

BAL HARBOUR

- V I L L A G E -

Reinaldo Borges, Chair
Amanda Barton, Board Member
Jose L. Gomez, Board Member
Brett Schlacter, Board Member
Nathan VanDeman, Board Member

Village Manager Jorge M. Gonzalez
Village Clerk Dwight S. Danie
Building Director Eliezer Palacio
Village Attorneys Weiss Serota
Helfman Cole & Bierman, PA

ARCHITECTURAL REVIEW BOARD

REGULAR MEETING AGENDA

FEBRUARY 5, 2026

AT 1:00 P.M.

Bal Harbour Village Hall • 655 – 96th Street • Bal Harbour • Florida 33154

This meeting will be conducted in-person. The meeting will also be broadcast on the Village's website (www.balharbourfl.gov) and members of the public are encouraged to participate by calling 305-865-6449 by emailing meetings@balharbourfl.gov before and during the meeting.

1 CALL TO ORDER / ROLL CALL

2 PLEDGE OF ALLEGIANCE

3 APPROVAL OF MINUTES

[Architectural Review Board Minutes December4_2025_short.pdf](#)

4 ARB-HEARINGS - *Please be advised that the following item on the agenda is quasi-judicial in nature. If you wish to comment upon an item, please inform the Chairman when he asks for public input on the item. An opportunity for persons to speak will be made available after the applicant and staff have made their presentations on each item. All testimony, including public testimony and evidence, will be made under oath or affirmation. Additionally, each person who gives testimony may be subject to cross-examination. If you refuse either to be cross-examined or to be sworn, your testimony will be given its due weight. The general public will not be permitted to cross-examine witnesses, but the public may request the Architectural Review Board to ask questions of staff or witnesses on their behalf. Persons representing organizations must present evidence of their authority to speak for their organization. Further details of the quasi-judicial procedures may be obtained from the Clerk.*

(Disclosure of Ex-Parte Communications)

(Swearing-In by Village Clerk)

4.1 RARB-2025-0016

148 Bal Bay Drive, Bal Harbour FL, 33154

Architect: Eneida Pinon

Owner: MDH Miami, LLC

New Single-Family Home

[1- RARB2025-0019 - 148 BAL BAY DR - MEMO.pdf](#)

[2 - RARB2025-0019 - 148 BAL BAY DR - POWERPOINT \(CL\).pdf](#)

[3- RARB2025-0019 - 148 BAL BAY DR - APPLICATION.pdf](#)

[4- RARB2025-0019 - 148 BAL BAY DR - NARRATIVE.pdf](#)

[5- RARB2025-0019 - 148 Bal Bay - PROPERTY APPRAISER.pdf](#)

5 OTHER BUSINESS

5.1 2026 Meeting Dates

[2026-ARB-Calendar.pdf](#)

6 PUBLIC COMMENT

7 ADJOURNMENT

One or more members of any Village Committee/Board may attend this meeting of the Council and may discuss matters which may later come before their respective Boards/Committees. The New Business and Council Discussion Section includes a section for Public Comment. On public comment matters, any person is entitled to be heard by this Council on any matter; however, no action shall be taken by the Council on a matter of public comment, unless the item is specifically listed on the agenda, or is added to the agenda by Council action. Any person who acts as a lobbyist, pursuant to Village Code Section 2-301 (Lobbyists), must register with the Village Clerk, prior to engaging in lobbying activities before Village staff, boards, committees, and/or the Village Council. A copy of the Ordinance is available in the Village Clerk's Office at Village Hall.

If a person decides to appeal any decision made by the Village Council with respect to any matter considered at a meeting or hearing, that person will need a record of the proceedings and, for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (F.S. 286.0105).

In accordance with the Americans with Disabilities Act of 1990, all persons who are disabled and who need special accommodations to participate in this proceeding because of that disability should contact the Village Clerk's Office (305-866-4633), not later than two business days prior to such proceeding. All Village Council meeting attendees, including Village staff and consultants, are subject to security screening utilizing a metal detector and/or wand, prior to entering the Council Chamber, Conference Room, or other meeting area located within Village Hall. This is for the safety of everyone. Thanks for your cooperation.

BAL HARBOUR

- V I L L A G E -

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Village Attorneys Weiss Serota
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ARCHITECTURAL REVIEW BOARD

REGULAR MEETING MINUTES

DECEMBER 4, 2025

AT 1:00 P.M.

Bal Harbour Village Hall • 655 – 96th Street • Bal Harbour • Florida 33154

This meeting was conducted in-person. The meeting was also broadcast on the Village's website (www.balharbourfl.gov) and members of the public were encouraged to participate by calling 305-865-6449 by emailing meetings@balharbourfl.gov before and during the meeting.

- 1 CALL TO ORDER / PLEDGE OF ALLEGIANCE-** The meeting was called to order at 1:02 PM. Chair Reinaldo Borges.

The following Board Members were present:

Reinaldo Borges, Chair
Jose Gomez
Nathan VanDeman

The following were not present:

Brett Schlacter
Amanda Barton

The following were also present:

Eliezer Palacio, Building Director
Dwight Danie, Village Clerk
Chanae Woods, Village Attorney

- 2 PLEDGE OF ALLEGIANCE** - The Pledge of allegiance was led by Chair Borges.

3 APPROVAL OF MINUTES

- 3.1** November 6, 2025 Architectural Review Board Meeting Minutes

MOTION: A Motion to approve the minutes was moved by Nathan VanDeman and seconded by Jose Gomez.

VOTE: The Motion passed by unanimous voice vote (3-0).

4 ARB-HEARINGS –

Ms. Woods read the quasi-judicial procedures statement. She then asked the Board members to disclose ex parte communications, to which all Board members responded that they had none to disclose. The Village Clerk swore in all those who would be providing testimony.

4.1 ARB-2025-0016

148 Bal Bay Drive, Bal Harbour FL, 33154

Architect: Eneida Pinon

Owner: MDH Miami, LLC

New Single-Family Home

Mr. Palacio described the project saying that the applicant had submitted written confirmation acknowledging the eighteen conditions of approval required by the building official. He confirmed that staff and the Village's Zoning consultant had reviewed the revision and agreed that it complied with the Appearance Code and Zoning Ordinance. Eneida Pinon, Architect, said that the design architect was Leo Romano from Brazil and that the general contractor's team was also present. She described the project design as a modern contemporary concept with a raw concrete feel, extensive glass that mirrored greenery that reflected sky and water, that had a symmetrical architectural language on all sides.

Ms. Pinon reviewed the site plan and floor plans adding that a mezzanine overlooking the first floor that she said qualified by being about one-third of the space, used as a secondary presentation area. She described the second floor as private bedrooms with a family TV room, a waterfront master suite, and the roof plan with mechanical equipment and water tanks enclosed behind screening.

She presented proposed materials including large Titoni glass panels on the front first floor and rear waterfront side for exterior views. Chair Borges asked if they were all sliders, to which Ms. Pinon said the first-floor panels were sliders with fixed panels where they landed when open. She described reflective mirrored glass options and a bifold Euro-Wall system, noting that Titoni did not have an approved bifold, so Euro-Wall was used on other projects.

Chair Borges said that the bifold system would introduce a lot of aluminum but the renderings looked frameless, and that what was being presented might be too minimalistic compared to real construction. He said the local architect should help ensure client expectations matched reality.

Ms. Pinon said she understood, adding that fixed areas would stay fixed glass and open areas would require bifolds with heavier frames. Mr. VanDeman asked whether extrusions were shown in line-drawing elevations, to which Ms. Pinon said that she had tried to illustrate thickness where bifolds were used.

Chair Borges asked about details for the inverted knife-edge canopy and how finishes would meet stucco or other systems. Ms. Pinon said they planned a stamped, rubberized concrete product with a drip edge to prevent water creep.

Mr. VanDeman said he'd like to see more on site and landscape; Ms. Pinon flipped ahead to civil plans, exfiltration trenches, elevations, utilities, and the new landscape design.

Chair Borges asked if all trees were new, to which Ms. Pinon said one existing tree might remain, but most were new.

Chair Borges said that he would like to see a section showing the mezzanine relationship to floors and ceiling heights.

