MS 402-16), BUILDING CODE REQUIREMENTS AND NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION (ANSI/NFPA NDS-2018).

B. THESE PLANS AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE.

PERMITS:

A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING AND TRADE PERMITS AND FOR THEIR RESPECTIVE COSTS

JOB CONDITIONS:

A. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTAL OF BID AND/OR CONTRACT DOCUMENTS, AND HE OR SHE MAY PRACTICALLY FAMILIARIZE HIMSELF WITH THE CONSTRUCTION DOCUMENTS. DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IN WRITING FOR CLARIFICATION. BIDS SHALL NOT BE SUBMITTED OR CONSTRUCTION CONTRACTS NEGOTIATED BY THE CONTRACTOR PRIOR TO CLARIFICATION OF THE INTENT OF THE CONSTRUCTION DOCUMENTS WHERE SUCH INTENT IS IN DOUBT. BACK CHARGES WILL NOT BE ACCEPTED.

B. DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE OVER SCALE AND GRAPHICS. NO SCALE DRAWINGS.

C. IF WORK IS BEING PERFORMED IN AN EXISTING BUILDING AND / OR AS AN ADDITION OR ALTERATION(S) TO AN EXISTING BUILDING, THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS REFERRED TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, SYSTEMS AND CONDUIT CONDITIONS BETWEEN THE EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IN WRITING PRIOR TO THE SUBMISSION OF BIDS OR CONTRACT NEGOTIATIONS. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK BY TRADES, SUPPLIERS, SUBCONTRACTORS AND OTHER PROVIDERS TO INSURE THAT THE WORK, WHEN COMPLETED WILL BE IN ACCORDANCE WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS.

D. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL AND NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.

WORK NECESSARY TO COMPLETE CONSTRUCTION:

A. IT IS THE PURPOSE OF THESE PLANS AND SPECIFICATIONS TO DESCRIBE A COMPLETE AND FINISHED PROJECT OTHER THAN ITEMS MARKED "N.I.C." (NOT IN CONTRACT)

CLEAN UP / REPAIR:

A. THE CONTRACTOR OR SHALL MAINTAIN THE PREMISE CLEAN AND FREE OF ALL TRASH, DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT, OIL, OVER-SPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING, FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.

B. THE CONTRACTOR SHALL REPAIR AND / OR REPLACE ALL ITEMS DAMAGED BY THE PROCESS OF CONSTRUCTION AND SHALL FILL ALL PATCHWORKS AND REPAIRS TO MATCH ADJACENT AREAS AND SURFACES.

CLIMATE & GEOGRAPHIC DESIGN CRITERIA:

A. PER 2020 FBC-RESIDENTIAL TABLE R302.1(1), 'SUBJECT TO DAMAGE' FROM WEATHERING IS CLASSIFIED AS 'NEGIGIBLE', TERMITE DAMAGE IS CLASSIFIED AS 'VERY HEAVY'. SEE ADDITIONAL NOTES UNDER EARTHWORK.

EARTH WORK:

A. PERFORM ALL WORK IN CONFORMANCE WITH THE FINAL SOILS, COMPACTION AND GEOLOGICAL REPORTS.

B. FOUNDATIONS SHALL BE MONOLITHIC OR SPREAD FOOTINGS BASED ON A SOIL BEARING CAPACITY OF 250 PSF. FINAL WRITTEN VERIFICATION SHALL BE SENT TO THE OWNER AND ARCHITECT PRIOR TO THE START OF CONSTRUCTION.

C. AFTER STANDARD CLEANING AND GRUBBING HAS BEEN COMPLETED AND APPROVED, APPLY RECOMPACTOR COMPACTOR WITH A MINIMUM OF FOUR PASSES.

D. SOIL SHALL BE COMPAKTED TO 95% MODIFIED PROCTOR (ASTM D1557) TO A MAXIMUM OF 12 INCHES DEPTH. TESTS SHALL BE PERFORMED FOR EACH 2500 SQUARE FEET OF AREA. DENSITY TESTS SHALL BE MADE 12 INCHES BELOW THE COMPACTED SURFACES. RESULTS OF PROCTOR TEST(S) AND FIELD DENSITY TEST(S) SHALL BE FURNISHED TO THE ARCHITECT/ENGINEER.

E. FILL SHALL BE CLEAN, WELL GRADED SAND, CLASSIFICATION SW PER ASTM D2487-69 (75) WITH LESS THAN 12% PASSING 200 SIEVE. FILL MATERIAL SHALL BE PLACED IN LIFTS OF NOT MORE THAN 12" AND COMPAKTED AS ABOVE.

F. TERMITE PROTECTION SHALL BE IN ACCORDANCE WITH SECTION 1816 OF THE FL BUILDING CODE 2020.

CONCRETE UNIT MASONRY:

A. THIS PROJECT IS DESIGNED AS ENGINEERED UNIT MASONRY. STRUCTURAL DESIGN SHALL BE IN ACCORDANCE WITH ACI 530-13/ASCE 5-13/MS 402-16, BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES AND THE COMMENTARY ON BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES.

B. REINFORCING STEEL: LAP REINFORCING NOT LESS THAN 48 BAR DIAMETERS AT SPICE IN WALL REINFORCING. LAP HORIZONTAL REINFORCING A MINIMUM OF 18" AROUND CORNERS. HORIZONTAL BARS SHALL BE TIED TO VERTICAL BARS AS THE WORK PROGRESSES AND SHALL BE EMBEDDED IN GROUT. PLACING OF HORIZONTAL REINFORCING IN JOINTS OR MORTAR WILL NOT BE PERMITTED EXCEPT FOR WIRE JOINT REINFORCING.

C. FOUNDATION DOWELS: SHALL NOT BE SLOPED MORE THAN ONE HORIZONTAL TO 6 VERTICAL TO ALIGN WITH BLOCK CORE.

D. CLEAN OUT OPENINGS SHALL BE PROVIDED AT BOTTOM OF GROUTED CELLS. SEAL AFTER CLEANING AND INSPECTION.

E. MASONRY UNITS SHALL BE ASTM C-60 TYPE II WITH MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI FOR FOOTINGS & SLABS & GRADE 3,000 PSI FOR BEAMS, COLUMNS AT 28 DAYS. ALL CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE ACI 318-14 EDITION, ACI DETAILING MANUAL (ACI 315.1 TEST EDITION), ACI 544.3 TEST EDITION, ACI 546.3 TEST EDITION, ACI 547.3 TEST EDITION, CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS REQUIRED BY THE LATEST ACI SPECIFICATIONS. WELDED WIRE FABRIC SHALL COMPLY WITH ASTM A-613, UNLESS OTHERWISE SPECIFIED. PLACE FABRIC 2" CLEAR FROM TOP OF THE REINFORCING STEEL. REINFORCING STEEL SHALL BE MANUFACTURED FROM HIGH STRENGTH BILLET STEEL CONFORMING TO ASTM A-615 GRADE 60. LAP ALL BARS MINIMUM 48 DIA. U.N.O. ON DRAWINGS. ALL HOOKS IN REINFORCEMENT SHALL BE ACI RECOMMENDED HOOKS U.N.O.

F. GROUT SHALL BE A HIGH SLUMP MIX (8"-11") IN ACCORDANCE WITH ASTM C-476 HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI. NO TESTING FOR GROUT STRENGTH IS REQUIRED FOR THIS PROJECT.

G. GROUT SHALL BE A HIGH SLUMP MIX (8"-11") IN ACCORDANCE WITH ASTM C-476 HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI. NO TESTING FOR GROUT STRENGTH IS REQUIRED FOR THIS PROJECT.

H. PROVIDE 9 GAUGE HORIZONTAL JOINT REINFORCEMENT (LADDER TYPE) ONLY AT EVERY SECOND COURSE FOR ALL EXTERIOR WALLS.

I. ALL CONCRETE MASONRY BEARING AND SHEAR WALLS MUST BE INSPECTED BY A QUALIFIED ENGINEER JUST PRIOR TO POURING OF THE FOUNDATION, 1ST & 2ND FLOOR CONCRETE. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SPECIFICATION FOR THE DESIGN AND CONSTRUCTION OF LOAD BEARING CONCRETE MASONRY PUBLISHED BY THE NATIONAL CONCRETE MASONRY ASSOCIATION.

STRUCTURAL STEEL:

A. WORKMANSHIP: WORK SHALL COMPLY WITH A.I.C. LRFD 15TH EDITION, UNLESS MORE EXACTING REQUIREMENTS ARE SPECIFIED IN THE CONTRACT DOCUMENTS.

B. ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISC CODE. STRUCTURAL STEEL SHALL CONFORM TO ASTM A572 GRADE 50. ALL STEEL SHALL CONFORM TO ASTM A500 GRADE B (FY=40KSI). ALL STEEL TO HAVE A SHOT COAT OF RUST PROOF PAINT AND FIELD PAINT. ALL STEEL TO BE WELDED BY WELDERS QUALIFIED AS DESCRIBED IN THE AMERICAN WELDING SOCIETY'S STANDARD QUALIFICATION PROCEDURE (AWS D1.1), TO PERFORM THE TYPE OF WORK REQUIRED. ALL STEEL WELDING RODS SHALL BE E70XX ELECTRODES. CONCRETE MASONRY PUBLISHED BY THE NATIONAL CONCRETE MASONRY ASSOCIATION.

C. REINFORCING MESH: ON-GRADE BUILDING SLABS SHALL BE ACI-318 ELECTRICALLY WELDED WIRE FABRIC, SIZES AND GAUGES AS SHOWN ON THE DRAWINGS.

D. GENERAL MASONRY NOTES:

1) SCHEDULE Hoops OR STIRRUPS SHALL BE PLACED AT EACH END OF BEAM U.N.O.

2) BUNDLE ALL STR. BEAM TOP BARS IN PAIRS OVER SUPPORT W/ TOP BARS FROM ADJ. BEAMS.

3) ALL TIE BEAM REINFORCING SHALL EXTEND INTO SPAN OF ANY ADJ. STR. BEAM PER 30' MAX. TIE BEAM BENDING DIAMETER SHALL NOT EXCEED 12" MAX.

4) TIE BEAM DEPTH AREAS MAY AND SHALL BE INCREASED (8" MAX.) TO FIT BLOCK WORK AND WINDOW AND DOOR HEADS.

5) DROP BOTTOM OF TIE BEAMS, AS REQUIRED, AT WINDOW & DOOR HEADS (28" MAX. BEAM DEPTH) & ADD 2 #6 BOTTOM, IF DROP EXCEEDS 8" U.N.O. ON PLANS.

6) ALL ADDED LONGITUDINAL BEAM REINFORCING SHALL EXTEND 6" MIN. INTO SUPPORT U.N.O.

C. THE G.C. IS TO VERIFY THAT ALL ACCESS TO THE POOL AREA MEET THE SWIMMING POOL SAFETY ACT.

TRUSSES:

A. THE TRUSS LAYOUT SHOWN ON CONSTRUCTION DOCUMENTS IS SCHEMATIC IN NATURE. HOWEVER, THE SUPPORTING SUPERSTRUCTURE HAS BEEN DESIGNED UNDER THE ASSUMPTION THAT THE FRAMING SCHEME SHOWN WILL CLOSELY PARALLEL THE FINISHED TRUSS LAYOUT. THE FRAMING SCHEME (DEFINITION OF TRusses, NLT, G/T, BEARING POINTS, ETC.) CAN CHANGE ONLY AFTER OBTAINING PERMISSION FROM THE PRIME PROFESSIONAL OF RECORD WHO MUST REVIEW PROPOSED CHANGES AND MAKE STRUCTURAL REVISIONS ACCORDINGLY. FINAL SIGNED AND SEALED ENGINEERING TRUSS DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO POURING OF FOUNDATION.

B. WOOD ROOF TRUSSES ARE TO BE DESIGNED FOR THE WOOD FABRICATOR BY A PROFESSIONAL SPECIALTY ENGINEER REGISTERED IN THE STATE OF FLORIDA.

C. PROVIDE 4"X4" POSTS OR (2)2"X4" STUDS MINIMUM UNDER ALL BEAMS AND HEADERS UNLESS OTHERWISE NOTED.

D. ALL SUB-SILLS, OVER 8'-0" IN LENGTH SHALL BE DOUBLE 2"X4".

E. DOUBLE 2"X4"s SPIKED TOGETHER w/ 16d's @ 5" O.C. STAGGERED MAY BE USED IN LIEU OF 4"X4" POSTS WHERE CONTAINED WITHIN WALLS UNLESS SPECIFICALLY NOTED OTHERWISE ON PLANS.

F. TRUSS FABRICATOR TO PROVIDE PRE-FABRICATED HANGERS AS REQUIRED.

G. DESIGN, FABRICATION, AND INSTALLATION OF WOOD TRUSSES AND SHEET METAL CONNECTORS SHALL BE IN ACCORDANCE WITH THE FOLLOWING STANDARDS.

D. DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD ROOF TRUSSES PER

TRI 1-2007; DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED PARALLEL CHOR TRUSSES PER PCT 80; HANDLING, INSTALLATING, RESTRAINING AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES PER BCSI 2013 EDITION

H. ALL LUMBER IN DIRECT CONTACT WITH STEEL OR CONCRETE SHALL BE PRESSURE TREATED. HAVE AN APPROVED SEPARATING MATERIAL OR HAVE A GALVANIZED ANCHOR SEAT.

I. F. DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD ROOF TRUSSES PER

TRI 1-2007; DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED PARALLEL CHOR TRUSSES PER PCT 80; HANDLING, INSTALLATING, RESTRAINING AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES PER BCSI 2013 EDITION

J. HANGERS, FRAMING ANCHORS AND FASTENERS: STAMPED AND FABRICATED STEEL OF THE TYPE INDICATED, NAILS TO BE THOSE FURNISHED OR RECOMMENDED BY MANUFACTURER FOR THIS SPECIFIC USE. NAILS SHALL BE FULLY DRIVEN IN ALL HOLLOW SPACES IN THE ANCHOR AND ALL HANGERS AND ANCHORS SHALL BE GALVANIZED.

K. EGRESS WINDOWS SHALL BE OPERABLE FROM THE INSIDE, WITHOUT THE USE OF TOOLS. EGRESS WINDOWS SHALL POUR A CLEAR OPENING OF NOT LESS THAN 20" WIDE, 24" HIGH AND 3" SQUARE. PROVIDE MINIMUM AREA. THE BOTTOM OF OPENING SHALL NOT BE MORE THAN 44" ABOVE FLOOR AND LATCH AT 54" ABOVE FLOOR (MAX). PER 2017 FBC-RESIDENTIAL, SECTION R310.

L. FIRE-BLOCKING: INSTALL IN CONCEALED SPACES BOTH VERTICAL AND HORIZONTAL, SUCH AS BUT NOT LIMITED TO, STUD WALLS, FURRED SPACES, SOFFITS, DROP CEILINGS, COVES, STAIR STRIPPERS (TOP AND BOTTOM) OPENINGS FOR VENTS, PIPES, DUCTS, CHIMNEYS, FLOOR JOISTS OR TRUSSES.

M. DRAWING: DRAWINGS SHALL BE SUBMITTED THREE COPIES OF ALL SHOP DRAWINGS, ALL FABRICATED ITEMS AND EQUIPMENT FOR ARCHITECTS REVIEW PRIOR TO FABRICATION AND COMMENCEMENT OF THE WORK.

N. CABINET SUPPLIER SHALL PROVIDE SHOP DRAWINGS.

O. WINDOW AND DOOR SUPPLIER SHALL PROVIDE SHOP DRAWINGS.

SECTION AND DETAILS

A. ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE U.N.O.

PLUMBING FIXTURES

148 Bal Bay Residence

148 Bal Bay Drive
Bal Harbour, FL 33154



Eneida Pinon PLLC
Architecture and Design

9099 NW 165th Terrace
Miami Lakes, FL 33018
USA

Tel 305.331.7759

| △ Date Description

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2026.01.23
08:43:12-05'00'
STATE OF FLORIDA
ENEIDA PINON
— * —
AR99209
REGISTERED ARCHITECT

Project Name

148 BAL BAY
RESIDENCE
Project Number

25006

Description

Existing Photographs

Scale

A002.

DRAWING NO. ____ OF ____

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148 Bal Bay Residence

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134 BAL BAY DRIVE



152 BAL BAY DRIVE



139 BAL BAY DRIVE



145 BAL BAY DRIVE

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Project Name

148 BAL BAY
RESIDENCE
Project Number

25006

Description

Neighboring Homes

Scale

A003.

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AERIAL VIEW



STREET ELEVATION



AERIAL VIEW



WATERFRONT ELEVATION

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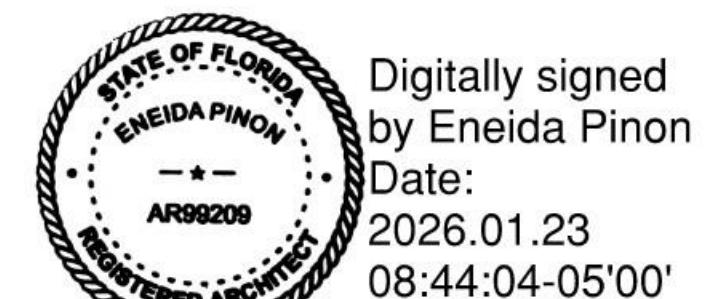
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Project Name

148 BAL BAY
RESIDENCE
Project Number

25006

Description

Renderings

Scale

A010.

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GROUND FLOOR POOL AREA VIEW (NE)



SECOND FLOOR WATERFRONT VIEW



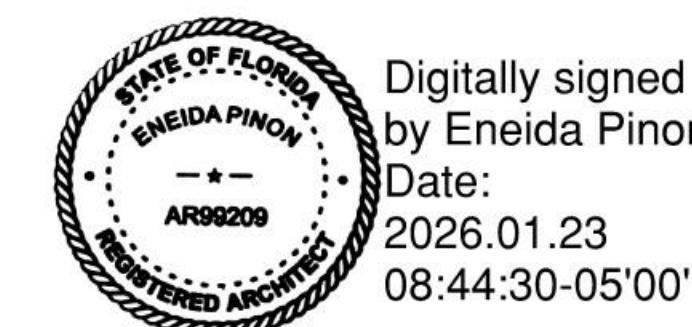
GROUND FLOOR CORNER VIEW (NW)



STREET VIEW

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Project Name

148 BAL BAY
RESIDENCE
Project Number

25006

Description
Renderings

Scale

A011.

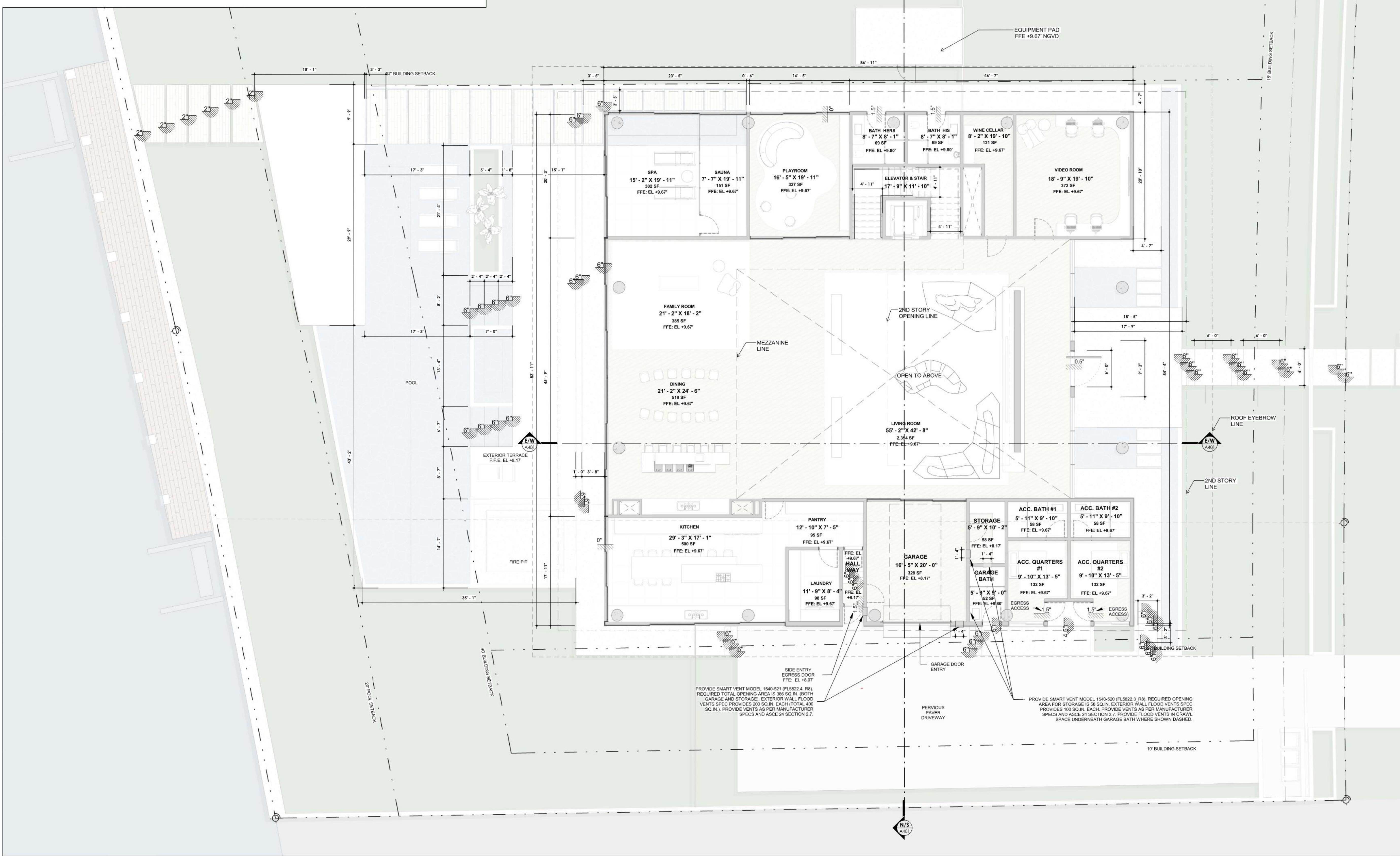
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FLOOD CRITERIA LEGEND

FEMA FLOOD ZONE: AE
 CURRENT FIRM PANEL (2009): 12086C0144L
 CURRENT BASE FLOOD ELEVATION: EL +8.00' NGVD29 / +6.33' NAVD88
 PROPOSED FEMA UPDATED BASE FLOOD ELEVATION: EL +8.67' NGVD29 / +7.00' NAVD88
 DESIGN FLOOD ELEVATION: EL +9.67' NGVD29 / +8.00' NAVD88
 PROPOSED FINISHED FIRST FLOOR ELEVATION: EL +9.67' NGVD29 / +8.00' NAVD88
 PROPOSED GARAGE/STORAGE ELEVATION: EL +8.17' NGVD29 / +6.50' NAVD88
 LOWEST ELEVATION OF EQUIPMENT PADS: EL +9.67' NGVD29 / +8.00' NAVD88

NOTE:
 - ASCE 24 RISK CATEGORY II, FLOOD DESIGN CLASS 2
 - THE FIRST FLOOR ELEVATION OF ALL SINGLE- AND MULTIPLE-FAMILY DWELLINGS WEST OF BAL HARBOUR BOULEVARD SHALL BE NOT LESS THAN 30 INCHES ABOVE THE ELEVATION OF THE CENTER OF THE STREET UPON WHICH THE LOT FACES.
 THE CENTER OF THE STREET IS THE POINT WHICH IS 15 INCHES ABOVE THE ELEVATION OF THE CENTER OF THE STREET UPON WHICH LOT FACES.
 - ALL ELEVATIONS ARE PROVIDED IN NGVD29, U.N.O. TO CONVERT TO NAVD88 AT THIS LOCATION, SUBTRACT 1.67' FROM NGVD29.
 - BUILDING TO BE COMPLY WITH FBC-R 322, FBC 107.3.5, 1612.3.1, AND ASCE 24-14.