Mr. Gomez praised the design as one of the most exciting houses the Board had seen in years. He said that he believed the renderings were theoretical and didn't prove the design could be built as shown, especially with folding doors. He pointed out mismatches between details and elevations, like glass protruding two feet in perspective but only six inches in detail, and said it felt impossible to deliver the exact look without more information. He also asked for cross sections explaining the mezzanine, more realistic 3D views, and clearer understanding of the north elevation. He said he loved the design but needed more detail to feel comfortable approving.

Chair Borges agreed, saying the burden of such a concept was proper detailing and execution in a restricted environment. He said that he wanted clarity on how sliding and folding systems interacted, especially panel widths.

Mr. VanDeman said that as an aesthetic review board they were seeing a gap between what was being sold and what would be delivered. He said the applicant could either pursue the most excellent version that matched intent or show a pragmatic realistic version, but either way had to make the reality legible.

Chair Borges asked if they were still in schematics; Ms. Pinon said yes, they had passed a bit but schematic design was complete. Chair Borges said they wanted design-development-level detailing, not to slow the process but because it was necessary anyway.

Mr. Gomez asked whether they'd worked with the structural engineer, noting the house was large and appeared to rely only on perimeter columns with a central cutout. Ms. Pinon said structural engineers had been involved due to tight height limits and mezzanine requirements, and they had discussed slabs, floor plates, and routing of AC, electrical, and plumbing. Mr. Gomez said he was "nitpicking" because he loved the project and didn't want it to become another disappointing build after approval. He asked for more refinement and proof of how it worked.

Ms. Pinon explained the Brazilian design language treated bifolds as a decorative brise-soleil element meant to stay open for façade variation, with sliders serving as the primary operable enclosure, though Mr. VanDeman said the brise-soleil logic worked for louvers but not for glass-on-glass redundancy. Ms. Pinon said frameless mirror glass was essentially impossible under local hurricane ratings, but she agreed the concerns were valid and that she would take them back to the Brazilian designer.

Mr. Gomez said function was up to the client, but the board's concern was how it read visually and whether it matched intent.

Chair Borges said that the Board wanted to approve such an interesting project but couldn't responsibly do so without evidence the intention would survive translation into compliant systems, and suggested that the applicant to return with more detail.

The Village Clerk read an email from Neca Logan, 64 Camden Drive, who said that this was effectively a three-level home—first floor, mezzanine, second floor—raising concerns about roofline levels. She asked why the parking deck and other elements were in setbacks, said there was no vegetation to limit sightlines or noise along the active south side, questioned SUV turning radius into a 12-foot-wide garage, and said an eight-bedroom home needed more parking than shown with no street capacity. She noted her concern about mirror-finished windows causing glare, plus extensive LED lighting potentially worsening it.

Mr. Palacio responded that by zoning and building code the mezzanine wasn't a third story because it was within the 30% floor-area rule, and said the zoning consultant had reviewed it. Ms. Pinon added she had had the designer shrink that interior volume to about four feet so it didn't read as a full floor, and she agreed a section would help explain the concept.

There was a general consensus from the ARB to have the applicant submit a building section because the mezzanine was central to both how the house would be perceived and how it would be classified, and that plans alone couldn't prove those vertical relationships.

Robert Mondshine, 34 Bal Bay Drive, said the project looked nice but that he was concerned whether a taller security fence would be installed between properties, how construction vehicles would park and avoid blocking his frontage, whether shadows from the building would encroach on his home, what type of pilings would be used and whether vibration studies were needed, expectations for daily cleanup and site maintenance, and details about the new seawall height and water-runoff barriers given the new property would be elevated relative to his older one.

Mr. Palacio explained ordinance 2023-653 required a pre-construction meeting involving Police, Code Enforcement, Public Works, Building, utilities, and others before permits were issued. He said construction workers had to park only in front of the project property or within it; otherwise they had to park at Haulover Park and be bused in under a contractor agreement. He said that pilings were auger piles with minimal to no vibration, similar to other homes nearby, and that seawall sheet piles were not impact-driven and were installed from the water side. He said the seawall height would match the park next door and aligned with evolving FEMA-related safety elevations, noting a consultant was evaluating a future village ordinance to raise seawalls.

Chair Borges re-stated the Board wanted the applicant to return with further detailing on the edge canopy system and the integration of sliding versus folding doors. Mr. Gomez added that clear north-south and east-west sections were needed to show mezzanine logic, elevator override.

Ms. Pinon agreed that she would present more accurate glazing and framing sizes next time, possibly supported by a full-scale mockup. Mr. Gomez repeated that he wasn't demanding full engineering documents, only realistic architectural representations matching what could be built.

MOTION: A Motion to defer the project was moved by Nathan VanDeman and seconded by Jose Gomez.

VOTE: The Motion passed by unanimous voice vote (3-0).

5 OTHER BUSINESS

5.1 Discussion Regarding January 2026 Meeting Date - The first Thursday of the Month falls on January 1, New Year's Day.

The Village Clerk noted that the Board's regular first-Thursday meeting would fall on January 1, and asked members to agree on an alternate date. Chair Borges suggested the second Thursday, January 8, for which there was general consensus from those present.

Chair Borges added the applicant didn't need to return by the eighth unless ready, but that the extra time for details would be a benefit.

6 PUBLIC COMMENT

There were no further comments from the public.

7 ADJOURNMENT - The meeting was adjourned at 2:21 P.M.



Attest:

Reinaldo Borges, Chair


Dwight S. Danie, Village Clerk

BAL HARBOUR

- V I L L A G E -

ARCHITECTURAL REVIEW BOARD MEMORANDUM

TO: Architectural Review Board Members

FROM: Eliezer Palacio, Building Director 

DATE: 12/04/2025

SUBJECT: 148 Bal Bay Dr
New Two-Story Single-Family Residence (Deferred on December
4th, 2025 – Resubmittal)

BACKGROUND

The Village of Bal Harbour (the “Village”) received an Architectural Review Board (ARB) application on September 5, 2025 for the development of a new two-story single-family residence located at 148 Bal Bay Dr (the “Property”).

The lot sits on NLY ½ Lot 18 & Lot 19 Block 1, and is located in the R-1, single family zoning district of the Bal Harbour Village Residential Section. The Property is 27,999 square feet and the Applicant is proposing a new two- story residence with 15,691 square feet of conditioned interior space 8755 square feet of unconditioned outdoor areas / garages, for a total square footage of 24,808.

The entrance to the residence faces East and the proposed garage entry does not face the street.

This Property is located in the AE-8 N.G.V.D. Base Flood Elevation Zone and the Applicant is constructing the proposed residence at 9.67’ N.G.V.D., which complies with the Florida Building Code (F.B.C.) and ASCE 24 for AE zones.

THE PROJECT (AE Description)

The following is a written document to describe the proposed New Construction to be located on 148 Bal Bay Dr, Bal Harbour, Fl. 33154.

This submission also complies with the request from the Board from the previous Hearing for more information showing the massing of the two-story building.

This project resides in the prestigious Bal Harbour Village neighborhood, west of Bal Harbour Boulevard and just south of the Bal Harbour Village Marina. The existing property is a waterfront lot with water on one side of the property and is currently empty. The current site is situated between two (2) one-story residences and in front of a one-story residence and a two-story residence across the street on Bal Bay Drive. The proposed design allows for open vistas to the intracoastal, while providing privacy to and from the neighboring properties. The proposed design also conforms with the R-1 Zoning requirements as noted on the Site Plans.

The design aesthetic of this residence will have modern-contemporary architectural features that are grounded with natural-feeling materials. The design features are a nod to Miami modernism, Miamo and Art Deco styles, with angular linear features, sweeping overhead eyebrows and cantilevers. The use of rustic-toned materials such as bronzed metal and wood-stamped concrete juxtaposed with the use of water provides a darker modern-contemporary building look that blends in with the lush landscape and with the tranquil view of the waterfront. The additional water features surrounding the home further emphasize the doneness and connection to the waterfront and bring the tranquil qualities of water onto the project site. The proposed design is two stories tall at the full allowable height of 35 feet tall. The entry on the ground floor will open up to a large double height open living room area with tall ceilings that have a large overhead skylight to provide natural lighting within the home. This large welcoming space will open to the exterior pool deck to fully embrace the waterfront views. The programmatic spaces adjacent to this central living area include supporting spaces such as an adjacent kitchen, garage, spa, playroom, wine cellar, game room and entertainment room (on the mezzanine). Two accessory quarters are also provided on the first floor with separate entry access. The second floor holds the more private spaces, with a large opening that looks down into the first floor living area. The programming includes the large master suite that will overlook the pool area and the entire west wing with the view towards the waterfront. There are also five more bedrooms on the second floor, each with their own private bathrooms and most with views to the street side. An additional and more private family room, pantry and laundry are also on this floor.