FLOOD CRITERIA LEGEND

FEMA FLOOD ZONE: AE
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 PROPOSED GARAGE/STORAGE ELEVATION: EL +8.17' NGVD29 / +6.50' NAVD88
 LOWEST ELEVATION OF EQUIPMENT PADS: EL +9.67' NGVD29 / +8.00' NAVD88

LOWEST ADJACENT GRADE: EL +3.99' NGVD29 / +2.32' NAVD88
 HIGHEST ADJACENT GRADE: EL +7.83' NGVD29 / +6.16' NAVD88
 HIGHEST CROWN OF ROAD: EL +5.23' NGVD29 / +3.56' NAVD88
 NOTE:
 - ASCE 24 RISK CATEGORY II, FLOOD DESIGN CLASS 2
 - THE FIRST FLOOR ELEVATION OF ALL SINGLE- AND MULTIPLE-FAMILY DWELLINGS WEST OF BAL HARBOUR BOULEVARD SHALL BE NOT LESS THAN 30 INCHES ABOVE THE ELEVATION OF THE CENTER OF THE STREET UPON WHICH THE LOT FACES. THE CENTER OF THE STREET IS THE LINE LOCATED 15 INCHES ABOVE THE ELEVATION OF THE CENTER OF THE STREET UPON WHICH LOT FACES.
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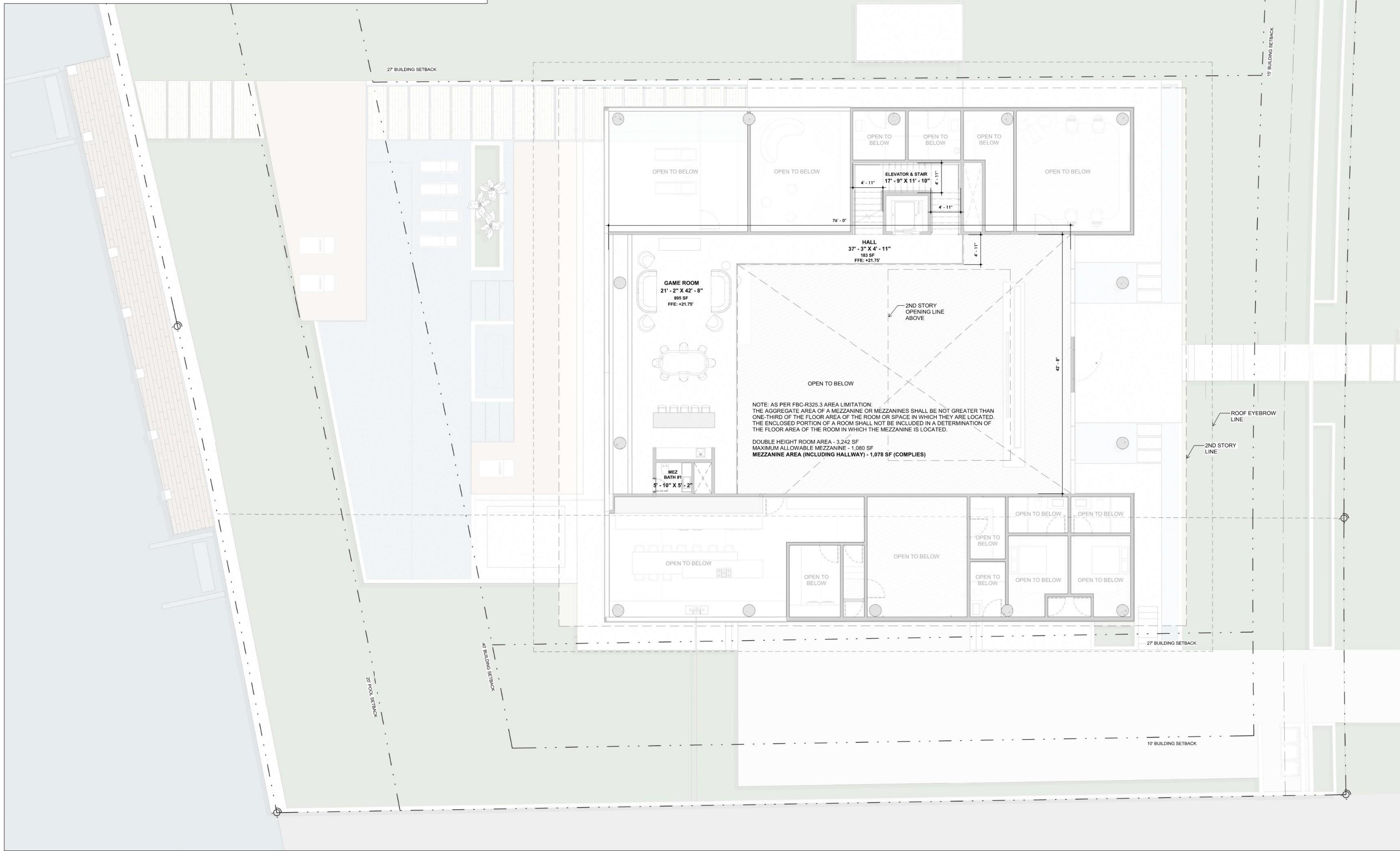
148 Bal Bay Residence

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 Architecture and Design

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 USA

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FLOOD CRITERIA LEGEND

FEMA FLOOD ZONE: AE
 CURRENT FIRM PANEL (2009): 12086C0144L
 CURRENT BASE FLOOD ELEVATION: EL +8.00' NGVD29 / +6.33' NAVD88
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NOTE:
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 -THE FIRST FLOOR ELEVATION OF ALL SINGLE- AND MULTIPLE-FAMILY DWELLINGS WEST OF BAL HARBOUR BOULEVARD SHALL BE NOT LESS THAN 30 INCHES ABOVE THE ELEVATION OF THE CENTER OF THE STREET UPON WHICH THE LOT FACES. THE ELEVATION OF THE CENTER OF THE STREET UPON WHICH THE LOT FACES IS THE ELEVATION OF THE CENTER OF THE STREET UPON WHICH LOT FACES.
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 -BUILDING TO BE COMPLY WITH FBC-R 322, FBC 107.3.5, 1612.3.1, AND ASCE 24-14.

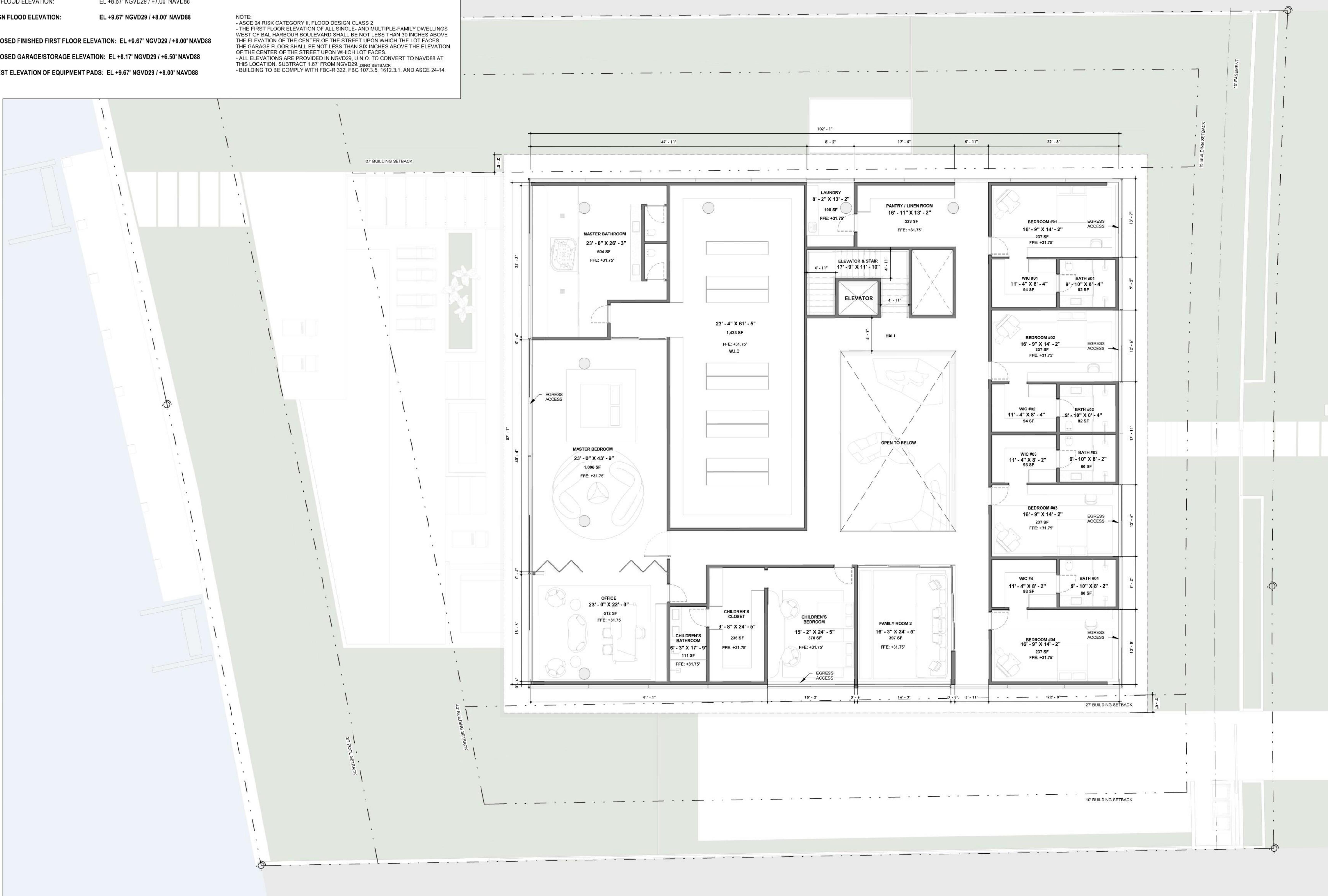
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Project Name

148 BAL BAY
RESIDENCE
Project Number

25006

Description
Second Floor Plan - Dimensioned

Scale

1/8" = 1'-0"

A202.

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FLOOD CRITERIA LEGEND

FEMA FLOOD ZONE:	AE
CURRENT FIRM PANEL (2009):	12086C0144L
CURRENT BASE FLOOD ELEVATION:	EL +8.00' NGVD29 / +6.33' NAVD88
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NOTE:
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148 Bal Bay Residence

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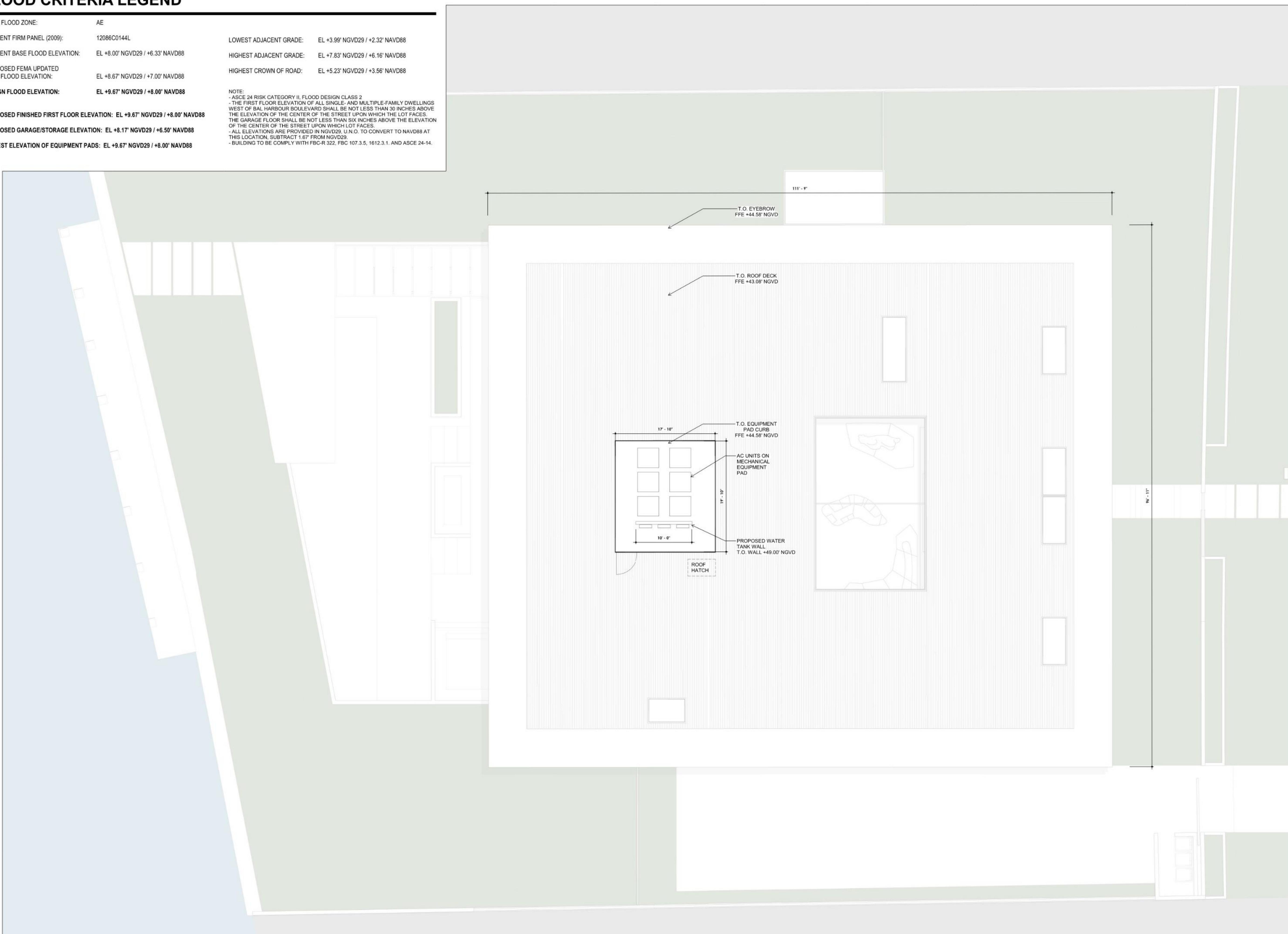
25006
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Roof Plan
| Scale _____

1/8" = 1'-0"
A203.

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Roof plan - Dimensioned
ESC: 1/8" = 1'-0"

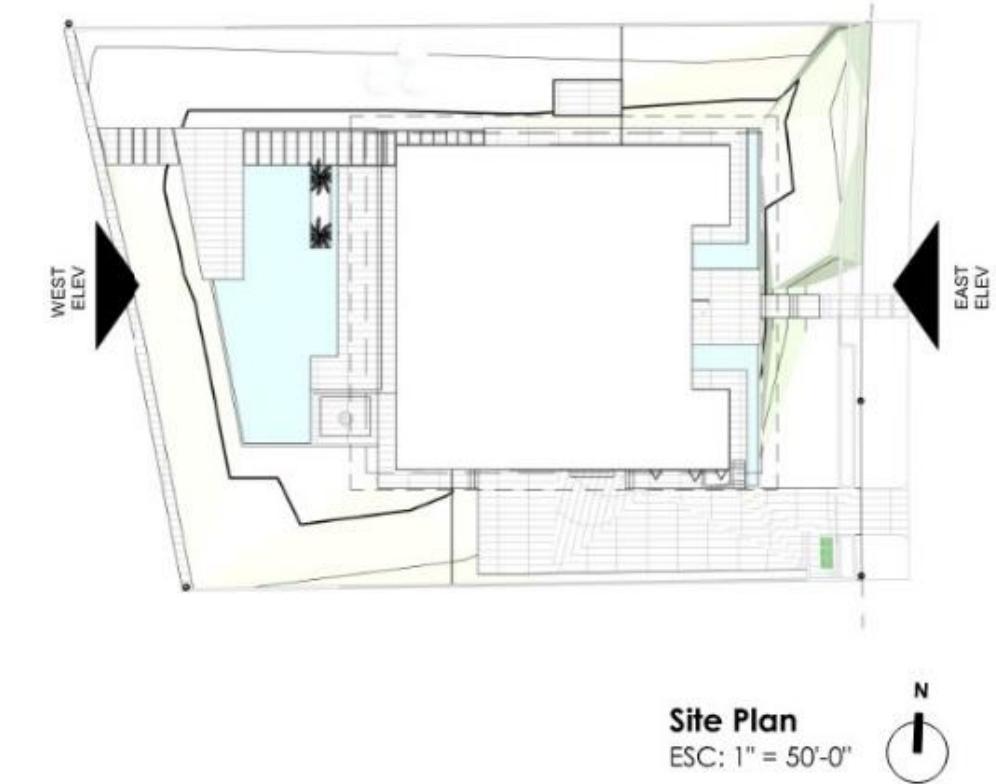
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Architecture and Design

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USA

Tel 305.331.7759



Site Plan
ESC: 1" = 50'-0"

MATERIALS AND SPECIFICATIONS		
	01	IMPACT RATED PIVOT DOOR IN MATTE BLACK - FL41358 R4
	02	EXTERIOR STAMPED CONCRETE FINISH (PLANK BOARD LOOK)
	03	IMPACT RATED GLASS PANEL RAIL - NOA 24-0423.02
	04	IMPACT RATED GLASS DOOR IN MATTE BLACK FRAME WITH MIRROR GLASS- TITONI FL47337.1
	05	CUSTOM GARAGE DOOR - SCHWEISS BIFOLD DOOR WITH METAL SHEET CLADDING (SEE GENERAL NOTE 17 ON SHEET A100)
	06	MATTE BLACK PERFORATED METAL CLADDING - FL42048 R1
	07	IMPACT RATED GLASS DOOR AND FIXED IN MATTE BLACK FRAME WITH MIRROR GLASS- TITONI FL47337.1 + FL47331.1