The building systems include concrete foundations, CMU walls, steel joists/concrete slabs for floor systems and roofs, concrete, metal finishes and impact windows/doors. The proposed design has the least amount as possible of glass in the south facing elevations and more glazing on the other facades which have an overhead eyebrow, following passive architectural techniques to minimize heat gain. Large covered/shaded terraces reduce direct sun exposure on areas with more glazed openings. All building window/door openings will be HVHZ impact rated. All windows will have interior screens for privacy and to minimize sun exposure. The roof will have a flat roof deck system, which will allow for higher ceilings floor to floor. This proposed structure will uphold all of the codes and laws regulated by the governing authorities of the project, State and Local with special regards to HVHZ requirements and environmental protections. All practices will meet or exceed requirements of the Florida Building Code 2023, 8th edition and the State of Florida Department of Environmental Protection.

RECOMMENDATION

It is the opinion of this writer that the proposed new two-story single-family residence follows the Village's Appearance Code and Zoning Ordinance. The Village Planning and Zoning Consultant and the Parks and Public Spaces Department have reviewed the plans and concur that the plans comply.

I recommend that the Board review the submittal for compliance and if they concur with my recommendation, issue a Certificate of Appropriateness.

If approved, the following conditions should be added to the motion:

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. The Applicant shall comply with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences, and landscape plantings.
4. Any new hedge must be planted at least 10' from the edge of the curb.
5. Any new trees must be planted at least 10' from the edge of the curb.
6. All Electrical, Mechanical and Plumbing equipment must be 1.0 foot above B.F.E. (Base Flood Elevation) per F.B.C. & A.S.C.E. 24 and must not infringe upon the building setbacks.
7. Flood Design Data is required to be in accordance to F.B.C., Section 1603.1.7. & A.S.C.E. 24.
8. Architect to provide an Elevation Certificate FEMA Form 086-0-33, for proposed construction that complies with F.B.C. 322 & A.S.C.E. 24.
9. A construction contract and or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
10. The Project shall comply with Section 21-102, a, b, and c regarding setbacks in the R-1 Zoning District.

11. The Project shall comply with Section 21-100 maximum building height of 35 ft. in the R-1 Zoning District.
12. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
13. If any portion of the landscaping, fence, or any other permitted item will be located within the five-foot easement at the front, rear or side of the property, then prior to the issuance of a required permit or permit revision to the master building permit, the Owner of the Project described herein shall execute "Hold Harmless Agreement" as a condition precedent to permit issuance.
14. If the proposed landscape and hardscape design conflicts with the Village's stormwater infrastructure system, the Architect and Civil Engineer are required to resolve prior to permit issuance. Any revisions required to the hardscape or landscape shall be bought before the ARB, if applicable, or be administratively approved prior to permit.
15. Perimeter landscaping required by the Certificate of Appropriateness must be maintained by the property owner in accordance with the standards of the Code.
16. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
17. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.
18. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

OWNER:

MDH MIAMI LLC

DESIGN TEAM:

Eneida Pinon PLLC
Architecture and Design

Architect of Record

9099 NW 165th Terrace
Miami Lakes, FL 33018
United States
Phone: 305.331.7759

Leo Romano
Design Architect

R. 131,79
St. Sul, Goiania - Go, 74093-200
Brazil
Phone: +55.62.3086.1965



148 BAL BAY RESIDENCE

148 Bal Bay Drive
Bal Harbour, FL 33154

ARCHITECTURAL REVIEW BOARD

FEBRUARY 5, 2026



Digitally
signed by
Eneida Pinon
Date:
2026.01.23
08:42:12-05'00'

Szauer Engineering, Inc.
Civil Engineer

7251 W Palmetto Park Road, Suite 100
Boca Raton, FL 33433
United States
Phone: 561.716.0159

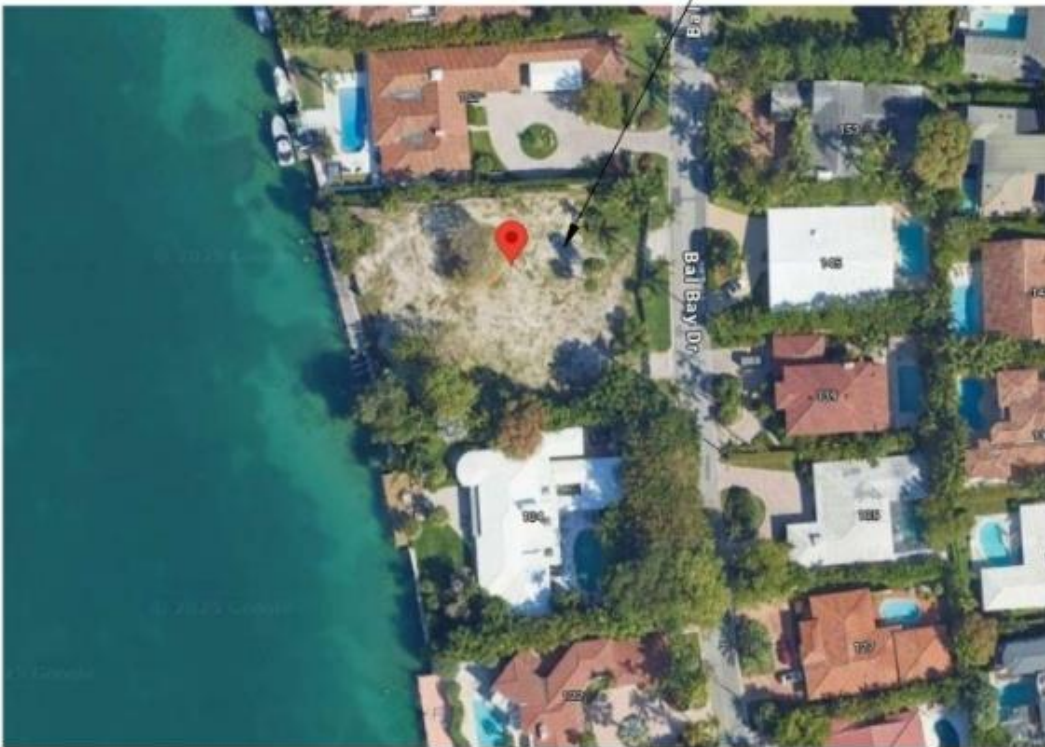
**Andres Montero Landscape
Architecture**
Landscape Architect

2300 E Oakland Park Boulevard
Fort Lauderdale, FL 33306
United States
Phone: 954.533.8259

STREET VIEW



LOCATION MAPS



PROJECT INFORMATION

OWNER:	MDH MIAMI LLC
BUILDING ADDRESS:	148 BAL BAY DRIVE, BAL HARBOUR, FL 33154
PARCEL ID NUMBER:	12-2226-002-0180
LEGAL DESCRIPTION:	ALL OF LOT 19 AND THE NORTHERLY HALF OF LOT 18, IN BLOCK 1, OF THE RESIDENTIAL SECTION OF BAL HARBOUR, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 44, AT PAGE 98, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. THE SAID NORTHERLY HALF OF LOT 18, MORE PARTICULARLY DESCRIBED AS FOUND ON SURVEY.
ZONING:	R-1 SINGLE FAMILY RESIDENCE
OCCUPANCY CLASSIFICATION:	RESIDENTIAL GROUP R-3
CONSTRUCTION TYPE:	II-B (MIN. V-B FOR SINGLE FAMILY HOMES)

SCOPE OF WORK

NEW CONSTRUCTION OF A TWO-STORY SINGLE FAMILY RESIDENCE. ALL NEW MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL SYSTEMS TO SUPPORT BUILDING.

THE DRAWINGS COMPRISE THE CONTRACT DOCUMENTS OUTLINING THE INTENT OF THE ARCHITECT, AND MAY BE SUPPLEMENTED BY FURTHER INFORMATION ISSUED BY ARCHITECT. THE DRAWINGS ARE ARRANGED IN GENERAL TO SPECIFIC ORDER, FOLLOWING A TOP TO BOTTOM, RIGHT TO LEFT FORMAT. CONTRACTORS ARE ADVISED TO READ AND FAMILIARIZE THEMSELVES WITH THE INFORMATION, AS WELL AS THE GENERAL LEGENDS CONTAINED IN THE G SERIES OF DRAWINGS, PRIOR TO REVIEW OF THE PLANS, ELEVATIONS AND DETAILS. ADVISE THE ARCHITECT WHERE INTENT IS NOT CLEARLY PERCEIVED, PRIOR TO PROCEEDING WITH WORK.