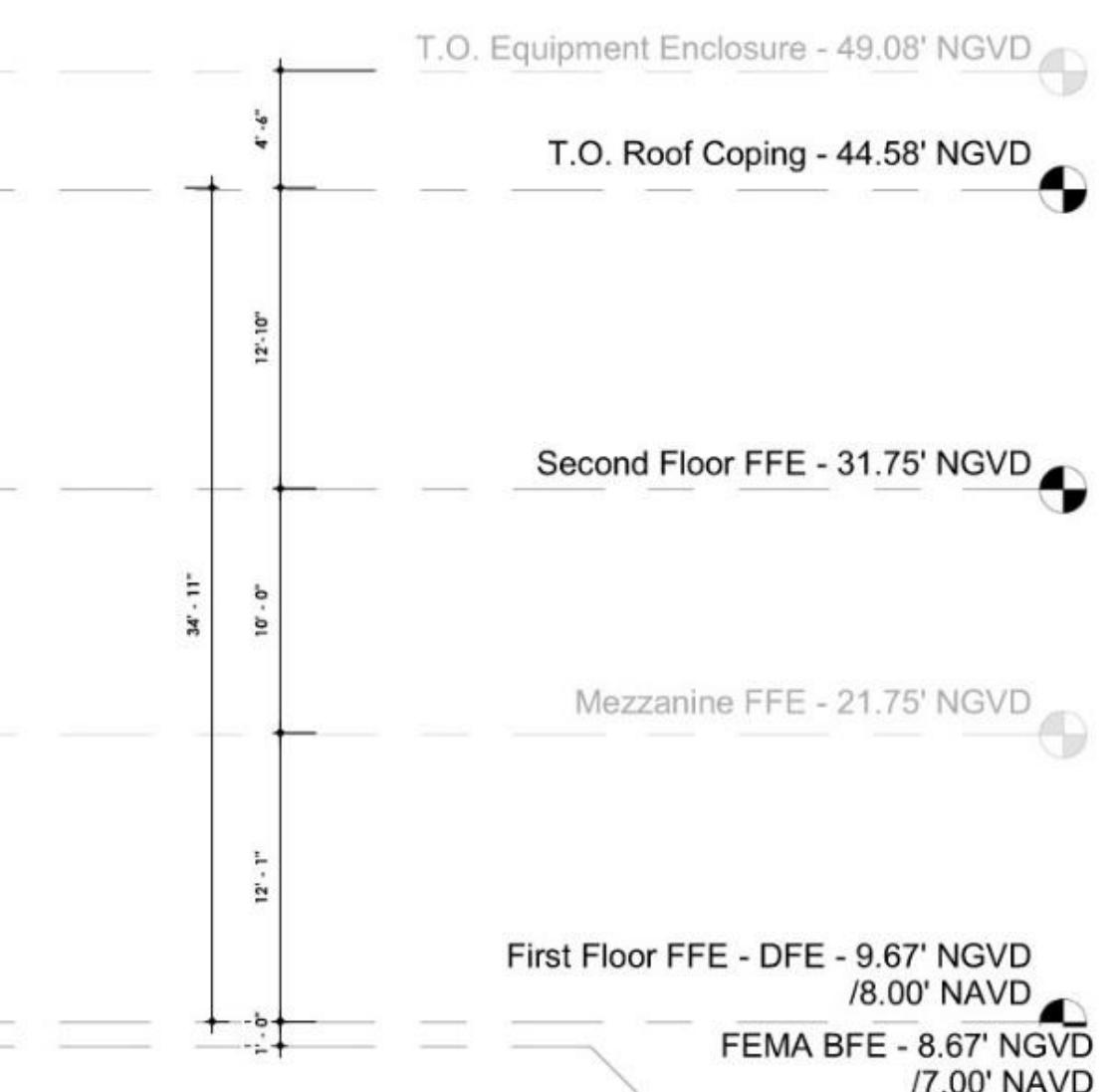
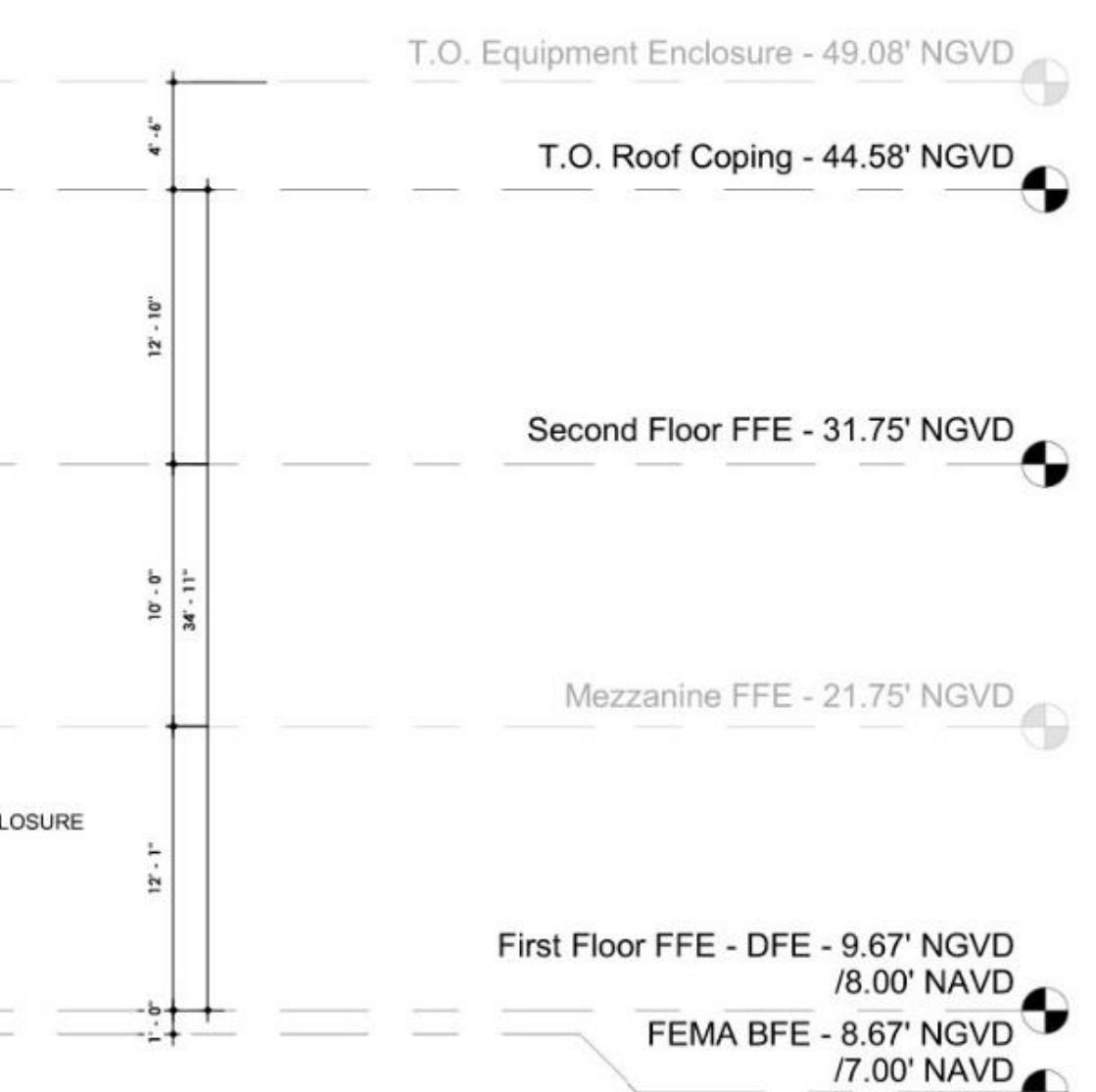
MATERIALS AND SPECIFICATIONS		
	08	IMPACT RATED FIXED GLASS WITH MIRROR GLASS - TITONI FL47331.1
	09	IMPACT RATED HORIZONTAL ROLLER WINDOWS - NOA 23-0707.06
	10	SMALL IMPACT RATED SKYLIGHTS ON ROOF - NOA 24-0624.05 LARGE IMPACT RATED SKYLIGHT ON ROOF - NOA 24-0109.03
	11	EXTERIOR LIGHT GUAGE FRAMING BY SPECIALTY ENGINEER TO GIVE APPEARANCE OF MATTE BLACK METAL C CHANNEL
	12	EXTERIOR DOORS - FL15210.10
	13	PERVIOUS PAVERS - TECHO-BLOC HYDRA PAVERS IN GREY
	14	ROOF - NOA 23-0616.04 ROOF ASSEMBLY, SYSTEM TYPE C(1).



Street (East) Elevation
ESC: 1/8" = 1'-0"

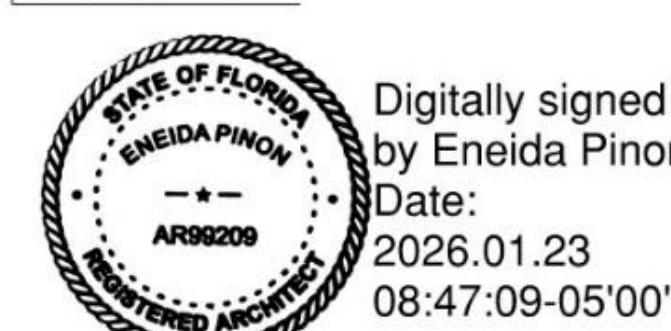


Seawall (West) Elevation
ESC: 1/8" = 1'-0"



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Project Name

148 BAL BAY
RESIDENCE

Project Number

25006

Description

Elevations - Front/Rear

Scale

As indicated

A301.

DRAWING NO. _____ OF _____

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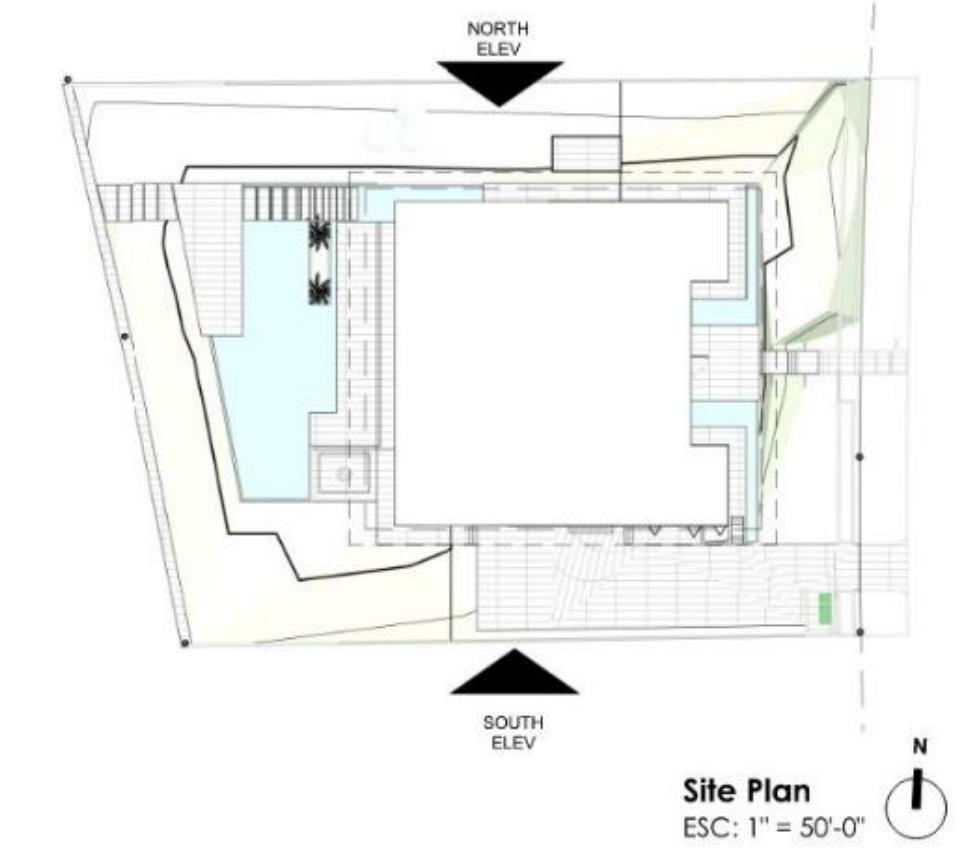
148 Bal Bay Residence

148 Bal Bay Drive
Bal Harbour, FL 33154

Eneida Pinon PLLC
Architecture and Design

9099 NW 165th Terrace
Miami Lakes, FL 33018
USA

Tel 305.331.7759

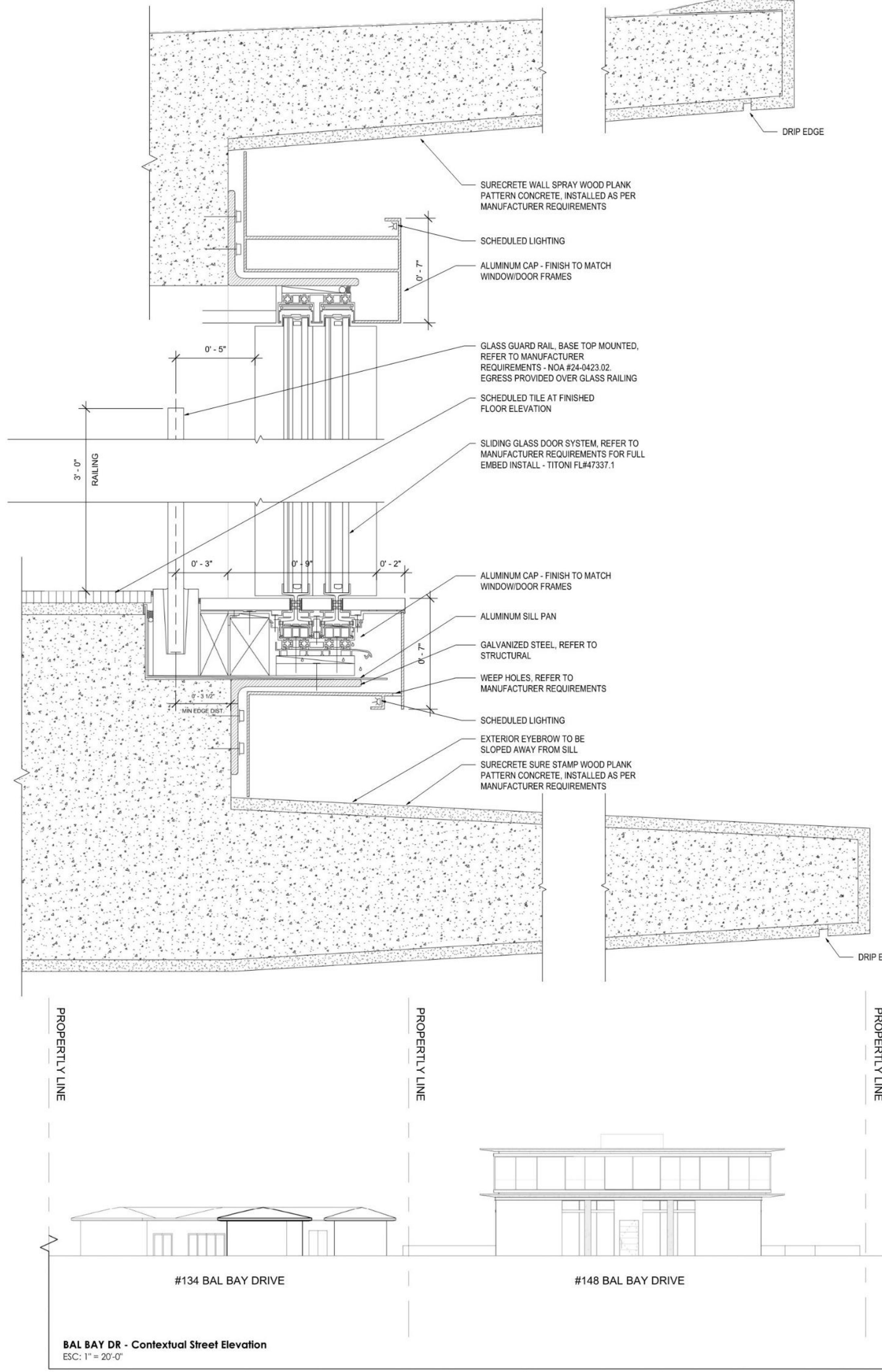


MATERIALS AND SPECIFICATIONS		
	01	IMPACT RATED PIVOT DOOR IN MATTE BLACK - FL41358 R4
	02	EXTERIOR STAMPED CONCRETE FINISH (PLANK BOARD LOOK)
	03	IMPACT RATED GLASS PANEL RAIL - NOA 24-0423.02
	04	IMPACT RATED GLASS DOOR IN MATTE BLACK FRAME WITH MIRROR GLASS- TITONI FL47337.1
	05	CUSTOM GARAGE DOOR - SCHWEISS BIFOLD DOOR WITH METAL SHEET CLADDING (SEE GENERAL NOTE 17 ON SHEET A100)
	06	MATTE BLACK PERFORATED METAL CLADDING - FL42048 R1
	07	IMPACT RATED GLASS DOOR AND FIXED IN MATTE BLACK FRAME WITH MIRROR GLASS- TITONI FL47337.1 + FL47331.1

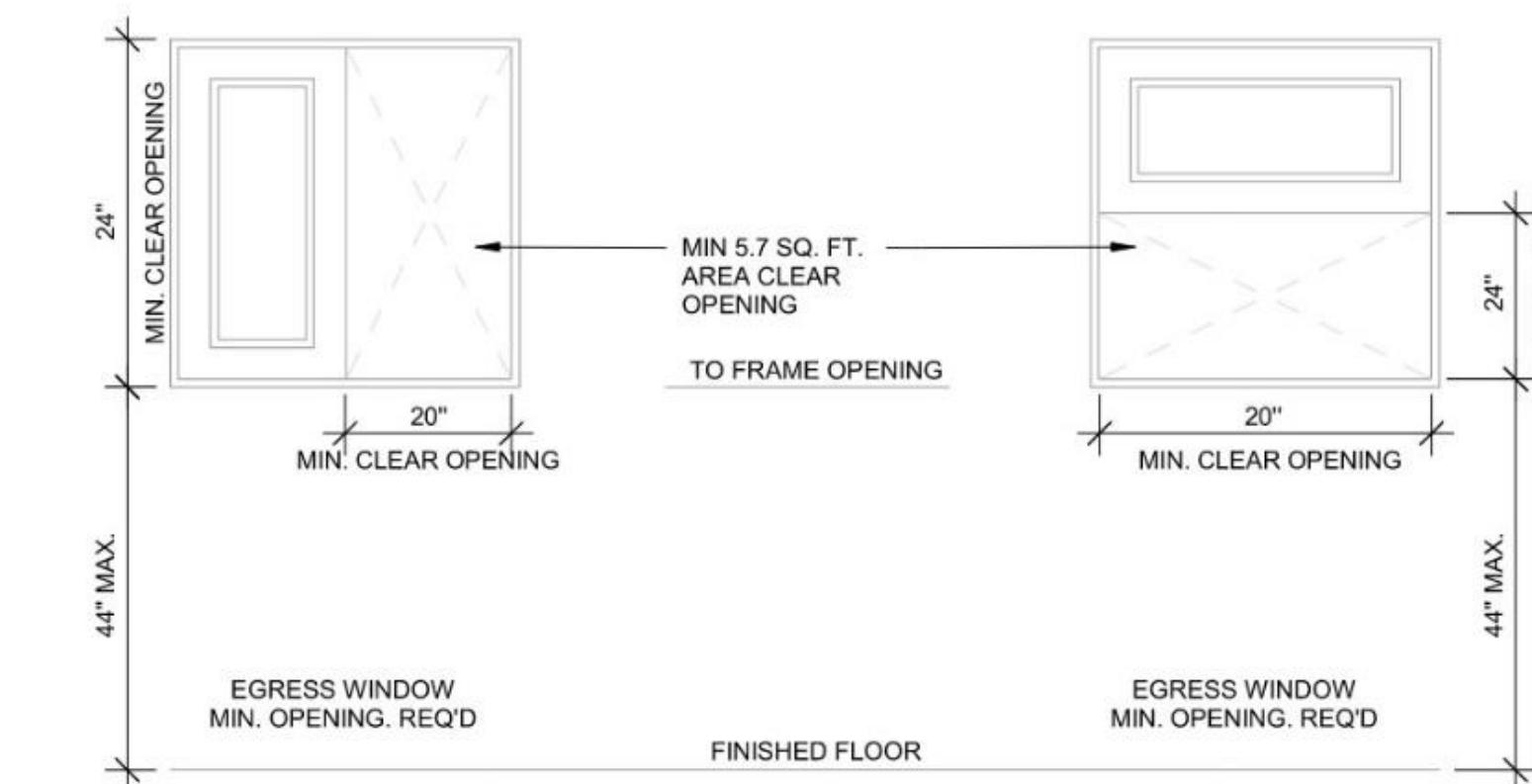
MATERIALS AND SPECIFICATIONS		
	08	IMPACT RATED FIXED GLASS WITH MIRROR GLASS - TITONI FL47331.1
	09	IMPACT RATED HORIZONTAL ROLLER WINDOWS - NOA 23-0707.06
	10	SMALL IMPACT RATED SKYLIGHTS ON ROOF - NOA 24-0624.05 LARGE IMPACT RATED SKYLIGHT ON ROOF - NOA 24-0109.03
	11	EXTERIOR LIGHT GUAGE FRAMING BY SPECIALTY ENGINEER TO GIVE APPEARANCE OF MATTE BLACK METAL C CHANNEL
	12	EXTERIOR DOORS - FL15210.10
	13	PERVIOUS PAVERS - TECHO-BLOC HYDRA PAVERS IN GREY
	14	ROOF - NOA 23-0616.04 ROOF ASSEMBLY, SYSTEM TYPE C(1).



TYPICAL BEDROOM WINDOW/DOOR PRELIMINARY DETAIL



EGRESS CODE DIAGRAM



SEE FLOOR PLAN FOR ADDITIONAL EGRESS NOTES DOORS AND DOORS LOCKS IN MEANS OF EGRESS SHALL COMPLY WITH F.B.C 8TH EDITION 2023 RESIDENTIAL EDITION SECTION R310

148 Bal Bay Residence

148 Bal Bay Drive
Bal Harbour, FL 33154

Eneida Pinon PLLC

9099 NW 165th Terrace
Miami Lakes, FL 33018
USA

Tel 305.331.7759

| △ Date Description

NOT FOR CONSTRUCTION

| Seal / Signature

Digitally signed
by Eneida
Pinon
Date:
2026.01.23
08:48:34 05'00'

Project Name

**148 BAL BAY
RESIDENCE**

25006

Description

As indicated

A303

DRAWING NO. 05

148 Bal Bay

Residence

148 Bal Bay Drive
Bal Harbour, FL 33154

Eneida Pinon PLLC
Architecture and Design

9099 NW 165th Terrace
Miami Lakes, FL 33018
USA

Tel 305.331.7759

Structural Engineer

MEP Engineer

Szauer Engineering, Inc.
Civil Engineer
7251 W Palmetto Park Rd, Ste 100 Tel 561.716.0159
Boca Raton, FL 33433
United States

Andres Montero Landscape Architecture
Landscape Architect
2300 E Oakland Park Blvd
Fort Lauderdale, FL 33306
United States

Tel 561.716.0159

△ Date Description

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Seal / Signature



Digitally signed
by Eneida Pinon
Date:
2026.01.23
08:48:48-05'00'

Project Name

148 BAL BAY
RESIDENCE

Project Number

25006

Description

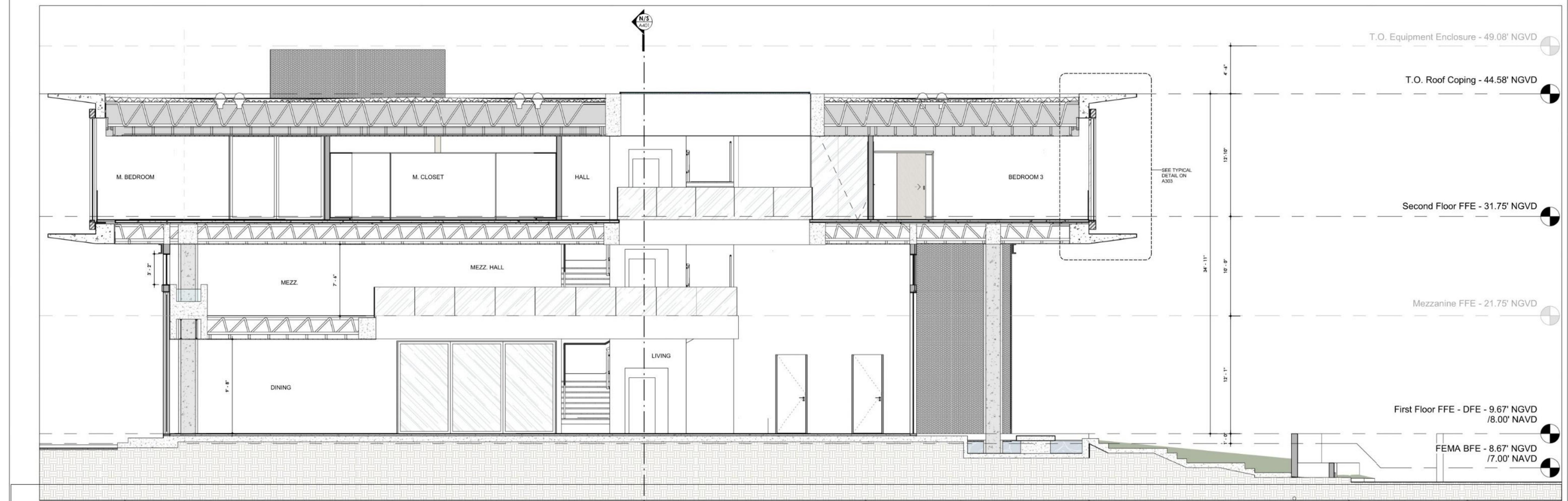
Building Sections

Scale

3/16" = 1'-0"

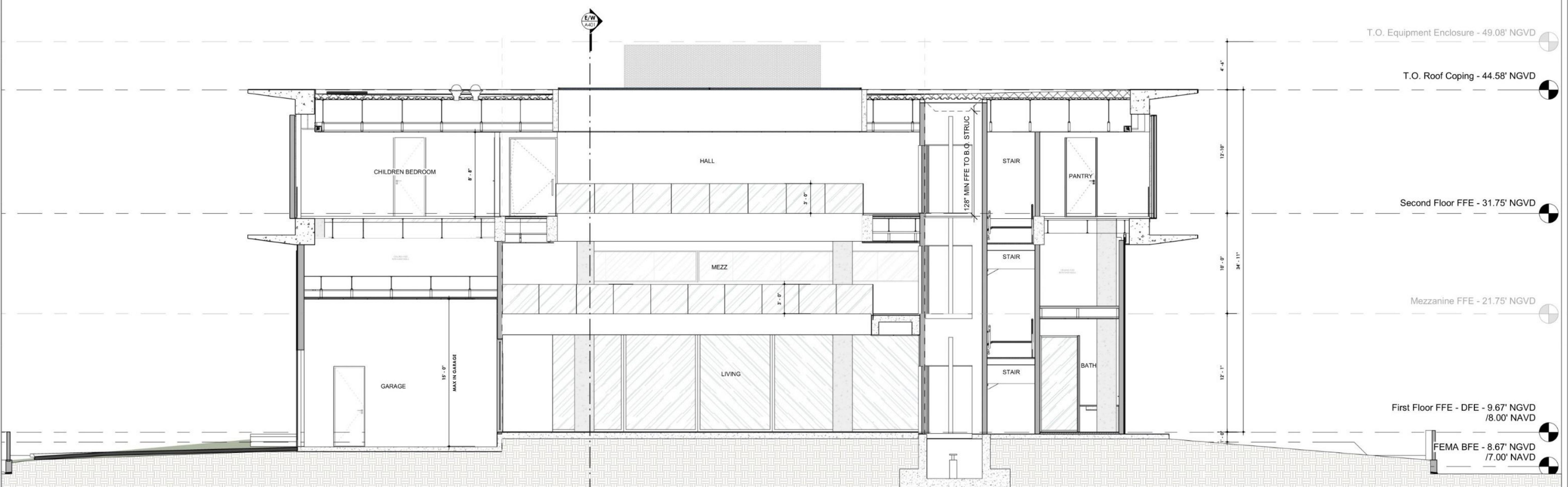
A401.

DRAWING NO. ____ OF ____



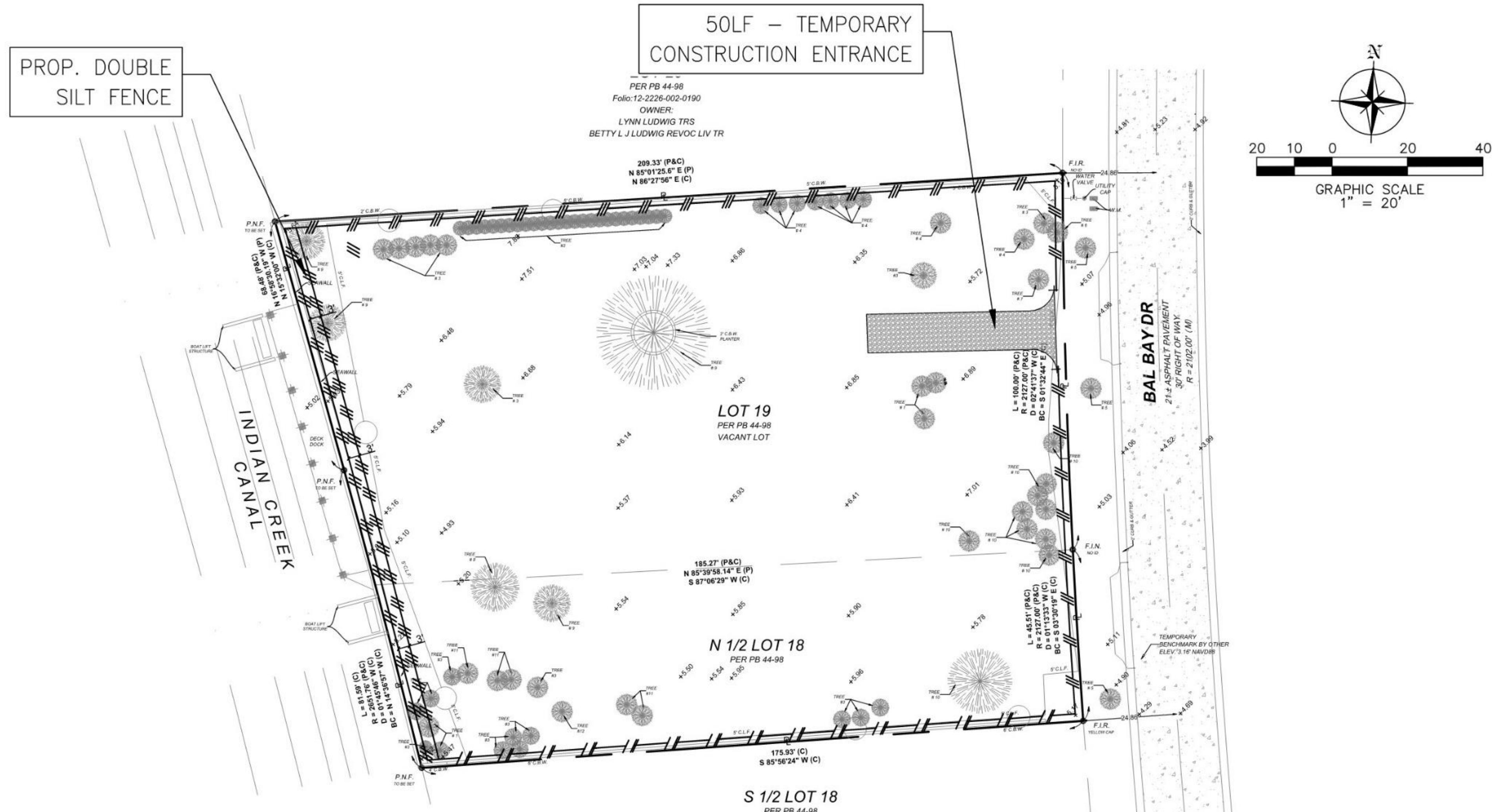
1 E/W SECTION

3/16" = 1'-0"



2 N/S SECTION

3/16" = 1'-0"



CONTRACTOR SHALL BE RESPONSIBLE
FOR PREVENTING SEDIMENT INTRUSION INTO
STORM WATER INLETS DURING CONSTRUCTION,
WHEN APPLICABLE.



LOCATION MAP
N.T.S.

GENERAL EROSION & SEDIMENTATION CONTROL NOTES

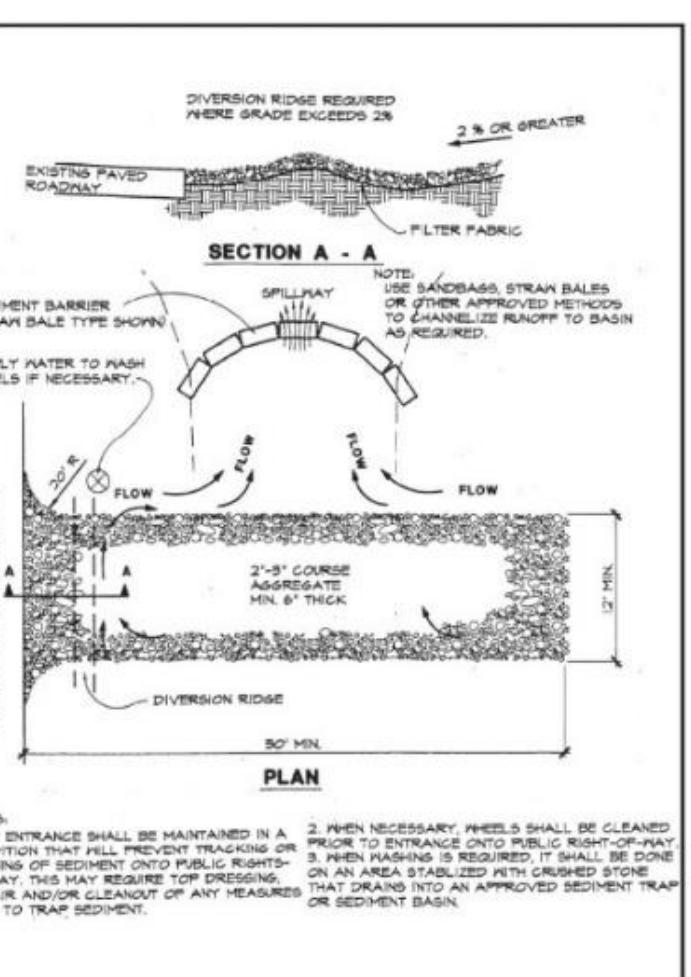
- A. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THIS STORM WATER POLLUTION PREVENTION PLAN. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- B. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- C. SITE MAP MUST CLEARLY DELINATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- D. CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN, OR AS REQUIRED BY THE APPLICABLE GENERAL PERMIT. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND / OR GRADING SHALL BE PERMITTED.
- E. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. CONTRACTOR SHALL CONSTRUCT TEMPORARY BERM ON DOWNSTREAM SIDES.
- F. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAILED AND PROPERLY TREATED OR DISPOSED.
- G. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- H. DUST ON THE SITE SHALL BE MINIMIZED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- I. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGHOUT THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- J. ALL DENUDED / BARE AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE, MUST BE STABILIZED IMMEDIATELY UPON COMPLETION OF MOST RECENT GRADING ACTIVITY, WITH THE USE OF FAST-GERMINATING ANNUAL GRASS / GRAN VARIETIES, STRAW / HAY MULCH OR WOOD CELLULOSE FIBERS, TACKIFIERS, NETTING OR BLANKETS.
- K. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE PLANS. THESE AREAS SHALL BE SEDED, SODDED, AND / OR VEGETATED IMMEDIATELY, AND NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND / OR LANDSCAPE PLAN.
- L. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO PREVENT TRACKING OF DIRT, DUST OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE ONLY USE INGRESS / EGRESS LOCATIONS AS PROVIDED.
- M. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- N. CONTRACTOR OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- O. ON-SITE AND OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- P. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- Q. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
- R. GENERAL CONTRACTOR IS TO DESIGNATE / IDENTIFY AREAS ON THE SITE MAPS, INSIDE OF THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
- S. WHEN INSTALLATION OF SILT FENCE IS PERFORMED, THE CONTRACTOR SHALL STABILIZE THE DISTURBED AREA ALONG THE DOWNWARD SLOPE BY SEEDING OR MULCHING AS CONDITIONS WARRANT.

BMP MAINTENANCE EROSION NOTES

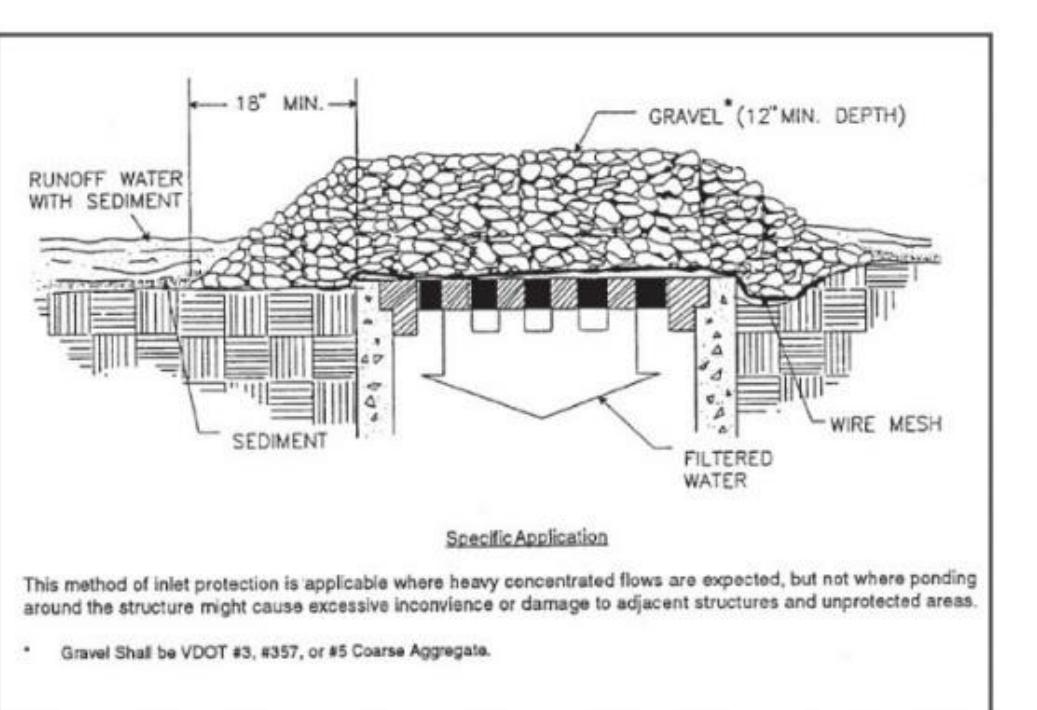
1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
2. ALL SEDED / SODDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED / RESODDED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
7. PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEANED OF DEBRIS, AND DEBRIS AND / OR SEDIMENT REACHING THE PUBLIC STREET SHALL BE CLEANED IMMEDIATELY BY A METHOD OTHER THAN FLUSHING.

WASHING AREAS

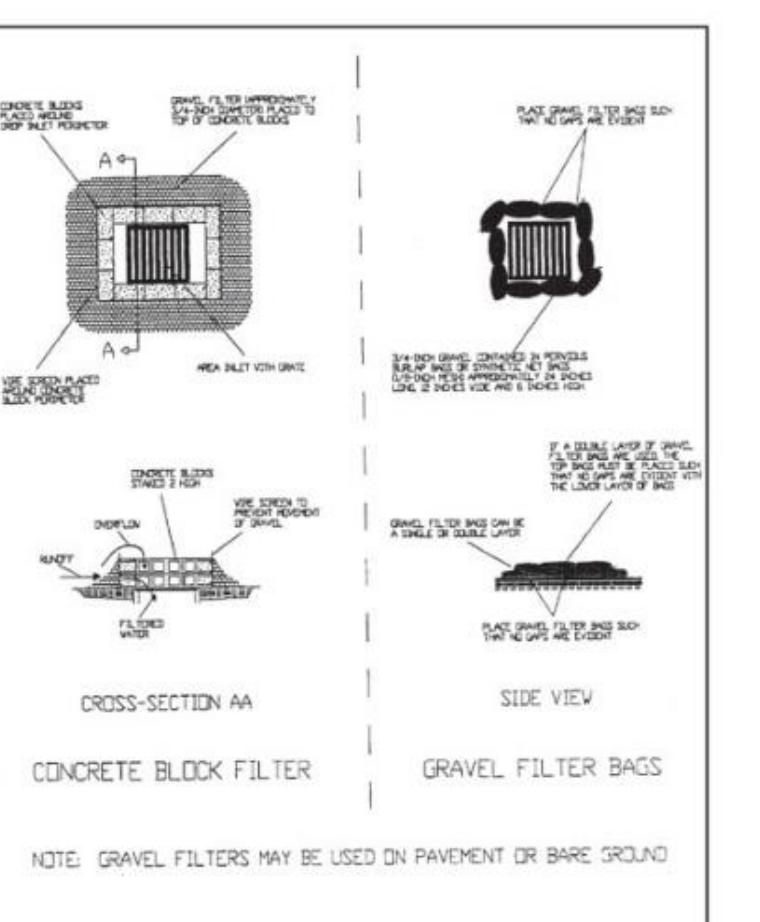
VEHICLES SUCH AS CEMENT OR DUMP TRUCKS AND OTHER CONSTRUCTION EQUIPMENT SHOULD NOT BE WASHED AT LOCATIONS WHERE THE RUNOFF WILL FLOW DIRECTLY INTO A WATERCOURSE OR STORMWATER CONVEYANCE SYSTEM. SPECIAL AREAS SHOULD BE DESIGNATED FOR WASHING VEHICLES. THESE AREAS SHOULD BE LOCATED WHERE THE WASH WATER WILL SPREAD OUT AND EVAPORATE OR INFILTRATE DIRECTLY INTO THE GROUND, OR WHERE RUNOFF CAN BE COLLECTED IN A TEMPORARY HOLDING OR SEEPAGE BASIN. WASH AREAS SHOULD HAVE GRAVEL BASES TO MINIMIZE MUD GENERATION.