APPLICABLE CODES

BUILDING	FLORIDA BUILDING CODE 8TH EDITION (2023) - RESIDENTIAL & BUILDING
ENERGY CODE	FLORIDA BUILDING CODE 8TH EDITION (2023) - ENERGY CONSERVATION
PLUMBING	FLORIDA BUILDING CODE 8TH EDITION (2023) - PLUMBING
MECHANICAL	FLORIDA BUILDING CODE 8TH EDITION (2023) - MECHANICAL
ELECTRICAL	FLORIDA BUILDING CODE 8TH EDITION (2023) - ELECTRICAL 2023 NATIONAL ELECTRICAL CODE (NEC) / NFPA-70
FIRE/LIFE SAFETY	FLORIDA FIRE PREVENTION CODE 8TH EDITION (2023) NFPA 101, NFPA1 2023 EDITION (CHAPTER 42), & STATE STATUTES, 2023 EDITION (ADOPTED REFERENCED PUBLICATIONS FOUND HEREIN.)
WIND LOADS	ASCE 7-10 WIND AS PER FBC 170 MPH / EXPOSURE C / CATEGORY II

DRAWING INDEX

A000	Cover
A001	Project Information
A002	Existing Photographs
A003	Neighboring Homes
A010	Renderings
A011	Renderings
A100	Site Plan
A101	Site Plan - Dim & W
A201a	First Floor Plan - Dimensioned
A201b	First Floor Measureline Plan - Dimensioned
A202	Second Floor Plan - Dimensioned
A203	Roof Plan
A301	Elevations - Front/Rear
A302	Elevations - Sides
A303	Bal Bay Drive Contextual Street Elevation and Egress Diagram
A401	Building Sections
C-02	Brass Control Plan
C-03	Paving, Grading and Drainage
C-04	Utilities
L-00	Illustrative Site Plan
L-01	Property Survey & Tree Disposition Plan
L-02	Landscape Plan
L-03	Landscape Calculation Tables
L-04	Landscape Details & General Notes

148 Bal Bay Residence

148 Bal Bay Drive
Bal Harbour, FL 33154

Eneida Pinon PLLC
Architecture and Design

9099 NW 165th Terrace
Miami Lakes, FL 33018
USA

Tel 305.331.7759

△ Date Description

CONSTRUCTION NOTES, SPECIFICATIONS & GENERAL REQUIREMENTS

ARCHITECT'S STATUS:

A. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND HE OR SHE WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE OR HAVE CONTROL OR CHARGE OVER THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OF THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.

CODES:

A. ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THE PROJECT, INCLUDING ALL APPLICABLE STATE, CITY AND COUNTY BUILDING, ZONING, ELECTRICAL, PLUMBING, LIFE SAFETY AND FIRE CODES. CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS AND BRING ANY DISCREPANCY BETWEEN THE CODES AND THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE ARCHITECT.

THE PROJECT WAS DESIGNED IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-14 EDITION), (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) AISC ASD 13th EDITION, BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530-13/ASCE 5-13/TMS 402-16), BUILDING CODE REQUIREMENTS AND NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION (ANSI/NFPA NDS-2018).

B. THESE PLANS AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE.

PERMITS:

A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING AND TRADE PERMITS AND FOR THEIR RESPECTIVE COSTS

JOB CONDITIONS:

A. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTAL OF BID AND / OR CONTRACT NEGOTIATIONS, AND HE SHALL VERIFY EXISTING CONDITIONS WITH THE CONSTRUCTION DOCUMENTS. DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IN WRITING FOR CLARIFICATION. BIDS SHALL NOT BE SUBMITTED OR CONSTRUCTION CONTRACTS NEGOTIATED BY THE CONTRACTOR PRIOR TO CLARIFICATION OF THE INTENT OF THE CONSTRUCTION DOCUMENTS WHERE SUCH INTENT IS IN DOUBT. BACK CHARGES WILL NOT BE ACCEPTED.

B. DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE OVER SCALE AND GRAPHICS. DO NOT SCALE DRAWINGS.

C. IF WORK IS BEING PERFORMED IN AN EXISTING BUILDING AND / OR AS AN ADDITION OR ALTERATION(S) TO AN EXISTING BUILDING, THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS WITH REFERENCE TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL SYSTEMS, ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IN WRITING PRIOR TO THE SUBMISSION OF BIDS OR CONTRACT NEGOTIATIONS. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK BY TRADES, SUPPLIERS, SUBCONTRACTORS AND OTHER PROVIDERS TO INSURE THAT THE WORK, WHEN COMPLETED WILL BE IN ACCORDANCE WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS.

D. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL AND NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.

WORK NECESSARY TO COMPLETE CONSTRUCTION:

A. IT IS THE PURPOSE OF THESE PLANS AND SPECIFICATIONS TO DESCRIBE A COMPLETE AND FINISHED PROJECT OTHER THAN ITEMS MARKED "N.I.C." (NOT IN CONTRACT)

CLEAN UP / REPAIR:

A. THE CONTRACTOR SHALL MAINTAIN THE PREMISE CLEAN AND FREE OF ALL TRASH, DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOLING, PAINT/OVER-SPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.

B. THE CONTRACTOR SHALL REPAIR AND / OR REPLACE ALL ITEMS DAMAGED BY THE PROCESS OF CONSTRUCTION AND SHALL FINISH ALL PATCHWORKS AND REPAIRS TO MATCH ADJACENT AREAS AND SURFACES.

CLIMATE & GEOGRAPHIC DESIGN CRITERIA:

A. PER 2020 FBC-RESIDENTIAL, TABLE R301.2(1), "SUBJECT TO DAMAGE" FROM WEATHERING IS CLASSIFIED AS "NEGLECTABLE". TERMITE DAMAGE IS CLASSIFIED AS "VERY HEAVY". SEE ADDITIONAL NOTES UNDER EARTHWORK.

EARTH WORK:

A. PERFORM ALL WORK IN CONFORMANCE WITH THE FINAL SOILS, COMPACTION AND GEOLOGICAL REPORTS.

B. FOUNDATIONS SHALL BE MONOLITHIC OR SPREAD FOOTINGS BASED ON A SOIL BEARING CAPACITY OF 2500 PSF. FINAL WRITTEN VERIFICATION SHALL BE SENT TO THE OWNER AND ARCHITECT PRIOR TO THE START OF CONSTRUCTION.

C. AFTER STANDARD CLEANING AND GRUBBING HAS BEEN COMPLETED AND APPROVED, APPLY VIBRATORY COMPACTOR WITH A MINIMUM OF FOUR PASSES.

D. SOIL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR (ASTM D1557) TO A DISTANCE OF 5 FEET BEYOND ALL BUILDING EDGES. AT LEAST ONE FIELD DENSITY TEST SHALL BE PERFORMED FOR EACH 2500 SQUARE FEET OF AREA. DENSITY TESTS ARE TO BE MADE 12 INCHES BELOW THE COMPACTED SURFACES. RESULTS OF PROCTOR TEST(S) AND FIELD DENSITY TEST(S) SHALL BE FURNISHED TO THE ARCHITECT/ENGINEER.

E. FILL SHALL BE CLEAN, WELL GRADED SAND, CLASSIFICATION SW PER ASTM D2487-98 (75) WITH LESS THAN 12% PASSING 200 SIEVE. FILL MATERIAL SHALL BE PLACED IN LIFTS OF NOT MORE THAN 12" AND COMPACTED AS ABOVE.

F. TERMITE PROTECTION SHALL BE IN ACCORDANCE WITH SECTION 1616 OF THE FL BUILDING CODE 2020.

CONCRETE:

A. GENERAL: ALL CONCRETE WORK SHALL CONFORM TO ALL RECOMMENDATIONS AND REQUIREMENTS OF ACI 318-14.

B. PORTLAND CEMENT: ASTM C-150 TYPES I OR II. LOW ALKALI. SILL TESTED AND CERTIFIED. USE TYPE V CEMENT FOR SOIL CONTAINING SULFATE CONCENTRATIONS OF MORE THAN 0.2 PERCENT.

C. WATER: FROM DOMESTIC SOURCES, CLEAN, POTABLE, AND FREE FROM ALL ORGANIC OR OTHER DELETERIOUS MATERIALS.

D. AGGREGATES: ASTM C-33 FOR SLABS ON GRADE.

E. SAND: ASTM C-33 FOR SLABS ON GRADE.

F. FOUNDATIONS: INSTALL AS INCLUDED IN THESE DWGS, OR AS AMENDED BY THE FINAL SOILS REPORT.

G. VAPOR BARRIER: BENEATH SLABS TO BE 6 MIL. POLYETHYLENE.

H. CONCRETE SHALL BE READY MIX & HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI FOR FOOTINGS & SLABS ON GRADE & 3,000 PSI FOR BEAMS, COLUMNS AT 28 DAYS. ALL CONCRETE WORK SHALL COMPLY W/ THE REQUIREMENTS OF THE ACI BUILDING CODE (ACI 318-14) THE ACI DETAILING MANUAL (ACI 315 LATEST EDITION), AND THE SPECS. FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301 LATEST EDITION). CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS REQUIRED BY THE LATEST ACI SPECIFICATIONS, WELDED WIRE FABRIC SHALL COMPLY WITH ASTM A-185, UNLESS OTHERWISE SPECIFIED. PLATE FABRIC 2" CLEAR FROM TOP OF THE SLAB IN SLAB ON GRADE LAP ALL W/ W/ A MINIMUM OF 6 INCHES U.N.O. ALL REINFORCING STEEL SHALL BE MANUF. FROM HIGH STRENGTH BILLET STEEL CONFORMING TO ASTM DESIGNATION A-615 GRADE 60. LAP ALL BARS MINIMUM 48 DIA. U.N.O. ON DRAWINGS. ALL HOOKS SHOWN IN REINFORCEMENT SHALL BE ACI RECOMMENDED HOOKS U.N.O.

REINFORCING STEEL:

A. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE, EXCEPT WHERE MORE EXACTING REQUIREMENTS ARE SPECIFIED IN THE CONTRACT DOCUMENTS.

B. MINIMUM CONCRETE COVERAGE OF REINFORCING STEEL.
* SLAB ON VAPOR BARRIER 2" (ELEVATED 1 1/2")
* BEAMS AND COLUMNS 1 1/2"
* FORMED CONCRETE BELOW GRADE 2"
* UNFORMED BELOW GRADE 3"
* FOOTING 3" CLEAR AT BOTTOM & SIDES 2" CLEAR OF TOP
* WALLS 2" CLEAR OUTSIDE FACE, 1 1/2" CLEAR INSIDE
* SLABS 3/4" CLEAR AT TOP (INTERIOR), 1 1/2" CLEAR AT TOP (EXTERIOR)
* BEAMS 1 1/2" CLEAR TO STIRRUPS
* COLUMNS 1 1/2" CLEAR TO TIRES

C. REINFORCING MESH: ON-GRADE BUILDING SLABS SHALL BE ACI-318 ELECTRICALLY WELDED WIRE FABRIC, SIZES AND GAUGES AS SHOWN ON THE DRAWINGS.

D. GENERAL BEAM NOTES:
1) SCHEDULE HOOPS OR STIRRUPS SHALL BE PLACED AT EACH END OF BEAM U.N.O.
2) BUNDLE ALL STR. BEAM TOP BARS IN PARS OVER SUPPORT W/ TOP BARS FROM ADJ. BEAMS
3) ALL THE BEAM REINFORCING SHALL EXTEND INTO SPAN OF ANY ADJ. STR. BEAM PER STANDARD ASTM BENDING DIAGRAM.

4) THE BEAM DEPTHS ARE MIN. AND MAY BE INCREASED (8" MAX.) TO FIT BLOCK WORK AND WINDOW AND DOOR HEADS.
5) DROP BOTTOM OF THE BEAMS, AS REQUIRED, AT WINDOW & DOOR HEADS (28" MAX. BEAM DEPTH) & ADD 2 #5 BOTTOM. IF DROP EXCEEDS 8" U.N.O. ON PLANS.
6) ALL ADDED LONGITUDINAL BEAM REINFORCING SHALL EXTEND 6" MIN. INTO SUPPORT U.N.O.

TRUSSES:

A. THE TRUSS LAYOUT SHOWN ON CONSTRUCTION DOCUMENTS IS SCHEMATIC IN NATURE. HOWEVER, THE SUPPORTING SUPERSTRUCTURE HAS BEEN DESIGNED UNDER THE ASSUMPTION THAT THE FRAMING SCHEME SHOWN WILL CLOSELY PARALLEL THE FINAL TRUSS MFG. LAYOUT. THIS FRAMING SCHEME (DIRECTION OF TRUSSES, MAJOR G.T. BEARING POINTS, ETC.) CAN BE MODIFIED ONLY AFTER OBTAINING PERMISSION FROM THE PRIME PROFESSIONAL OF RECORD WHO MUST REVIEW PROPOSED CHANGES AND MAKE STRUCTURAL REVISIONS ACCORDINGLY. FINAL SIGNED AND SEALED ENGINEERING TRUSS DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO POURING OF FOUNDATION.

B. WOOD ROOF TRUSSES ARE TO BE DESIGNED FOR THE WOOD FABRICATOR BY A PROFESSIONAL SPECIALTY ENGINEER REGISTERED IN THE STATE OF FLORIDA. TRUSS FABRICATOR TO PROVIDE PRE-FABRICATED HANGERS AS REQUIRED.

C. DESIGN, FABRICATION, AND INSTALLATION OF WOOD TRUSSES AND SHEET METAL CONNECTORS SHALL BE IN ACCORDANCE WITH THE FOLLOWING STANDARDS.

D. DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD ROOF TRUSSES PER TPI 1-2007; DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED PARALLEL CHORD TRUSSES PER PCT 80; HANDLING, INSTALLATING, RESTRAINING AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES PER BCSI 2013 EDITION

CONCRETE UNIT MASONRY:

A. THIS PROJECT IS DESIGNED AS ENGINEERED UNIT MASONRY. STRUCTURAL DESIGN SHALL BE IN ACCORDANCE WITH ACI 530-13/ASCE 5-13/TMS 402-16; BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES AND THE COMMENTARY ON BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES.

B. REINFORCING STEEL: LAP REINFORCING NOT LESS THAN 48 BAR DIAMETERS AT SPLICE IN WALL REINFORCING. LAP HORIZONTAL REINFORCING A MINIMUM OF 18" AROUND CORNERS. HORIZONTAL BARS SHALL BE TIED TO VERTICAL BARS AS THE WORK PROGRESSES AND SHALL BE EMBEDDED IN GROUT. PLACING OF HORIZONTAL REINFORCING IN JOINTS OR MORTAR WILL NOT BE PERMITTED EXCEPT FOR WIRE JOINT REINFORCING.

C. FOUNDATION DOWELS: SHALL NOT BE SLOPED MORE THAN ONE HORIZONTAL TO 6 VERTICAL TO ALIGN WITH BLOCK CORE.

D. CLEAN OUT OPENINGS SHALL BE PROVIDED AT BOTTOM OF GROUTED CELLS. SEAL AFTER CLEANING AND INSPECTION.

E. MASONRY UNITS SHALL BE ASTM C-90 TYPE II WITH MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI ON NET AREA OF INDIVIDUAL UNITS. ALL CMU SHALL BE LAID IN A FULL BED OF MORTAR IN RUNNING BOND U.N.O. ALL REINFORCING STEEL SHALL BE MANUFACTURED FROM HIGH STRENGTH BILLET STEEL CONFORMING TO ASTM DESIGNATION A-615 GRADE 60.

F. ALL MORTAR SHALL BE TYPE S IN ACCORDANCE WITH ASTM SPECIFICATION C-270 WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI AT 28 DAYS. NO TESTING FOR MORTAR STRENGTH IS REQUIRED FOR THIS PROJECT.

G. GROUT SHALL BE A HIGH SLUMP MIX (8"-11") IN ACCORDANCE WITH ASTM SPECIFICATION C-476 HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI. NO TESTING FOR GROUT STRENGTH IS REQUIRED FOR THIS PROJECT.