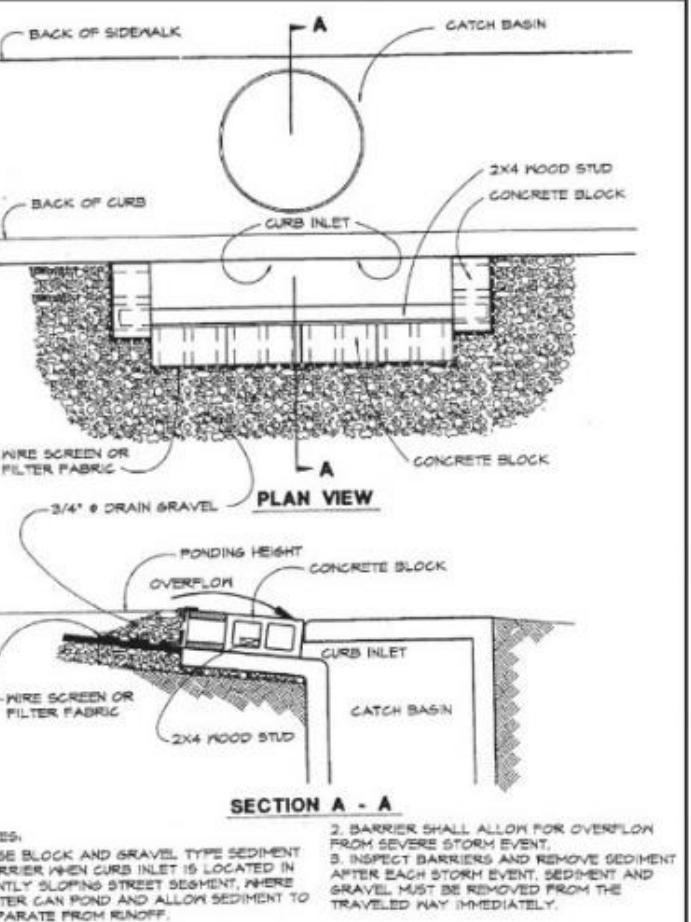
Temporary Gravel Construction Entrance
Scale: N.T.S.



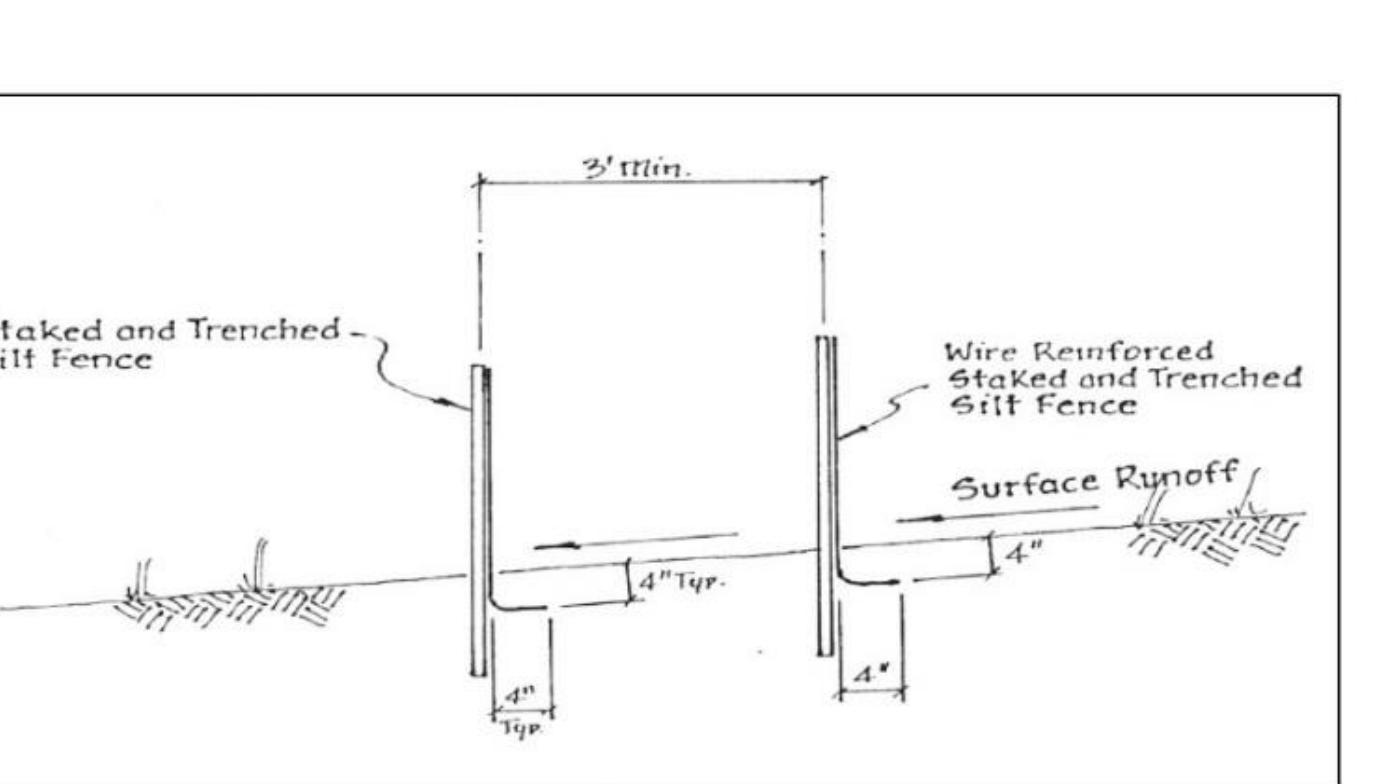
Gravel and Wire Mesh Drop Inlet
Sediment Filter
Scale: N.T.S.



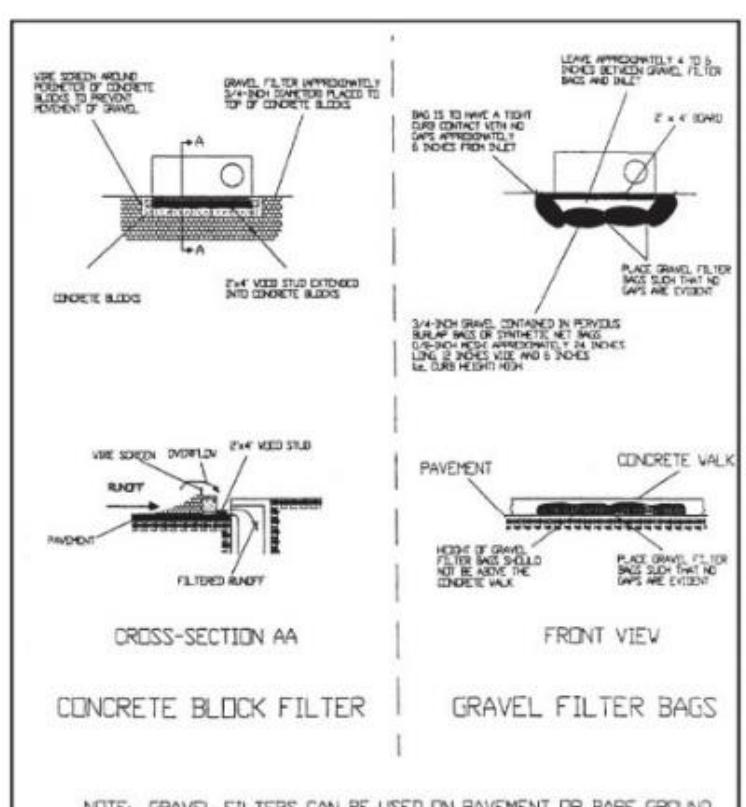
Gravel Filters for Area Inlets
Scale: N.T.S.



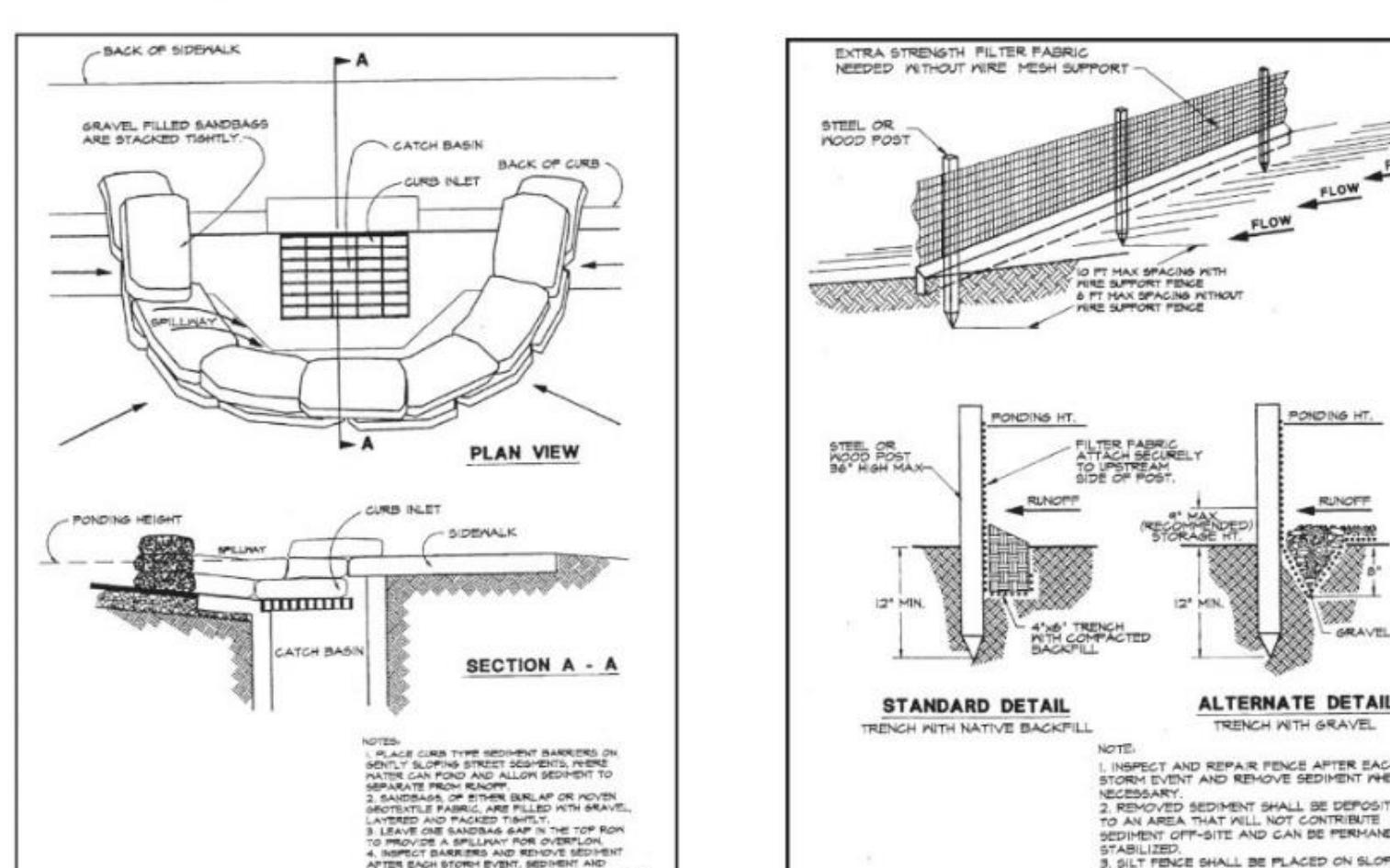
Block and Gravel Curb Inlet
Sediment Barrier
Scale: N.T.S.



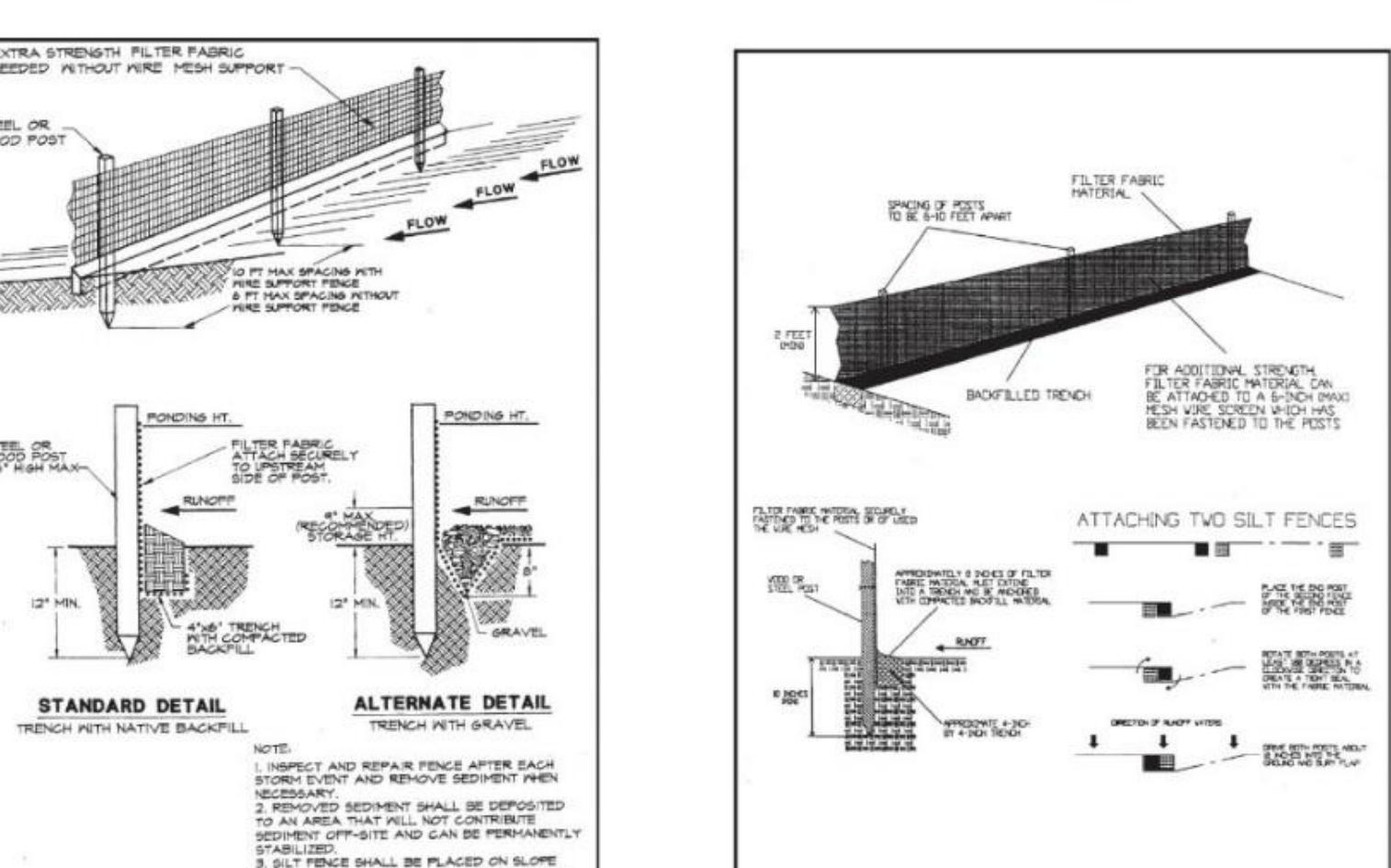
Staked and Trenched -
Silt Fence
Double Row Staked Silt Fence
Scale: N.T.S.



Curb Inlet Gravel Filters
Scale: N.T.S.



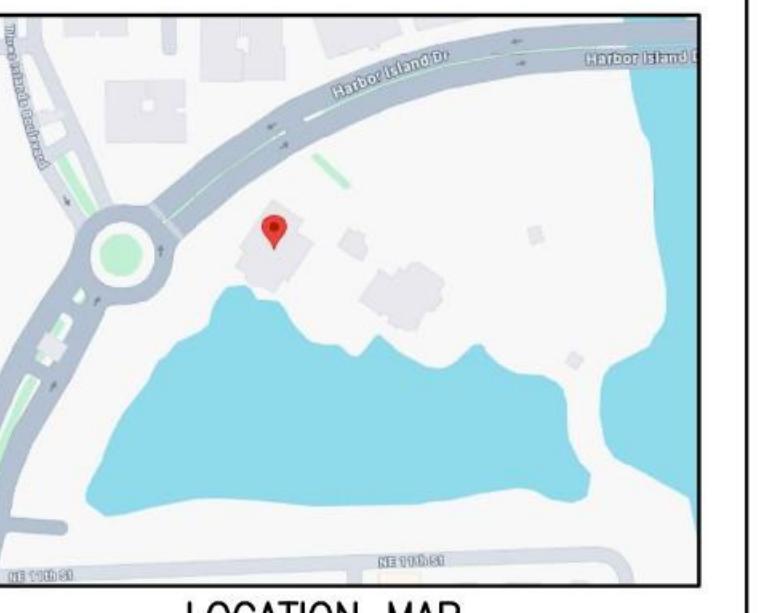
Curb Inlet Sediment Barrier
Scale: N.T.S.



Installing a Filter Fabric Silt Fence
Scale: N.T.S.

LEGEND
— PROPERTYLINE
- - - PROPOSED SILT FENCE

Designed by: JORGE M. SZAUER
Drawn by: J. JANSE
Revised & Sealed: JORGE M. SZAUER
Date: SEPTEMBER 2025
Scale: AS SHOWN
Job #: C-02
Sheet:



LOCATION MAP
N.T.S.

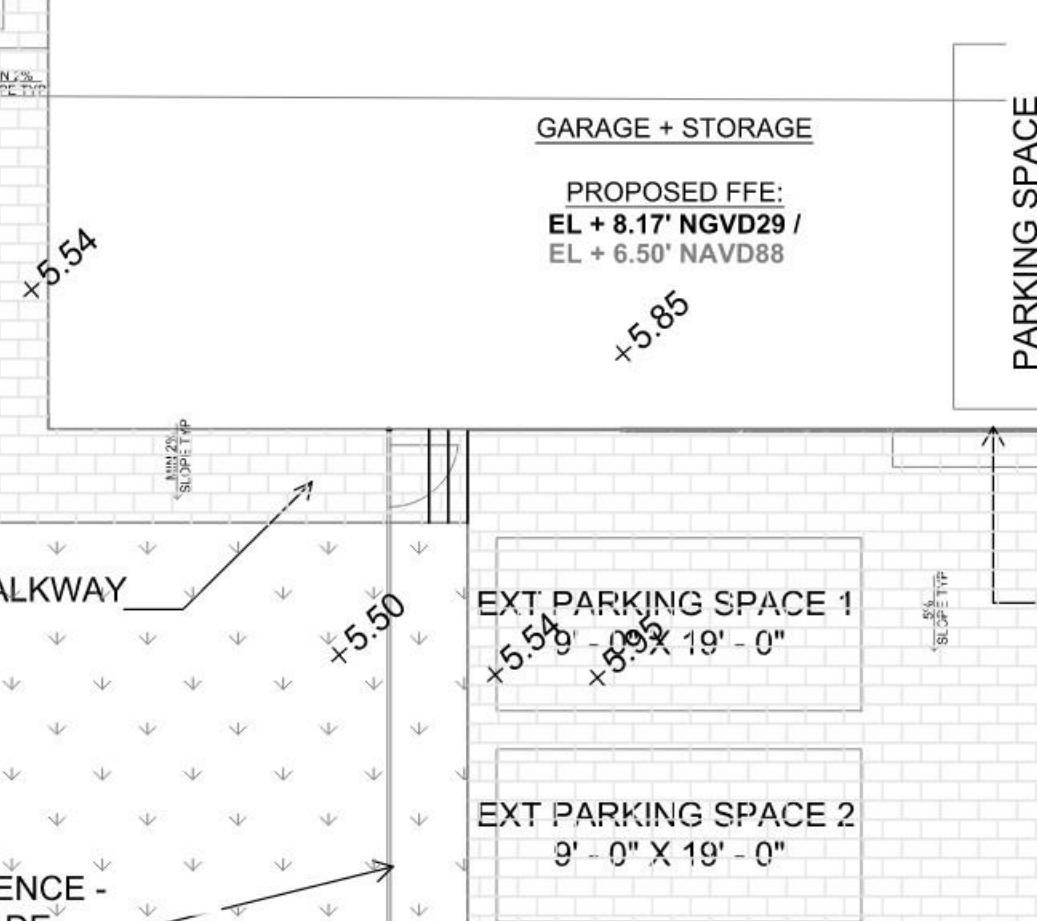
EXISTING WATER SERVICES &
WATER METERS TO REMAIN
(DOMESTIC & IRRIGATION)