H. PROVIDE 9 GAUGE HORIZONTAL JOINT REINFORCEMENT (LADDER TYPE ONLY) AT EVERY SECOND COURSE FOR ALL EXTERIOR WALLS.

I. ALL CONCRETE MASONRY BEARING AND SHEAR WALLS MUST BE INSPECTED BY A QUALIFIED ENGINEER JUST PRIOR TO POURING OF THE FOUNDATION, 1ST & 2ND FLOOR TIE BEAMS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "SPECIFICATION FOR THE DESIGN AND CONSTRUCTION OF LOAD BEARING CONCRETE MASONRY" PUBLISHED BY THE NATIONAL CONCRETE MASONRY ASSOCIATION.

STRUCTURAL STEEL:

A. WORKMANSHIP: WORK SHALL COMPLY WITH A.I.S.C. LRFD 15TH EDITION, UNLESS MORE EXACTING REQUIREMENTS ARE SPECIFIED IN THE CONTRACT DOCUMENTS.

B. ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERRECTED IN ACCORDANCE WITH THE LATEST AISC CODE. STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATION A36. ALL STEEL TUBING & PIPE SHALL CONFORM TO ASTM SPECIFICATION A-500 GRADE B (P-Y-48KSI). ALL STEEL TO HAVE A SHOP COAT OF RUST INHIBITIVE PAINT. ALL SHOP AND FIELD WELDING SHALL BE PERFORMED BY WELDERS QUALIFIED, AS DESCRIBED IN "AMERICAN WELDING SOCIETY'S" STANDARD QUALIFICATION PROCEDURE" (AWS D1.1), TO PERFORM THE TYPE OF WORK REQUIRED. ALL STEEL WELDING RODS SHALL BE E70XX ELECTRODES. CRETE MASONRY" PUBLISHED BY THE NATIONAL CONCRETE MASONRY ASSOCIATION.

RESIDENTIAL POOL SAFETY ACT - CHAPTER 45 OF THE 2023 FBC RESIDENTIAL

A. ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL SHALL MEET THE REQUIREMENTS OF RESIDENTIAL POOL SAFETY ACT SECTION R4501.17.1.9.

B. ALL DOORS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL ARE TO BE SELF CLOSING AND SELF LATCHING. LATCH MECHANISM SHALL BE MOUNTED AT 54" A.F.F. (MIN).

C. THE G.C. IS TO VERIFY THAT ALL ACCESS TO THE POOL AREA MEET THE SWIMMING POOL SAFETY ACT.

ROUGH CARPENTRY:

A. ALL BEAMS INSTALLED WITH CROWN UP UNLESS OTHERWISE NOTED. CANTILEVERED BEAMS SHALL BE INSTALLED WITH CROWN DOWN.

B. 3" MINIMUM BEARING BY BEAMS AND GIRDERS ON MASONRY OR CONCRETE.

C. PROVIDE 4"x4" POSTS OR (2) 2"x4" STUDS MINIMUM UNDER ALL BEAMS AND HEADERS UNLESS OTHERWISE NOTED.

D. ALL SUB-SILLS, OVER 8'-0" IN LENGTH SHALL BE DOUBLE 2"x4"s.

E. DOUBLE 2"x4"s, SPIKED TOGETHER W/ 16'S @ 5' O" C/ STAGGERED MAY BE USED IN LIEU OF 4"x4" POSTS WHERE CONTAINED WITHIN WALLS UNLESS SPECIFICALLY NOTED OTHERWISE ON PLANS.

F. ALL LUMBER IN DIRECT CONTACT WITH STEEL OR CONCRETE SHALL BE PRESSURE TREATED, HAVE AN APPROVED SEPARATING MATERIAL OR HAVE A GALVANIZED ANCHOR SEAT.

G. BUILDING PAPER: FEDERAL SPECIFICATIONS UU-9-790. INSTALL UNDER ROOFING AND TRIM AND CAREFULLY APPLY SO AS TO FORM A WATERTIGHT MEMBRANE. EACH COURSE OF PAPER SHALL OVERLAP THE COURSE BENEATH IT 6" MINIMUM. WHERE PAPER MEETS ANY OPENING, THE PAPER SHALL BE CAREFULLY LAPPED OVER THE FRAME TO PREVENT THE PASSAGE OF WATER BEHIND THE FRAME. INSTALL SILKA KRAFT PAPER AT EXTERIOR DOORS AND WINDOW FRAMES.

H. ALL BEARING PARTITIONS SHALL BE SECURED TO ADJACENT PARTITIONS, AND SHALL HAVE AT LEAST A DOUBLE STUD POST AT ALL ENDS, CORNERS AND EACH SIDE OF ALL WINDOW AND DOOR OPENINGS.

I. ROOF SHEATHING: 19/32" THICK STANDARD PLYWOOD SHEATHING, EXTERIOR GLUE, C-D GRADE, 4 PLY, INDES 240; APA GRADE TRADEMARKED, APPLY WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND STAGGER JOINTS

J. HANGERS, FRAMING ANCHORS AND FASTENERS: STAMPED AND FABRICATED STEEL OF THE TYPE INDICATED, HANGERS TO BE THOSE FURNISHED OR RECOMMENDED BY MANUFACTURER FOR THIS SPECIFIC USE. NAILS SHALL BE FULLY DRIVEN IN ALL HOLES IN THE ANCHOR, ALL HANGERS AND ANCHORS SHALL BE GALVANIZED.

K. DRAFT-STOPPING: IN FLOOR AND CEILING ASSEMBLIES NOT TO EXCEED 1,000 S/F. IN ATTICS FOR AREAS OVER 3,000 S/F

L. FIRE-BLOCKING: INSTALL IN CONCEALED SPACES BOTH VERTICAL AND HORIZONTAL, SUCH AS BUT NOT LIMITED TO, STUD WALLS, FURRED SPACES, SOFFITS, DROP CEILINGS, COVES, STAIR STRINGERS (TOP AND BOTTOM) OPENINGS FOR VENTS, PIPES, DUCTS, CHIMNEYS, FLOOR JOISTS OR TRUSSES.

SHOP DRAWINGS:

A. THE CONTRACTOR SHALL SUBMIT THREE COPIES OF ALL SHOP DRAWINGS, ALL FABRICATED ITEMS AND EQUIPMENT TO THE ARCHITECT'S REVIEW PRIOR TO FABRICATION AND COMMENCEMENT OF THE WORK.

B. CABINET SUPPLIER SHALL PROVIDE SHOP DRAWINGS.

C. WINDOW AND DOOR SUPPLIER SHALL PROVIDE SHOP DRAWINGS.

ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE U.N.O.

PLUMBING FIXTURES:

A. ALL SHOWER HEADS SHALL HAVE ANTI-SCALDING PROTECTION

TIMBER

A. STRUCTURAL TIMBER TO BE SOUTHERN PINE #2 (MIN.) STRESS GRADE LUMBER OR APPROVED EQUAL. THE MIN. ALLOWANCE PROPERTIES ARE AS FOLLOWS:
* FB = 1,150 PSI FV = 90 PSI E = 1,600,000 PSI AND PRESSURE TREATED FOR USE AGAINST CONCRETE AND MASONRY.

B. ALL TIMBER AND TIMBER CONSTRUCTION SHALL COMPLY WITH SPECIFICATIONS AND CODES AS SPECIFIED BELOW:
AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, TIMBER CONSTRUCTION MANUAL; NATIONAL FOREST PRODUCTS ASSOCIATION, NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION; AMERICAN PLYWOOD ASSOCIATION, PLYWOOD DESIGN SPECIFICATION; AMERICAN WOOD PRESERVERS ASSOCIATION STANDARDS; NATIONAL LUMBER MANUFACTURERS ASSOCIATION, NATIONAL DESIGN SPECIFICATION FOR STRESS GRADE LUMBER AND ITS FASTENINGS.

C. ALL TIMBER CONNECTIONS ARE TO BE MADE USING PREFABRICATED CONNECTORS. TOE NAILING WILL NOT BE PERMITTED. SUBMIT MANUFACTURER'S DATE FOR APPROVAL. FASTENERS TO BE AS MANUFACTURED BY USP OR SIMPSON.

D. LUMBER USED FOR LOAD SUPPORTING SHALL HAVE GRADE MARKS COMPLYING WITH AND PROCEDURES AND AGENCIES APPROVED BY US PROCEDURE PS 20-94.