PROP. REDUCED
PRESSURE ZONE BFP
PROP. PRESSURE
VACUUM BREAKER BFP

SEE PLUMBING PLANS
FOR CONTINUATION

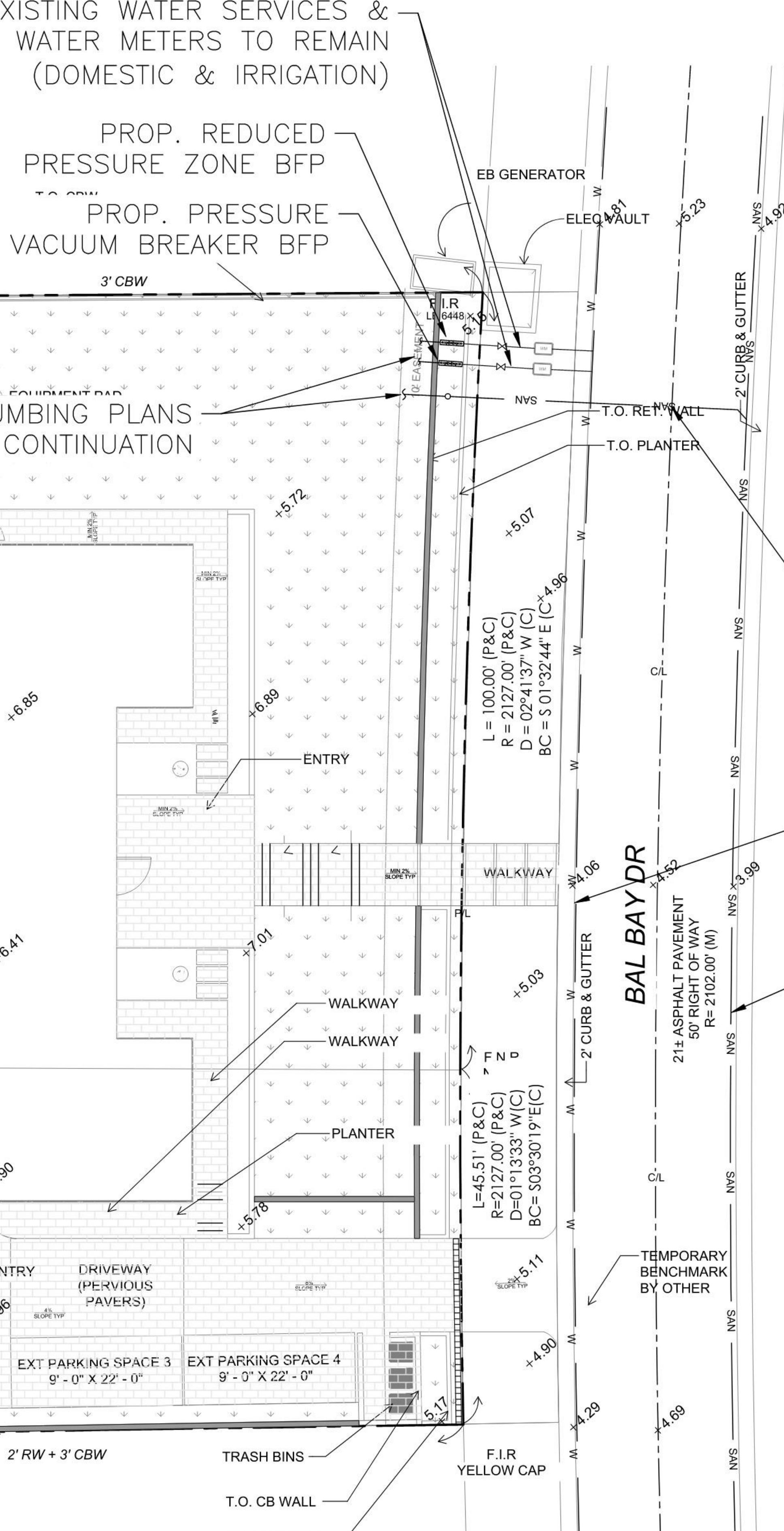
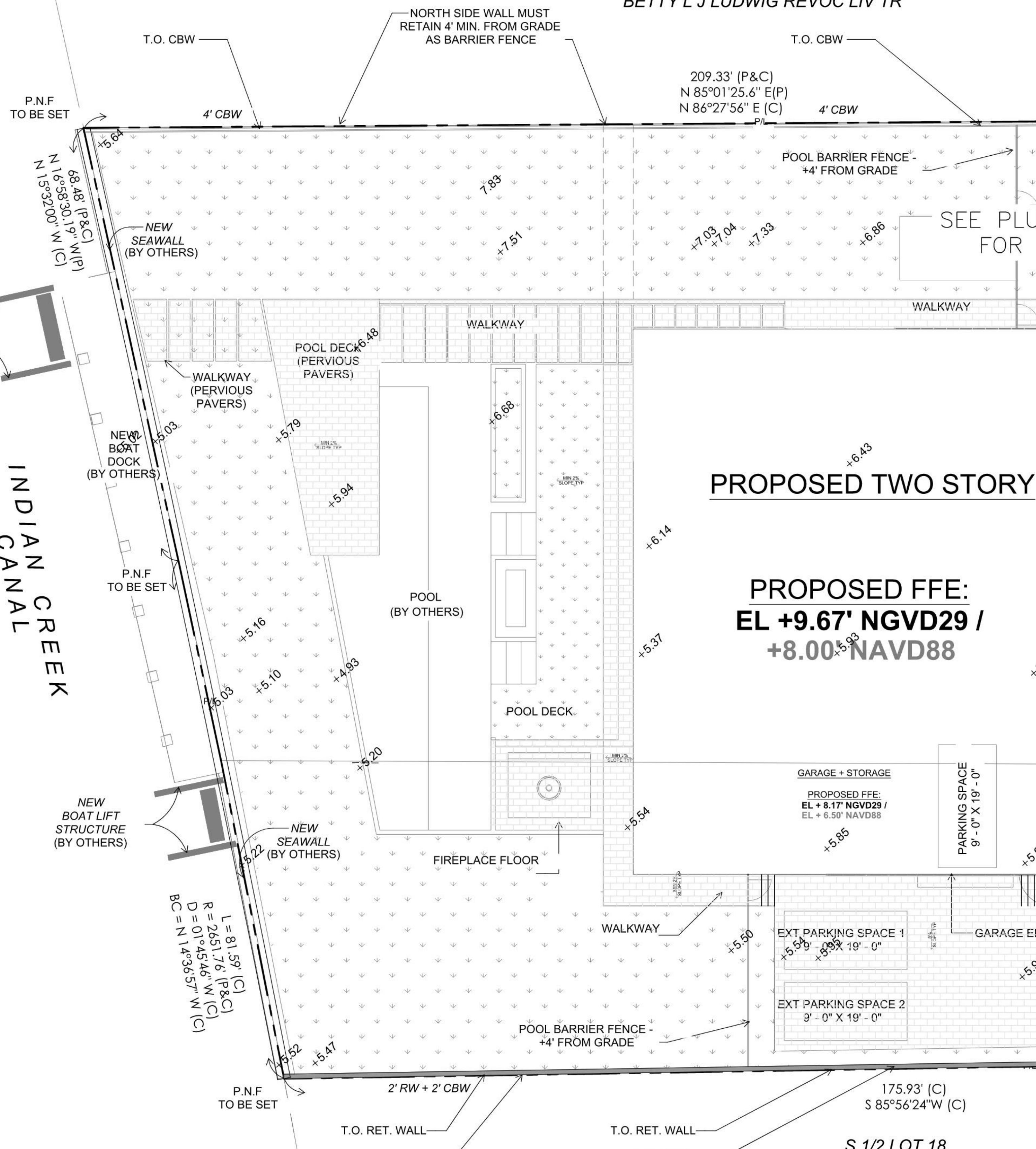
PROPOSED TWO STORY

PROPOSED FFE:
EL +9.67' NGVD29 /
+8.00' NAVD88



LOT 20
PER PB 44-98
Folio:12-2226-002-0190
OWNER: LYNN LUDWIG TRS
BETTY L J LUDWIG REVOC LIV TR

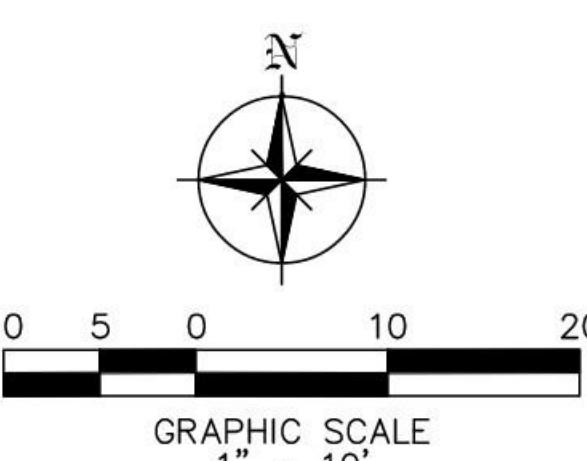
S 1/2 LOT 18
PER PB 44-98
Folio:12-2226-002-0170
OWNER: ROBERT B MONDSHINE &
W/ AIREI



EXISTING SEWER
LATERAL TO REMAIN

EXISTING
WATER MAIN

EXISTING
SAN
SEWER MAIN



LEGEND

- PROPERTY LINE
- GRASS
- PAVERS



LANDSCAPE ARCHITECTURE
LAND PLANNING
URBAN PLANNING
2300 E. OAKLAND PARK BLVD, SUITE 300
FORT LAUDERDALE, FLORIDA 33306 USA
TEL: 954.553.2259
www.ambstudio.com

ILLUSTRATIVE LANDSCAPE PLAN

Sheet Title:

Project Name:

PRIVATE RESIDENCE

148 BAL BAY DRIVE
BAL HARBOUR, FL 33151

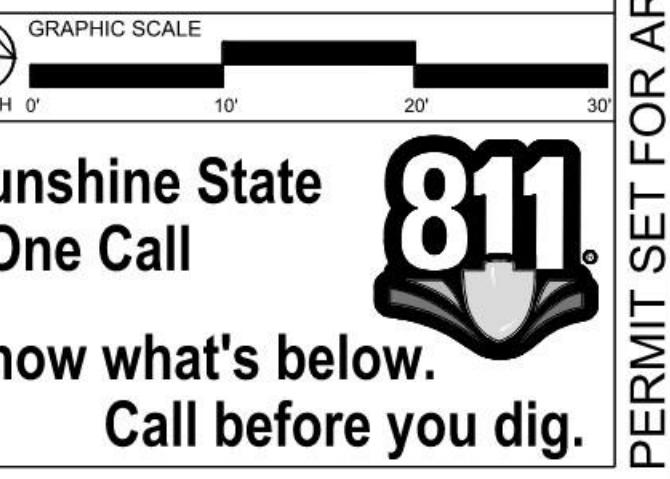
STATE OF FLORIDA
REGISTRATION LA688973

SEAL / SIGNATURE

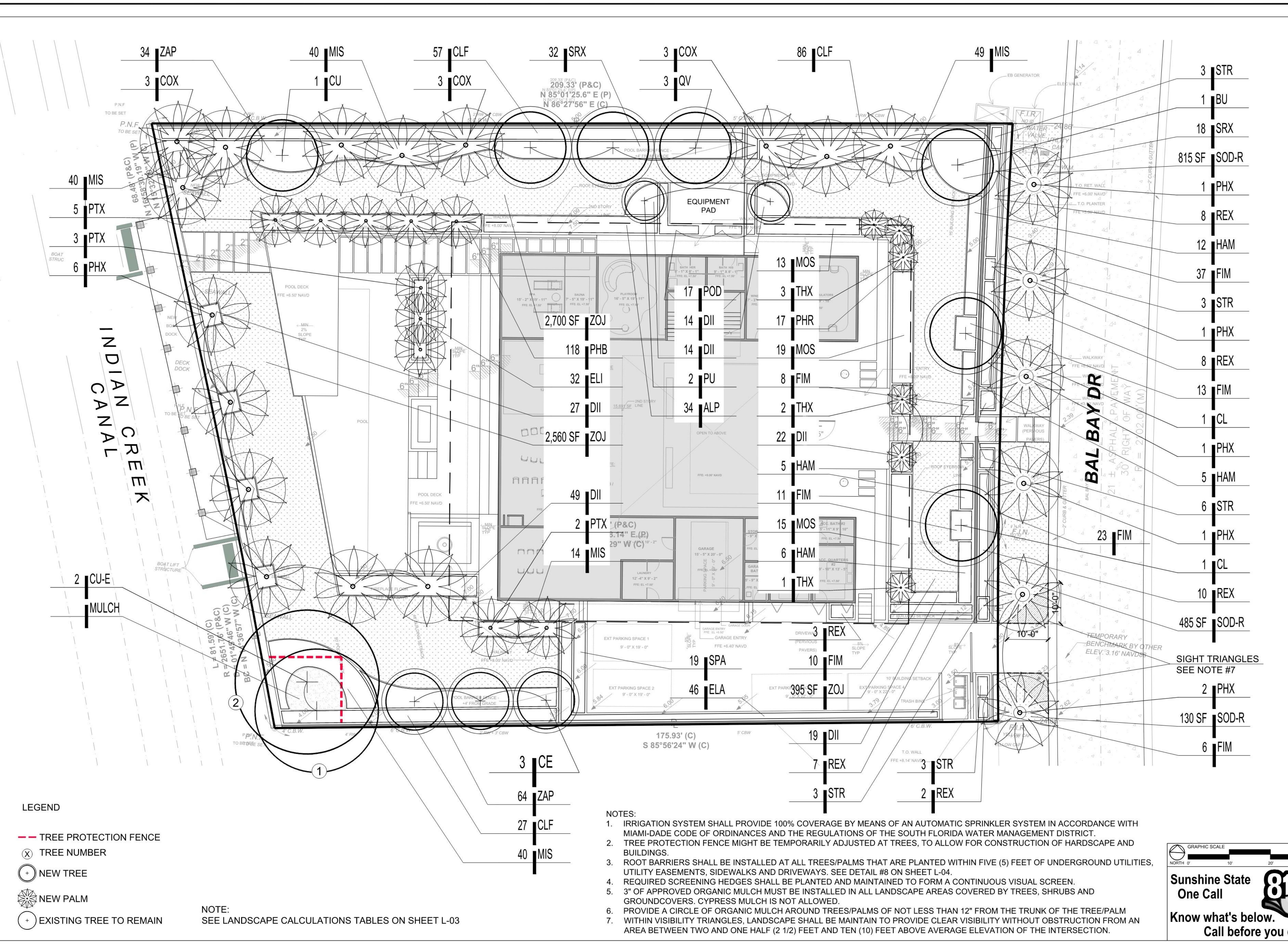
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Date: SEPTEMBER 20, 2025
Scale: 1" = 10'-0"
Drawn By: AEM/MEP
Approved By: AEM
Project No: 202523

Sheet Number:
L-00



PERMIT SET FOR ARB SUBMITTAL - NOT FOR CONSTRUCTION



LANDSCAPE ARCHITECTURE
LAND PLANNING
URBAN DESIGN
2300 E. OAKLAND PARK BLVD. SUITE 300
FORT LAUDERDALE, FLORIDA 33306 USA
TEL: 954.533.8259
www.amlastudio.com

Sheet Title:

Project Name: _____

ANDRES MONTERO, PLA, ASLA
STATE OF FLORIDA
REGISTRATION LA6666973

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<p>Date: SEPTEMBER 5, 2025</p>	
<p>Scale: 1" = 10'-0"</p>	
<p>Drawn By: AEM/MEP</p>	
<p>Approved By: AEM</p>	
<p>Project No: 202523</p>	

Sheet Number:
L-02

- NOTES:
- IRRIGATION SYSTEM SHALL PROVIDE 100% COVERAGE BY MEANS OF AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH MIAMI-DADE CODE OF ORDINANCES AND THE REGULATIONS OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT.
 - TREE PROTECTION FENCE MIGHT BE TEMPORARILY ADJUSTED AT TREES, TO ALLOW FOR CONSTRUCTION OF HARDSCAPE AND BUILDINGS.
 - ROOT BARRIERS SHALL BE INSTALLED AT ALL TREES/PALMS THAT ARE PLANTED WITHIN FIVE (5) FEET OF UNDERGROUND UTILITIES, UTILITY EASEMENTS, SIDEWALKS AND DRIVEWAYS. SEE DETAIL #8 ON SHEET L-04.
 - REQUIRED SCREENING HEDGES SHALL BE PLANTED AND MAINTAINED TO FORM A CONTINUOUS VISUAL SCREEN.
 - 3" OF APPROVED ORGANIC MULCH MUST BE INSTALLED IN ALL LANDSCAPE AREAS COVERED BY TREES, SHRUBS AND GROUNDCOVERS. CYPRESS MULCH IS NOT ALLOWED.
 - PROVIDE A CIRCLE OF ORGANIC MULCH AROUND TREES/PALMS OF NOT LESS THAN 12" FROM THE TRUNK OF THE TREE/PALM
 - WITHIN VISIBILITY TRIANGLES, LANDSCAPE SHALL BE MAINTAIN TO PROVIDE CLEAR VISIBILITY WITHOUT OBSTRUCTION FROM AN AREA BETWEEN TWO AND ONE HALF (2 1/2) FEET AND TEN (10) FEET ABOVE AVERAGE ELEVATION OF THE INTERSECTION.

Plant List								
QT	code	species	common name	drought tolerance			container size	spacing
				native	specifications			
NEW & EXISTING TREES								
1	BU	Bursera simaruba	Gumbo Limbo	High	yes	16' ht. 5" DBH. 8' Spr. 6' CT. Std.	FG	as shown
3	CE	Conocarpus erectus	Green Buttonwood	High	yes	16' ht. 5" DBH. 8' Spr. 6' CT. Std.	FG	as shown
2	CL	Clusia rosea	Pitch Apple	High	yes	16' ht. 4" DBH. 8' Sprd. 6' CT. Std.	FG	as shown
1	CU	Coccoloba uvifera	Sea Grape Tree	High	yes	16' ht. 4" DBH. 8' Sprd. 6' CT. Std.	FG	as shown
2	CU-E	Coccoloba uvifera	Sea Grape Tree	High	yes	Trees #1, #2	Existing	
2	PU	Pandanus utilis	Screwpine	Medium	no	9' O.A. Multi-Trunk.	FG	as shown
3	QV	Quercus virginiana	Live Oak	High	yes	16' ht. 4" DBH. 6' Sprd. 6' CT. Std.	FG	as shown
NEW PALMS								
9	COX	Cocos nucifera	Coconut Palm	High	no	8' CT/ Heavy/ Straight trunk/16' O.A. min.	FG	as shown
12	PHX	Phoenix sylvestris	Silvester Date Palm	High	no	10' CT/ Heavy/ Straigh trunk/16' O.A. min.	FG	as shown
10	PTX	Ptychosperma elegans	Alexander Palm	Medium	no	14' O.A./Double	FG	as shown
6	THX	Thrinax radiata	Florida Thach Palm	High	yes	6-7' OA./Full head	FG	as shown
SHRUBS & GROUNDCOVERS								
34	ALP	Alpinia zerumbet	Shell Ginger	Low	no	30" O.A.	3 Gal.	30" O.C.
170	CLF	Clusia flava	Small Leaf Clusia	High	yes	36" Ht.	7 Gal.	30" O.C.
145	DII	Dieteria idioiodes	African Iris	Medium	no	18" O.A./ Full Clump	3 Gal.	24" O.C.
46	ELA	Elaeocarpus decipiens	Japanese Blueberry	Medium	no	5' ht. Low Branched	15 Gal.	30" O.C.
32	ELI	Ernodea littoralis	Golden Beach Creeper	High	yes	12' ht. 12 spr.	3 Gal.	18" O.C.
108	FIM	Ficus microcarpa 'Green Island'	Green Island Ficus	High	no	18" O.A.	7 Gal.	24" O.C.
28	HAM	Hamelia nodosa	Dwarf Firebush	Medium	yes	24" ht. 24" spr.	3 Gal.	36" O.C.
47	MOS	Monstera deliciosa	Swiss Cheese Plant	Medium	no	24" Ht. 24" Spr.	7 Gal.	36" O.C.
183	MIS	Misanthus sinensis 'Adagio'	Adagio Grass	High	no	24" ht. 30" spr.	3 Gal.	30" O.C.
118	PHB	Philodendron 'Burle Marx'	Burle Marx Philodendron	Medium	no	12" O.A./ Full Clump	3 Gal.	18" O.C.
17	PHR	Philodendron 'Rojo Congo'	Rojo Congo Philodendron	Medium	no	24" O.A.	7 Gal.	30" O.C.
17	POD	Podocarpus macrophyllus	Podocarpus	High	no	36" HT. 24" spr.	7 Gal.	30" O.C.
38	REX	Rhapis excelsa	Lady Palm	Medium	no	30" O.A. Clump, Full	7 Gal.	36" O.C.
19	SPA	Spathoglottis spp.	Ground Orchid Lavender	Medium	no	12' Ht. 6' Spr.	3 Gal.	24" O.C.
50	SRX	Serenoa repens	Saw Palmetto	High	yes	24" O.A./ Full Clump	7 Gal.	36" O.C.
18	STR	Strelitzia reginae	Orange Bird of Paradise	High	no	30" O.A.	7 Gal.	30" O.C.
98	ZAP	Zamia pumila	Coontie	High	yes	18" Ht. 18" Spr./ Full Clump	7 Gal.	24" O.C.
SOD								
1430	SOD-R	Stenotaphrum secundatum	St. Augustine Grass		yes	Staggerd Panels		
5655	ZOJ	Zoysia japonica	Zoysia Grass		yes	Staggerd Panels		

Bal Harbour Village
Landscape Code (Miami-Dade Ch. 18A / Street Tree Code (Miami-Dade Ch. 18B) Requirements Legend

Single-Family Residential Home Sites (R-1 / R-2)
Address: 148 Bal Bay Dr. Bal Harbour, FL 33151 Lot Area (sf): 27796 Acres 0.64

A. SHADE TREES REQUIRED *

	REQUIRED	PROVIDED
1. Single-Family Non-Waterfront Lot	3	N/A
2. Single-Family Waterfront Lot	3	12 + 2 Existing
3. Numbers of Shades trees in Forn Yard	2	3
4. Native Species required - 30%	1	12
5. Drought Tolerant and Low Maintenance Species required - 50%	2	14

B. STREET TREES REQUIRED **

	REQUIRED	PROVIDED
Measure @ 1:35 lineal feet of frontage: Width of lot: 145.5 LF / 35' = 4.15 trees	5	6

Note: Street trees do not count toward required on site lot trees

Note: Street trees species determined by Village Street Tree Master Plan

C. SHRUBS REQUIRED ***

	REQUIRED	PROVIDED
1. Single-Family Non-Waterfront Lot	N/A	N/A
2. Single-Family Waterfront Lot	30	671
4. Native Species required - 30%	9	346
5. Drought Tolerant and Low Maintenance Species required - 50%	15	637

D. MAXIMUM LAWN AREA ALLOWED****

	REQUIRED	PROVIDED
60% of Net Lot area (sf)	16678	5655

* Required Shade Trees at time of planting must be a min. of 12 ft. in overall height; min. 4 ft. of clear wood before branching; and have min. 2 1/2" trunk caliper. Palm Trees (15' ht. x 3" caliper) can be substituted at a 3:1 ratio (except approved larger palm species at 1:1 @ 15' wood) at max. 30% of the required trees

** Miami-Dade County Right-of-Way Code Sec. 18B (Street Tree Size = 12' min. height / 5' min. clear wood / 2 1/2" min. trunk caliper)

*** Required Shrubs at time of planting must be a min. of 18 inches in overall height, spaced max. 24 inches on center; if used as a visual screen must be a minimum of 36 inches in overall height.

**** Miami-Dade County Landscape Code Sec. 18A-5(A)(5); 80% of plant material must be listed in either M-D Landscape Manual / M-D Street Tree Master Plan / UF Florida Low-Maintenance Landscape Plants for South Florida.

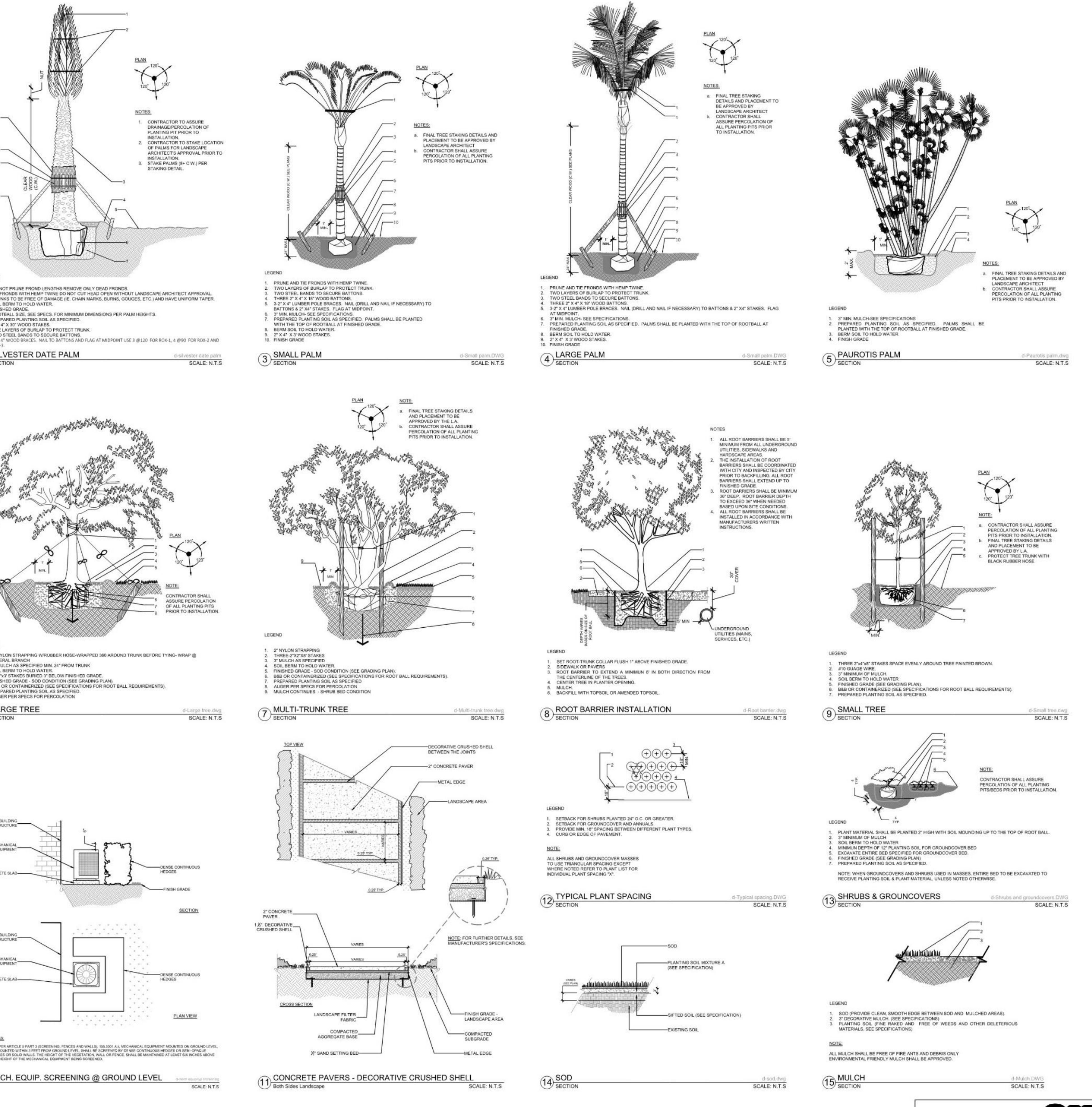
TREE MITIGATION TABLE				
TREE #	BOTANICAL NAME	COMMON NAME	DBH INCHES	CANOPY (SF)
3	Livistona chinensis	Chinese Fan Palm	7	113
4	Livistona chinensis	Chinese Fan Palm	6	113
5	Coccoloba uvifera	Sea Grape	11, 11, 15	707
6	Sabal palmetto	Cabbage Palm	7	113
7	Ptychosperma elegans	Alexander Palm	4, 3, 3, 3	50
8	Adonidia merrillii	Christmas Palm	5	79
9	Adonidia merrillii	Christmas Palm	5	79
10	Adonidia merrillii	Christmas Palm	5	79
11	Adonidia merrillii	Christmas Palm	5	79
12	Adonidia merrillii	Christmas Palm	5	79
13	Adonidia merrillii	Christmas Palm	5	79
14	Adonidia merrillii	Christmas Palm	5	79
15	Adonidia merrillii	Christmas Palm	5	79
16	Adonidia merrillii	Christmas Palm	5	79
17	Ptychosperma elegans	Alexander Palm	4	79
18	Ptychosperma elegans	Alexander Palm	3	79
19	Ptychosperma elegans	Alexander Palm	3	79
20	Ptychosperma elegans	Alexander Palm	3	79
21	Adonidia merrillii	Christmas Palm	5	113
22	Ptychosperma elegans	Alexander Palm	7	113
23	Ptychosperma elegans	Alexander Palm	7	113
24	Ptychosperma elegans	Alexander Palm	7	113
25	Ptychosperma elegans	Alexander Palm	7	113
26	Coccoloba uvifera	Sea Grape	14, 16, 13	1385
27	Ptychosperma elegans	Alexander Palm	4	113
29	Bursera simaruba	Gumbo Limbo	5	79
31	Ptychosperma elegans	Alexander Palm	3	79
32	Sabal palmetto	Cabbage Palm	10	133
33	Sabal palmetto	Cabbage Palm	9	133
34	Sabal palmetto	Cabbage Palm	8	133
35	Phoenix roebelenii	Pygmy Date Palm	4	38
36	Phoenix roebelenii	Pygmy Date Palm	4, 3, 3	38
37	Phoenix roebelenii	Pygmy Date Palm	4	38
38	Phoenix roebelenii	Pygmy Date Palm	5, 5, 5	38
40	Ptychosperma elegans	Alexander Palm	4	113
41	Ptychosperma elegans	Alexander Palm	4	79
42	Livistona chinensis	Chinese Fan Palm	6	113
43	Livistona chinensis	Chinese Fan Palm	6	113
45	Coccoloba uvifera	Sea Grape	21	707
46	Sabal palmetto	Cabbage Palm	14	154
47	Clusia rosea	Pitch apple	9	380
48	Livistona chinensis	Chinese Fan Palm	7	113
49	Livistona chinensis	Chinese Fan Palm	8	113
50	Livistona chinensis	Chinese Fan Palm	6	113
51	Ptychosperma elegans	Alexander Palm	3	79
53	Ptychosperma elegans	Alexander Palm	4	79
54	Ptychosperma elegans	Alexander Palm	4	79
55	Ptychosperma elegans	Alexander Palm	3	79
56	Cocos nucifera	Coconut Palm	10	254
57	Ptychosperma elegans	Alexander Palm	3	50
58	Phoenix reclinata	Senegal Date Palm	Cluster	254
59	Phoenix roebelenii	Pygmy Date Palm	4, 4	38
60	Cocos nucifera	Coconut Palm	21	254
61	Cocos nucifera	Coconut Palm	10	254

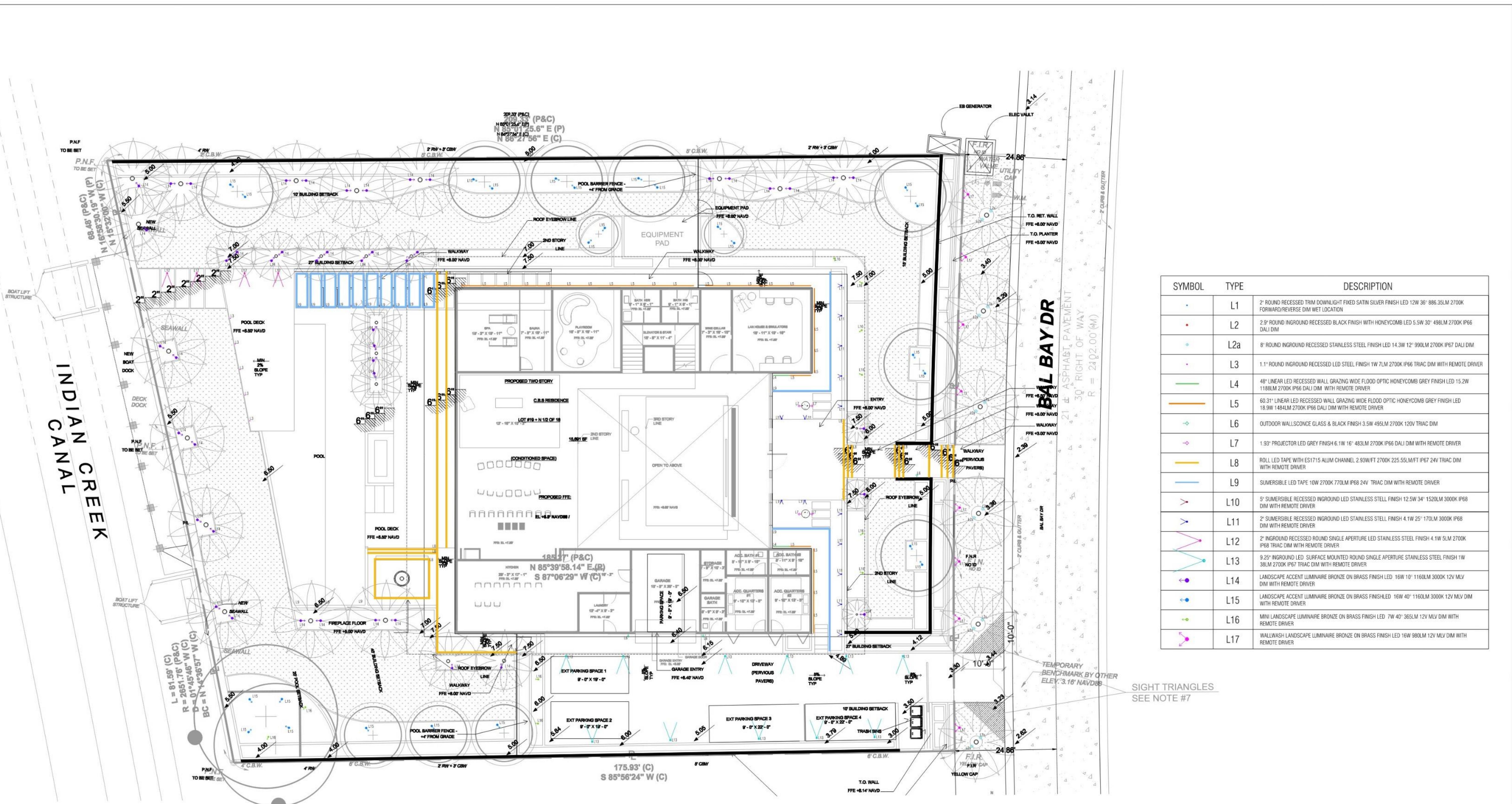
81
Sunshine State
One Call
Know what's below.
Call before you dig.
L-03

PERMIT SET FOR ARB SUBMITTAL - NOT FOR CONSTRUCTION
Project Name: 148 BAL BAY DRIVE
Bal Harbour, FL 33151
Sheet Number: L-03

GENERAL NOTES:

- Before construction begins, the Landscape Contractor is responsible for locating all underground utilities and must avoid damaging any services during construction. If any damage occurs by the fault of the Contractor, the necessary repairs must take place at the Landscape Contractor's expense and under the supervision of the Owner's representative.
- The Landscape Contractor shall be responsible for securing all necessary applicable permits and licenses to perform the work set forth in this plan set and the specifications.
- The Landscape Contractor shall be responsible for examining fully both the site and bid documents. Discrepancies in the documents or the actual site conditions shall be reported to the Landscape Architect in writing at the time of bidding or discovery. No account shall be made after contract completion for failure by the Landscape Contractor to report such condition or for errors on the part of the Landscape Contractor at the time of bidding.
- All dimensions to be field checked by the Landscape Contractor prior to landscape material installation. Discrepancies shall be reported immediately to the Landscape Architect.
- Contractor shall be responsible for removing all existing and imported limerock and limerock sub-base from all landscape planting areas to a minimum depth of 36" or to native soil. Contractor is responsible to backfill these planting areas to rough finished grade with clean topsoil from an on-site source or an imported source.
- All planting beds shall be excavated to a minimum size and depth as shown in the planting details for trees, shrubs, and groundcovers, and backfilled with suitable soil unless specified otherwise. All plant material shall be planted in planting soil that is delivered to the site in a loose, clean, and friable condition. The planting soil shall be of the approximate proportions as follows: 50% sand and 50% organic material consisting of native peat, well-decomposed sawdust, leaf mold and topsoil. It shall provide a good, pliable, and thoroughly mixed medium with adequate aeration, drainage, and water-holding capacity. It shall also be free of all extraneous debris, such as roots, stones, weeds, etc.
- Contractor to test all tree pits with water before planting to assure proper drainage percolation is available.
- All proposed trees and plant materials shall be graded as Nursery Grade Florida No. 1 or better as outlined by the Florida Department of Agriculture and Consumer Services, Division of Plant Industry "Grades and standards for Nursery Plants", most current edition. All planting shall be done in accordance with the Florida Nurserymen's and Grower's Association approved practices.
- All trees/palms and shrubs shall be fertilized with "Agriform" 20-10-5 planting tablets as per the manufacturer's specifications at the time of installation and prior completion of pit backfilling also in conjunction with note #5. Tablets to be placed uniformly around the root mass at a depth that is between the middle and bottom of root mass at an application rate of: One (1) - 21 gram tablet for 1 gal container, two (2)-tablets for 3 gal container, three (3)-tablets for 5 gal container, four (4)-tablets for 7 gal container, three (3)-tablets for each 1/2 inch of tree caliper, and seven (7) tablets for palms. Ground Cover areas shall receive fertilization with "Ozmocote" time release fertilizer as per manufacturer's specification.
- All plant beds shall receive a 3" layer of organic mulch, which is to be watered-in after installation. Mulch should be at least six (6) inches away from any portion of a structure or tree trunk and three (3) inches away from the base of shrubs. The use of Cypress mulch is discouraged.
- All plant material shall be thoroughly watered in at the time of planting and until landscape material is established. No dry material shall be permitted.
- The plant material schedule is presented for the convenience of the Landscape Contractor. In the event of a discrepancy between the plan and the plant list quantities, the contractor shall notify the owner's representative/Landscape Architect prior to bidding or installation of the project.
- Plants shall meet size, container, and spacing specifications. Any material not meeting specifications shall be removed and replaced at the contractor's expense.
- All tree and shrub locations shall be approved by Landscape Architect prior to planting.
- Plant material shall be bid as specified unless unavailable, at which time the Landscape Architect shall be notified in writing of intended changes.
- All questions concerning the plan set and/or specifications shall be directed to the Landscape Architect.
- All materials must be as specified on the landscape plan. If materials or labor do not adhere to specifications, they will be rejected by the Landscape Architect with proper installation carried out by the Landscape Contractor at no additional cost.
- There shall be no additions, deletions, or substitutions without written approval of the Landscape Architect.
- All screening hedges shall be planted and maintained in a way that they form a continuous visual screen. Screening hedges at VUA to be maintained at a minimum height of thirty (30) inches unless specified otherwise to meet local codes.
- The Landscape Contractor shall guarantee, in writing, plant survivability. Trees and palms for twelve (12) months, shrubs, and groundcovers for ninety (90) days and sod for sixty (60) days from final acceptance by the Owner or Owner's representative.
- Existing sod shall be removed as necessary to accommodate new plantings.
- All existing trees on site shall be protected from damage during construction - See existing tree protection fence detail.
- Any existing landscape and hardscape areas that are unnecessarily disturbed during the landscape installation shall be restored to their original conditions by the Landscape Contractor.
- The Landscape Contractor will be responsible for the collection, removal, and proper disposal of all debris generated during the installation of this project.
- The Landscape contractor shall fine grade all lawn and planting areas prior to plant material installation. Fine grading shall consist of final finished grading of lawn and planting areas that have been rough graded by others.
- The Landscape Contractor shall grade planting beds, as required, to provide positive drainage and promote optimum plant growth.
- Prior to sod installation, the Landscape Contractor shall clear the area of debris, weeds and remove any bumps and depressions within the area to be sodded.
- All landscape areas to have a positive drainage away from buildings and structures. Finished grade of landscape areas to be at or below the grade of adjacent sidewalks, slabs, or VUA
- All shade and medium trees installed within 5' of a public infrastructure shall utilize a root barrier system unless specified otherwise.
- In addition to these requirements the Landscape Contractor shall comply with all local landscape codes and requirements as part of this base bid and contract in order to satisfy the review and approval of the governing agency.