E. PLYWOOD: PRODUCT STANDARD PS-173 AND RULES FOR DFPA GRADE TRADEMARKS OF AMERICAN PLYWOOD ASSOCIATION.

F. MARKING: WOOD AND LUMBER SHALL BE MARKED WITH ITS GRADE AND PLYWOOD WITH ITS GRADE TRADEMARK IN ACCORDANCE WITH THE REFERENCED STANDARDS. A PIECE WITH DEFECTS SHALL NOT BE USED REGARDLESS OF GRADING.

G. EXTERIOR PLYWOOD SHEATHING SHALL BE GROUP I STANDARD (C-D) EXT-DFPA, (C-C) EXT-DFPA, STRUCTURAL I (C-D) EXT-DFPA OR STRUCTURAL I (C-C) EXT-DFPA.

DOORS AND WINDOWS:

A. PER FBC 406.3.2.1 DOOR OPENINGS BETWEEN THE GARAGE AND DWELLING TO BE SOLID CORE NOT LESS THAN 1 3/8" THICK OR BE IN COMPLIANCE WITH FBC 716.5.3 WITH A FIRE PROTECTION RATING NOT LESS THAN 20 MINUTES. DOORS SHALL BE SELF CLOSING AND SELF LATCHING.

B. DOORS CONTAINING GLAZING MATERIAL NOT GREATER THAN 9 SQUARE FEET IN SURFACE AREA SHALL BE CLASSIFIED AS CATEGORY I AND SHALL BE CAPABLE OF WITHSTANDING A 150 FOOT-POUND IMPACT TEST.

C. DOORS, BATH & SHOWER ENCLOSURES, AND SLIDING GLASS DOORS CONTAINING GLAZING MATERIAL GREATER THAN 9 SQUARE FEET IN SURFACE AREA SHALL BE CLASSIFIED AS CATEGORY II AND SHALL BE CAPABLE OF WITHSTANDING A 400 FOOT-POUND IMPACT TEST

D. THE GLAZING IN SLIDING AND SWINGING DOORS AND IN SHOWER OR TUB ENCLOSURES INCLUDING ANY GLAZING WITHIN 60 INCHES OF THE FINISHED FLOOR IN WALLS SURROUNDING TUB & SHOWER ENCLOSURES SHALL BE SAFETY GLAZED FOR CATEGORY II GLAZING PRODUCTS.

E. GLASS OR MIRRORS IMMEDIATELY SURROUNDING A BATHTUB OR SHOWER SHALL BE SAFETY GLAZING WHERE THE GLASS OR MIRRORS ARE LESS THAN 60" ABOVE THE FLOOR OF THE TUB OR SHOWER.

F. EGRESS WINDOWS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS. THEY SHALL PROVIDE A CLEAR OPENING OF NOT LESS 20" WIDE, 24" HIGH AND 5.7 SQUARE FEET MINIMUM AREA. THE BOTTOM OF OPENING SHALL NOT BE MORE THAN 44" ABOVE FLOOR AND LATCH AT 54" ABOVE FLOOR (MAX). PER 2017 FBC-RESIDENTIAL, SECTION R310.

G. WINDOW UNITS SHALL DISP. LABELS SHOWING COMPLIANCE WITH THE FL ENERGY CODE.

H. ALL NEW SINGLE-FAMILY HOUSES, DUPLEXES, TRI-PLEXES, CONDOMINIUMS AND TOWNHOUSES SHALL PROVIDE AT LEAST ONE BATHROOM, LOCATED WITH MAX. POSSIBLE PRIVACY, WHERE BATHROOMS ARE PROVIDED ON HABITABLE GRADE LEVELS, WITH A DOOR THAT HAS A MIN. 20" CLEAR OPENING. HOWEVER, IF ONLY A TOILET ROOM IS PROVIDED AT GRADE LEVEL, SUCH TOILET ROOMS SHALL HAVE A CLEAR OPENING OF NOT LESS THAN 20 INCHES. PER 2017 FBC-RESIDENTIAL, SECTION R320.1.1.

THERMAL MOISTURE PROTECTION:

A. INSULATION: INSULATION SHALL BE PROVIDED AND INSTALLED PER FBC 2017 ENERGY CONSERVATION CODE. PRESCRIPTIVE REQUIREMENTS INCLUDE:
MINIMUM OF R-30 CLO INSUL. IN CLIMATE ZONE 1, R-38 CLO INSUL. IN CLIMATE ZONE 2, MASONRY WALLS A MINIMUM OF R-4 IN CLIMATE ZONE 1, R-6 IN CLIMATE ZONE 2, FRAME WALLS A MINIMUM OF R-13 IN BOTH CLIMATE ZONE 1 & 2.
VERIFY REQUIRED INSULATION VALUES TO BE INSTALLED AGAINST FBC ENERGY CONSERVATION ENERGY CALCULATIONS AS SUBMITTED.

B. ROOF / TILE: TILE SHALL BE AS SHOWN ON DRAWINGS AND AS SELECTED BY ARCHITECT/DESIGNER. INSTALLATION SHALL BE PER MANUFACTURER'S RECOMMENDATIONS AND FLORIDA BUILDING CODE 2017. AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL FURNISH A ROOFERS WRITTEN GUARANTEE COVERING WORKMANSHIP, MATERIAL, MANUFACTURERS GUARANTEE FOR REPLACEMENT OF THE SAME AT NO COST TO THE OWNER WITHIN WARRANTY PERIOD.

PROJECT TEAM

<u>DESIGN ARCHITECT</u>	<u>ARCHITECT OF RECORD</u>	<u>GENERAL CONTRACTOR</u>
LEO ROMANO	ENEIDA PINON PLLC	BUSS CONSTRUCTION SERVICES LLC
ADDRESS: R 131, 79 ST SUL, GOIÂNIA - GO, 74093-200, BRAZIL TEL: +55 62 3086-1965 CONTACT: MARIANA ROMANO EMAIL: MAR@LEOROMANO.COM.BR	ADDRESS: 9099 NW 165TH TERRACE, MIAMI LAKES, FL 33018 TEL: 305-331-7759 CONTACT: ENEIDA PINON EMAIL: ENEIDAPINON7@GMAIL.COM	ADDRESS: 21036 VIA EDEN BOCA RATON, FL 33433 TEL: 561-305-4135 CONTACT: PIERMO BUSS NUNES EMAIL: PIERMO@BUSSCONSTRUCTIONSERVICES.COM
	<u>CIVIL ENGINEER</u>	
	SZAUER ENGINEERING, INC.	
	ADDRESS: 7251 WEST PALMETTO PARK ROAD, STE 100 BOCA RATON, FLORIDA 33433 TEL: 561-716-0159 CONTACT: JORGE SZAUER EMAIL: JSZAUER@SZAUERENG.COM	
	<u>LANDSCAPE</u>	
	ANDRES MONTERO LANDSCAPE ARCHITECTURE	
	ADDRESS: 2300 EAST OAKLAND PARK BLVD, STE 300 FORT LAUDERDALE, FL 33306 TEL: 954-533-8259 CONTACT: ANDRES MONTERO EMAIL: AMONTERO@AMLASTUDIO.COM	

148 Bal Bay
Residence

148 Bal Bay Drive
Bal Harbour, FL 33154

Eneida Pinon PLLC
Architecture and Design

9099 NW 165th Terrace
Miami Lakes, FL 33018
USA

Tel 305.331.7759

△ Date Description

NOT FOR CONSTRUCTION

Seal / Signature



Digitally signed
by Eneida Pinon
Date:
2026.01.23
08:43:12-05'00'

Project Name

148 BAL BAY
RESIDENCE

Project Number

25006

Description

Existing Photographs

Scale

A002.

DRAWING NO. OF

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134 BAL BAY DRIVE



152 BAL BAY DRIVE



139 BAL BAY DRIVE



145 BAL BAY DRIVE

148 Bal Bay Residence

148 Bal Bay Drive
Bal Harbour, FL 33154

Eneida Pinon PLLC
Architecture and Design
9099 NW 165th Terrace Tel 305.331.7759
Miami Lakes, FL 33018
USA

△ Date	Description
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NOT FOR CONSTRUCTION

Seal / Signature



Digitally signed
by Eneida Pinon
Date:
2026.01.23
08:43:30-05'00'

Project Name

148 BAL BAY
RESIDENCE

Project Number

25006

Description

Neighboring Homes

Scale

A003.