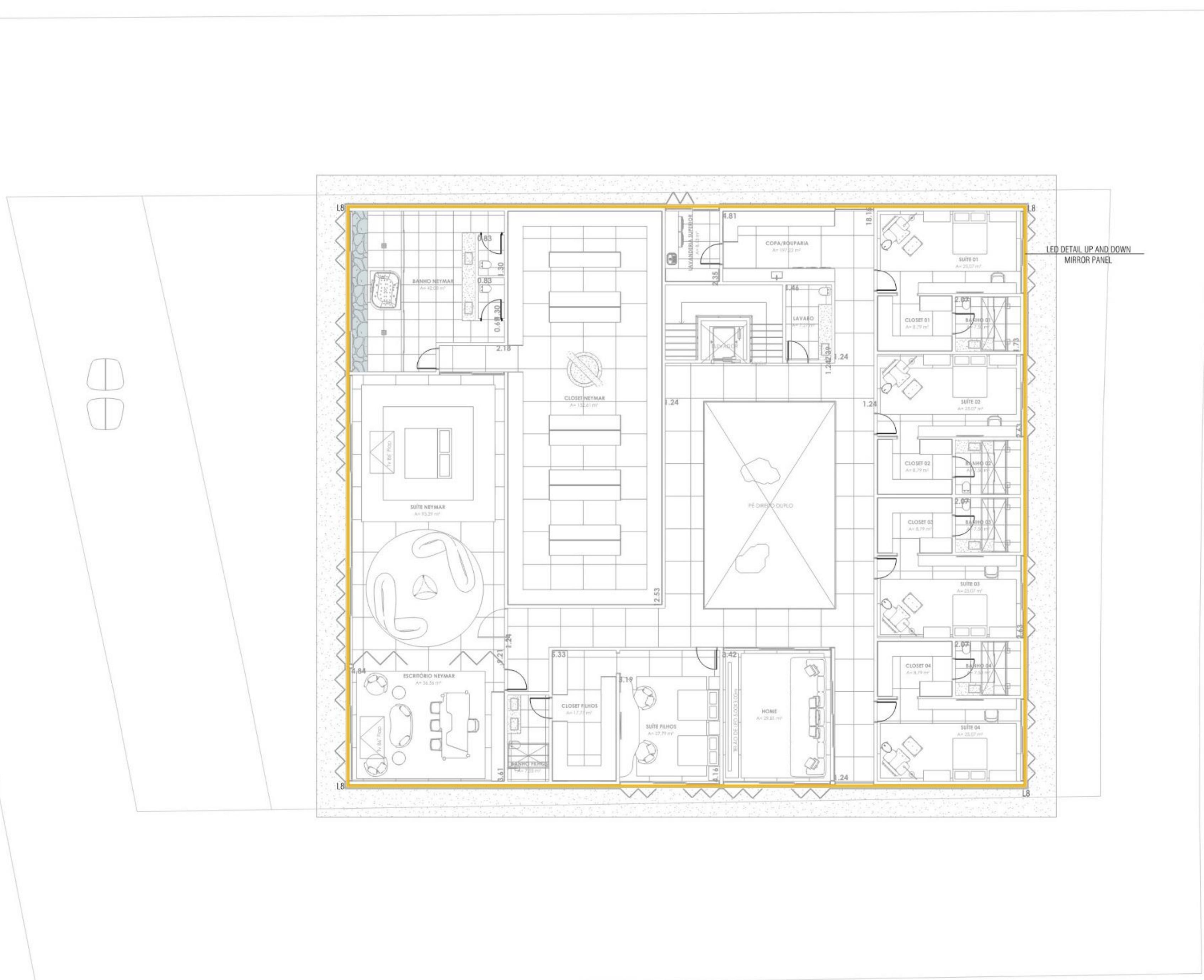




SYMBOL	TYPE	DESCRIPTION
L1	2" ROUND RECESSED TRIM DOWNLIGHT FIXED SATIN SILVER FINISH LED 12W 36° 886.35LM 2700K FORWARD/REVERSE DIM WET LOCATION	
L2	2.9" ROUND INGROUND RECESSED BLACK FINISH WITH HONEYCOMB LED 5.5W 30° 498LM 2700K IP66 DALI/DIM	
L2a	8" ROUND INGROUND RECESSED STAINLESS STEEL FINISH LED 14.3W 12° 990LM 2700K IP67 DALI/DIM	
L3	1.1" ROUND INGROUND RECESSED STEEL FINISH 1W 7LM 2700K IP66 TRIAC DIM WITH REMOTE DRIVER	
L4	48" LINEAR LED RECESSED WALL GRADING WIDE FLOOD OPTIC HONEYCOMB GREY FINISH LED 15.2W 1188LM 2700K IP66 DALI/DIM WITH REMOTE DRIVER	
L5	60.31" LINEAR LED RECESSED WALL GRADING WIDE FLOOD OPTIC HONEYCOMB GREY FINISH LED 18.9W 1484LM 2700K IP66 DALI/DIM WITH REMOTE DRIVER	
L6	OUTDOOR WALLSCONCE GLASS & BLACK FINISH 3.5W 495LM 2700K 120V TRIAC DIM	
L7	1.93" PROJECTOR LED GRAY FINISH 6.1W 16° 483LM 2700K IP66 DALI/DIM WITH REMOTE DRIVER	
L8	ROLL LED TAPE WITH ES1715 ALUM CHANNEL 2.93W/FT 2700K 225.55LM/FT IP67 24V TRIAC DIM WITH REMOTE DRIVER	
L9	SUMERSIBLE LED TAPE 10W 2700K 7700LM IP68 24V TRIAC DIM WITH REMOTE DRIVER	
L10	5" SUMERSIBLE RECESSED INGROUND LED STAINLESS STEEL FINISH 12.5W 34° 1520LM 3000K IP68 DIM WITH REMOTE DRIVER	
L11	2" SUMERSIBLE RECESSED INGROUND LED STAINLESS STEEL FINISH 4.1W 25° 170LM 3000K IP68 DIM WITH REMOTE DRIVER	
L12	9.25" INGROUND LED SURFACE MOUNTED ROUND SINGLE APERTURE STAINLESS STEEL FINISH 1W 38LM 2700K IP67 TRIAC DIM WITH REMOTE DRIVER	
L13	LANDSCAPE ACCENT LUMINAIRE BRONZE ON BRASS FINISH LED 16W 10° 1160LM 3000K 12V MLV DIM WITH REMOTE DRIVER	
L14	LANDSCAPE ACCENT LUMINAIRE BRONZE ON BRASS FINISHED LED 16W 40° 1160LM 3000K 12V MLV DIM WITH REMOTE DRIVER	
L15	MINI LANDSCAPE LUMINAIRE BRONZE ON BRASS FINISH LED 7W 40° 365LM 12V MLV DIM WITH REMOTE DRIVER	
L16	WALLWASH LANDSCAPE LUMINAIRE BRONZE ON BRASS FINISH LED 16W 980LM 12V MLV DIM WITH REMOTE DRIVER	
L17	WALLWASH LANDSCAPE LUMINAIRE BRONZE ON BRASS FINISH LED 16W 980LM 12V MLV DIM WITH REMOTE DRIVER	



TRAZZO Light Experience & Design 7038 NM 50th St, Miami, FL 33166 Phone: +1 (786) 302-8480 / +1 (786) 262-4854 E-mail: info@trazzolighting.com	CUSTOMER: NJR		DATE: 11/10/2025	NOTES TO CONSIDER: <ol style="list-style-type: none"> 1. THIS PLAN IS AN INTELLECTUAL PROPERTY OF TRAZZO LIGHTING. ANY COPYING OR REPRODUCTION WITHOUT WRITTEN AUTHORIZATION IS PUNISHABLE BY LAW. 2. THE PURPOSE OF THIS PLAN IS TO BE A "PRESENTATION" OF THE LIGHTING DESIGN. THEREFORE, IT CAN NOT BE USED FOR THE CONSTRUCTION OF THE BUILDING, AS IT LACKS THE NECESSARY TECHNICAL INFORMATION. FOR MORE INFORMATION, PLEASE CONTACT AN ARCHITECT OR ENGINEER FROM TRAZZO LIGHTING. 3. TRAZZO LIGHTING HAS NOT BEEN HIRED TO SIGN PLANS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR OR OWNER TO COORDINATE WITH THEIR RESPECTIVE ELECTRICAL ENGINEER.
	NAME OF THE PROJECT: 148 BAL HARBOUR DR RESIDENCE	ADDRESS: 148 BAL HARBOUR DRIVE, BAL HARBOUR, FL 33154	DREW BY: F.R.	
	PLAN VIEW: LANDSCAPE FLOOR	PROJECT MANAGER: KAREN MANNHEIM	SCALE: UNSCALED	
				L-1



SYMBOL	TYPE	DESCRIPTION
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•	L2	2.9" ROUND INGROUND RECESSED BLACK FINISH WITH HONEYCOMB LED 5.5W 30° 498LM 2700K IP66 DALI DIM
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TRAZZO Light Experience & Design 7038 NM 50th St, Miami, FL 33166 Phone: +1 (754) 302-8480 / +1 (786) 262-4854 E-mail: info@trazzolighting.com www.trazzolighting.com	CUSTOMER: NJR		DATE: 11/10/2025	NOTES TO CONSIDER:									
	NAME OF THE PROJECT:	ADDRESS:	148 BAL HARBOUR DRIVE, BAL HARBOUR, FL 33154	DREW BY:	F.R.	1- THIS PLAN IS AN INTELLECTUAL PROPERTY OF TRAZZO LIGHTING. ANY COPYING OR REPRODUCTION WITHOUT WRITTEN AUTHORIZATION IS PUNISHABLE BY LAW. 2- THE PURPOSE OF THIS PLAN IS TO BE A "PRESENTATION" OF THE LIGHTING DESIGN. THEREFORE, IT CAN NOT BE USED FOR THE CONSTRUCTION OF THE BUILDING, AS IT LACKS THE NECESSARY TECHNICAL INFORMATION. FOR MORE INFORMATION, PLEASE CONTACT AN ARCHITECT OR ENGINEER FROM TRAZZO LIGHTING. 3- TRAZZO LIGHTING HAS NOT BEEN HIRED TO SIGN PLANS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR OR OWNER TO COORDINATE WITH THEIR RESPECTIVE ELECTRICAL ENGINEER.							
	PLAN VIEW:	PROJECT MANAGER:	KAREN MANNHEIM	SCALE:	UNSCALDED								
	SECOND FLOOR EXTERIOR												

L-2

BAL HARBOUR 33154
- VILLAGE -

BUILDING

The undersigned Agent/Owner request(s) Architectural Review Board review of the following application(s):

New Building (\$2,500.00) Alteration/ Additions (\$1,000.00) Revision (\$250.00)

PROJECT INFORMATION

Street Address of the Subject Property: 148 Bal Bay Dr, Bal Harbour, FL 33154, USA

Property/Project Name: 148 Bal Bay Dr

Legal description: Lot(s) 26 27 52 42 PB 44-98 BAL HARBOUR RESIDENTIAL SEC BLK 1 NLY1/2 LOT 18 & LOT 19 BLK 1 AND PROP INT IN & TO COMMON ELEMENTS NOT DEDICATED TO PUBLIC LOT SIZE

Block(s) 1 Section(s) _____

Folio No. 12-2226-002-0180

Owner(s): MDH MIAMI LLC

Mailing Address: 7901 4th St N #22452 St. Petersburg, FL 33702

Telephone: _____ Fax: _____

Other _____ Email: _____ @ _____

Architect(s)/Engineer(s): eneida pinon

Architect(s)/Engineer(s) Mailing Address: 9099 NW 165th terrace, miami lakes, fl 33018

Telephone: Business 305-331-7759 Fax: _____

Other _____ Email: eneidapinon7@gmail.com

PROJECT INFORMATION

Project Description(s): new single family home to be built as per plan.

Estimated project cost*: 10,000,000

(*Estimated cost shall be +/- 10% of actual cost)

Date(s) of Previous Submittal(s) and Action(s): 10/01/2025

Applicant / Owner / Architect / Engineer/ Affirmation and Consent

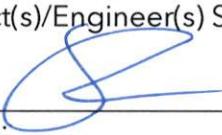
I acknowledge, affirm, and certify to all of the following:

1. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Plan and Code of Ordinances of Bal Harbour Village unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
2. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
3. Understand that the application, all attachments and fees become a part of the official records of Bal Harbour Village and are not returnable.
4. All application representatives have registered with and completed lobbyist forms for the Bal Harbour Village City Clerk's office.
5. Understand that under Florida Law, all the information submitted as part of the application are public records.
6. Failure to provide the information required for submittal/necessary for review by the Architectural Review Board may cause the application to be deferred without review.
7. That applications for Architectural Review Board review require the presence of the applicant and/or architect/engineer at the meeting unless otherwise notified.
8. All fees shall be paid at the time of submittal.
9. A written narrative explaining the architectural style of the proposed building or alteration
10. I have received consent from the owner of the property to file this application.

BNV

11132025

NOTE: BOTH SIGNATURES OR AFFIRMATION/CONSENT ARE REQUIRED

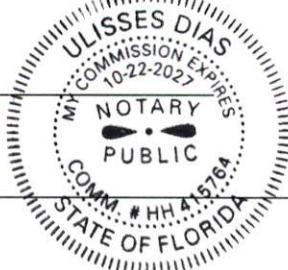
Owner / Representative Printed Name: LOPES BEZERRA, ALTAMIRO		Architect(s)/Engineer(s) Print Name: Eneida Pinon		
Owner / Representative Signature: 		Architect(s)/Engineer(s) Signature: 		
Address: 7901 4th St N Ste 300 St. Petersburg, FL 33702		Address: 9099 nw 165th terrace, miami lakes, fl 33101		
Telephone:	Fax:	Email:	Telephone:	Fax:
			3053317759	Email: eneidapinon7@gmail.com
		Architect/Engineer Seal: 		

NOTARIZATIONSTATE OF FLORIDA
COUNTY OF MIAMI-DADE

Sworn to or affirm and subscribed before me
this 13 day of NOVEMBER, in the year 2025
by ALTAMIRO BEZERRA who has taken an
oath and is personally known to me or has produced
as identification.

My Commission Expires: 10 - 22 - 2027

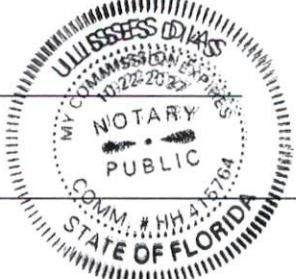
Notary Public

Ulysses Dias**NOTARIZATION**STATE OF FLORIDA
COUNTY OF MIAMI-DADE

Sworn to or affirm and subscribed before me
this 13 day of NOVEMBER, in the year 2025
by ENEIDA PINON who has taken an
oath and is personally known to me or has produced
as identification.

My Commission Expires: 10 - 22 - 2027

Notary Public

Ulysses Dias

February 5, 2026

Attn: Bal Harbour Village – Architectural Review Board
655 96th Street,
Bal Harbour, FL 33154

Re: **ARCHITECTURAL REVIEW BOARD - INITIAL SUBMISSION**
148 Bal Bay Drive
Bal Harbour, FL 33154
For a Two-Story Single Family New Construction Residence

ARCHITECTURAL DESIGN CRITERIA

This project resides in the prestigious Bal Harbour Village neighborhood, west of Bal Harbour Boulevard and just south of the Bal Harbour Village Marina. The existing property is a waterfront lot with water on one side of the property and is currently empty. The current site is situated between two (2) one-story residences and in front of a one-story residence and a two-story residence across the street on Bal Bay Drive. The proposed design allows for open vistas to the intracoastal, while providing privacy to and from the neighboring properties. The proposed design also conforms with the R-1 Zoning requirements as noted on the Site Plans. This submission also complies with the request from the Board from the previous Hearing for more information showing the massing of the two-story building.

The design aesthetic of this residence will have modern-contemporary architectural features that are grounded with natural-feeling materials. The design features are a nod to Miami modernism, Mimo and Art Deco styles, with angular linear features, sweeping overhead eyebrows and cantilevers. The use of rustic-toned materials such as darkened metal and wood-stamped concrete juxtaposed with the use of water provides a darker modern-contemporary building look that blends in with the lush landscape and with the tranquil view of the waterfront. The additional water features surrounding the home further emphasize the closeness and connection to the waterfront and bring the tranquil qualities of water onto the project site. The proposed design is two stories tall at the full allowable height of 35 feet tall. The entry on the ground floor will open up to a large double height open living room area with tall ceilings that have a large overhead skylight to provide natural lighting within the home. This large welcoming space will open to the exterior pool deck to fully embrace the waterfront views. The programmatic spaces adjacent to this central living area include supporting spaces such as an adjacent kitchen, garage, spa, playroom, wine cellar, entertainment room and game room(on the mezzanine). Two accessory quarters are also provided on the first floor with separate entry access. The second floor holds the more private spaces, with a large opening that looks down into the first floor living area. The programming includes the large master suite that will overlook the pool area and the entire west wing with the view towards the waterfront. There are also five more bedrooms on the second floor, each with their own private bathrooms and most with views to the street side. An additional and more private family room, pantry and laundry are also on this floor.

The building systems include: concrete foundations, CMU walls, steel joists/concrete slabs for floor systems and roofs, concrete, metal finishes and impact windows/doors. The proposed design has the least amount as possible of glass in the south facing elevations and more glazing on the other facades which have an overhead eyebrow, following passive architectural techniques to minimize heat gain. Large covered/shaded terraces reduce direct sun exposure on areas with more glazed openings. All building window/door openings will be HVHZ impact rated. All windows will have interior screens for privacy and to minimize sun exposure. The roof will have a flat roof deck system, which will allow for higher ceilings floor to floor. This proposed structure will uphold all of the codes and laws regulated by the governing authorities of the project, State and Local with special regards to HVHZ requirements and environmental protections. All practices will meet

Eneida Pinon PLLC
Architecture and Design

AR 99209

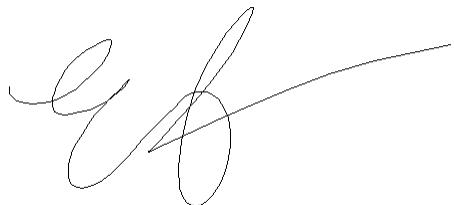
9099 NW 165th Terr
Miami Lakes, FL 33018

305.331.7759

or exceed requirements of the Florida Building Code 2023, 8th edition and the State of Florida Department of Environmental Protection.

Please feel free to contact us with any questions or concerns.

Sincerely,

A handwritten signature in black ink, appearing to read "Eneida Pinon".

Eneida Pinon, RA
FL License: AR99209
Eneidapinon7@gmail.com



PROPERTY APPRAISER OF MIAMI-DADE COUNTY

Summary Report

Generated On: 11/24/2025

PROPERTY INFORMATION	
Folio	12-2226-002-0180
Property Address	148 BAL BAY DR BAL HARBOUR, FL 33154-0000
Owner	MDH MIAMI LLC
Mailing Address	848 BRICKELL AVE 203 MIAMI, FL 33131
Primary Zone	1100 SGL FAMILY - 2301-2500 SQ
Primary Land Use	0066 VACANT RESIDENTIAL : EXTRA FEA OTHER THAN PARKING
Beds / Baths /Half	0 / 0 / 0
Floors	0
Living Units	0
Actual Area	0 Sq.Ft
Living Area	0 Sq.Ft
Adjusted Area	0 Sq.Ft
Lot Size	27,796.23 Sq.Ft
Year Built	0



ASSESSMENT INFORMATION				
Year	2025	2024	2023	
Land Value	\$18,067,550	\$14,593,606	\$11,118,463	
Building Value	\$0	\$0	\$0	
Extra Feature Value	\$9,460	\$9,568	\$9,675	
Market Value	\$18,077,010	\$14,603,174	\$11,128,138	
Assessed Value	\$18,077,010	\$10,102,847	\$9,184,407	

BENEFITS INFORMATION				
Benefit	Type	2025	2024	2023
Non-Homestead Cap	Assessment Reduction	\$4,500,327	\$1,943,731	
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).				

SHORT LEGAL DESCRIPTION				
26 27 52 42 PB 44-98				
BAL HARBOUR RESIDENTIAL SEC BLK 1				
NLY1/2 LOT 18 & LOT 19 BLK 1				
AND PROP INT IN & TO COMMON				
ELEMENTS NOT DEDICATED TO PUBLIC				

TAXABLE VALUE INFORMATION				
Year	2025	2024	2023	
COUNTY				
Exemption Value	\$0	\$0	\$0	
Taxable Value	\$18,077,010	\$10,102,847	\$9,184,407	
SCHOOL BOARD				
Exemption Value	\$0	\$0	\$0	
Taxable Value	\$18,077,010	\$14,603,174	\$11,128,138	
CITY				
Exemption Value	\$0	\$0	\$0	
Taxable Value	\$18,077,010	\$10,102,847	\$9,184,407	
REGIONAL				
Exemption Value	\$0	\$0	\$0	
Taxable Value	\$18,077,010	\$10,102,847	\$9,184,407	

SALES INFORMATION				
Previous Sale	Price	OR Book-Page	Qualification	Description
10/14/2024	\$26,000,000	34466-1010	Qual by exam of deed	
04/07/2021		\$10032450-1471	Corrective, tax or QCD; min consideration	
08/05/2020	\$9,300,000	32043-1936	Qual by exam of deed	
12/30/2009	\$3,175,000	27139-3976	Qual by exam of deed	

The information contained herein is for ad valorem tax assessment purposes only. The Property Appraiser of Miami-Dade County is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser of Miami-Dade County and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <https://www.miamidadepa.gov/pa/disclaimer.page>

BAL HARBOUR

- VILLAGE -

ARCHITECTURAL REVIEW BOARD 2026 DEADLINES

DRAFT DOCUMENTS DUE TO BUILDING OFFICIAL	BUILDING OFFICIAL FINAL DOCUMENT APPROVAL	DOCUMENTS DUE TO VILLAGE CLERK: POST TO PROPERTIES	DOCUMENTS SENT TO ARB MEMBERS, POST AGENDA ONLINE, SEND CONSTANT CONTACT	ARB HEARING DATE
Friday, November 7, 2025	Monday, December 8, 2025	Friday, December 26, 2025	Thursday, January 1, 2026	Thursday, January 8, 2026
Friday, December 5, 2025	Monday, January 5, 2026	Friday, January 23, 2026	Thursday, January 29, 2026	Thursday, February 5, 2026
Friday, January 2, 2026	Monday, February 2, 2026	Friday, February 20, 2026	Thursday, February 26, 2026	Thursday, March 5, 2026
Friday, January 30, 2026	Monday, March 2, 2026	Friday, March 20, 2026	Thursday, March 26, 2026	Thursday, April 2, 2026
Friday, March 6, 2026	Monday, April 6, 2026	Friday, April 24, 2026	Thursday, April 30, 2026	Thursday, May 7, 2026
Friday, April 3, 2026	Monday, May 4, 2026	Friday, May 22, 2026	Thursday, May 28, 2026	Thursday, June 4, 2026
Friday, May 1, 2026	Monday, June 1, 2026	Friday, June 19, 2026	Thursday, June 25, 2026	Thursday, July 2, 2026
August Recess				
Friday, July 3, 2026	Monday, August 3, 2026	Friday, August 21, 2026	Thursday, August 27, 2026	Thursday, September 3, 2026
Friday, July 31, 2026	Monday, August 31, 2026	Friday, September 18, 2026	Thursday, September 24, 2026	Thursday, October 1, 2026
Friday, September 4, 2026	Monday, October 5, 2026	Friday, October 23, 2026	Thursday, October 29, 2026	Thursday, November 5, 2026
Saturday, October 3, 2026	Monday, November 2, 2026	Friday, November 20, 2026	Thursday, November 26, 2026	Thursday, December 3, 2026

Passover -No Work

Sukkot-Limited Work