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148 Bal Bay Residence

148 Bal Bay Drive
Bal Harbour, FL 33154

Eneida Pinon PLLC
Architecture and Design
9099 NW 165th Terrace
Miami Lakes, FL 33018
USA
Tel 305.331.7759

△ Date	Description
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NOT FOR CONSTRUCTION

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by Eneida Pinon
Date:
2026.01.23
08:44:04-05'00'

Project Name

148 BAL BAY
RESIDENCE

Project Number

25006

Description

Renderings

Scale

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AERIAL VIEW



STREET ELEVATION



AERIAL VIEW



WATERFRONT ELEVATION

148 Bal Bay
Residence

148 Bal Bay Drive
Bal Harbour, FL 33154

Eneida Pinon PLLC
Architecture and Design
9099 NW 165th Terrace
Miami Lakes, FL 33018
USA
Tel 305.331.7759

△ Date	Description
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NOT FOR CONSTRUCTION

Seal / Signature



Digitally signed
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Date:
2026.01.23
08:44:30-05'00'

Project Name

148 BAL BAY
RESIDENCE

Project Number

25006

Description

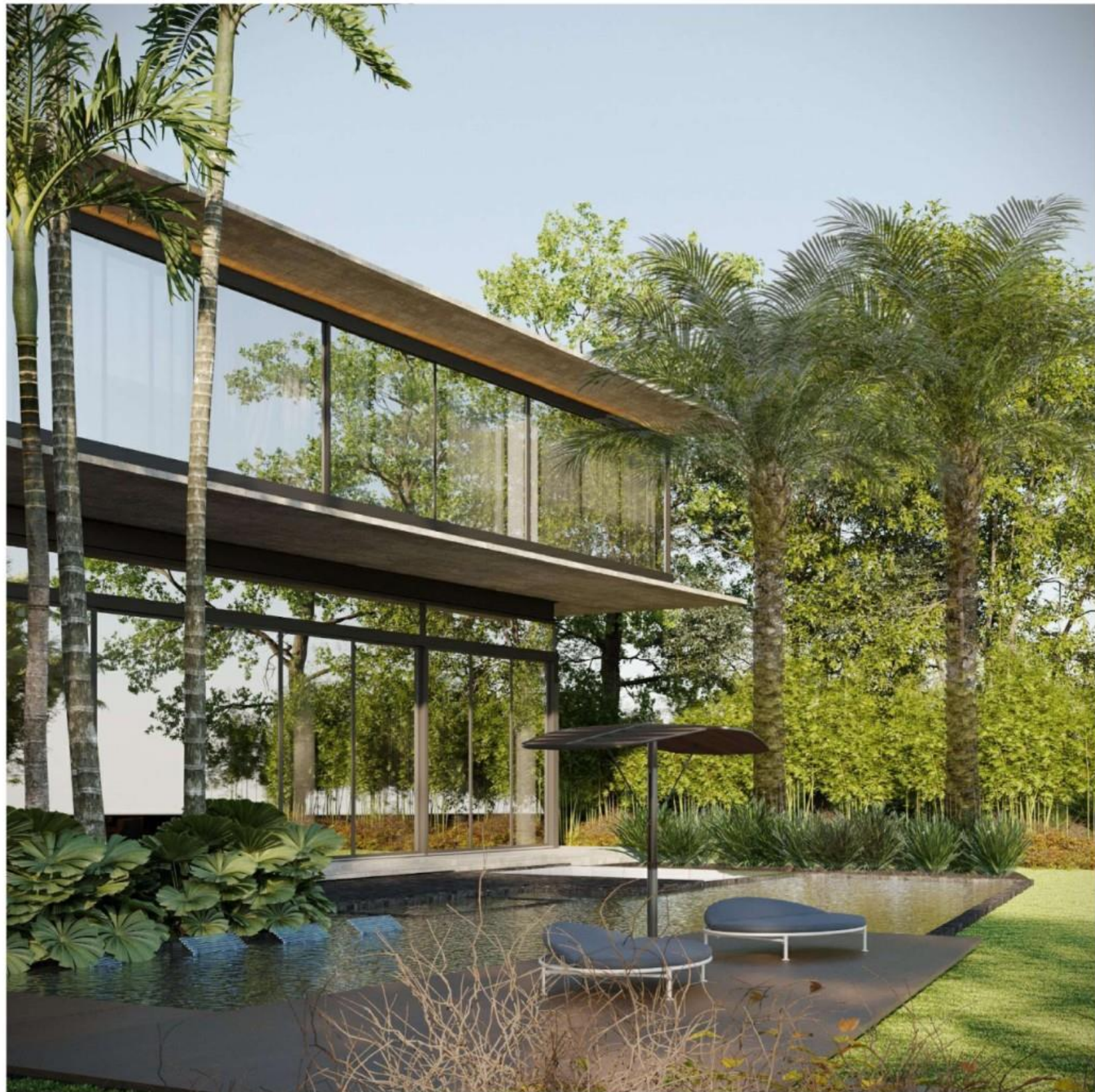
Renderings

Scale

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GROUND FLOOR POOL AREA VIEW (NE)



SECOND FLOOR WATERFRONT VIEW



GROUND FLOOR CORNER VIEW (NW)



STREET VIEW

FLOOD CRITERIA LEGEND

FEMA FLOOD ZONE:	AE		
CURRENT FIRM PANEL (2009):	12086C0144L	LOWEST ADJACENT GRADE:	EL +3.99' NGVD29 / +2.32' NAVD88
CURRENT BASE FLOOD ELEVATION:	EL +8.00' NGVD29 / +6.33' NAVD88	HIGHEST ADJACENT GRADE:	EL +7.83' NGVD29 / +6.16' NAVD88
PROPOSED FEMA UPDATED BASE FLOOD ELEVATION:	EL +8.67' NGVD29 / +7.00' NAVD88	HIGHEST CROWN OF ROAD:	EL +5.23' NGVD29 / +3.56' NAVD88
DESIGN FLOOD ELEVATION:	EL +9.67' NGVD29 / +8.00' NAVD88	NOTE: - ASCE 24 RISK CATEGORY II, FLOOD DESIGN CLASS 2 - THE FIRST FLOOR ELEVATION OF ALL SINGLE- AND MULTIPLE-FAMILY DWELLINGS WEST OF BAL HARBOUR BOULEVARD SHALL BE NOT LESS THAN 30 INCHES ABOVE THE ELEVATION OF THE CENTER OF THE STREET UPON WHICH THE LOT FACES. - THE GARAGE FLOOR SHALL BE NOT LESS THAN SIX INCHES ABOVE THE ELEVATION OF THE CENTER OF THE STREET UPON WHICH LOT FACES. - ALL ELEVATIONS ARE PROVIDED IN NGVD29, U.N.O. TO CONVERT TO NAVD88 AT THIS LOCATION, SUBTRACT 1.67' FROM NGVD29. - BUILDING TO BE COMPLY WITH FBC-R 322, FBC 107.3.5, 1612.3.1, AND ASCE 24-14.	
PROPOSED FINISHED FIRST FLOOR ELEVATION:	EL +9.67' NGVD29 / +8.00' NAVD88		
PROPOSED GARAGE/STORAGE ELEVATION:	EL +8.17' NGVD29 / +6.50' NAVD88		
LOWEST ELEVATION OF EQUIPMENT PADS:	EL +9.67' NGVD29 / +8.00' NAVD88		

LOT COVERAGE

	PROPOSED	PROPOSED (ACC. QUARTERS)	TOTAL PROPOSED	ALLOWED
LOT AREA	-	-	27,999.57 SF / 0.64 ACRES	-
BUILDING COVERAGE AREA	8,690 SF	443 SF	9,133 SF (32.6%)	12,040 SF MAX (43%)
IMPERVIOUS SURFACE AREA	4,133 SF + 1,497 SF* = 5,630 SF	N/A	5,630 SF	-
IMPERVIOUS AREA	14,320 SF	443 SF	14,763 SF	14,840 SF MAX
	+51.1%	+1.6%	52.7%	53% MAX
*50% PERVIOUS PAVER AREA				
PERVIOUS AREA	13,236 SF		13,236 SF	13,160 SF MIN
	+47.3%		47.3%	47% MIN

BUILDING FLOOR AREA

PROPOSED SPACE	FIRST FLOOR	FIRST FLOOR - MEZZANINE	SECOND FLOOR	TOTALS
A/C FLOOR AREA	6,558 SF	1,078 SF**	8,518 SF	15,076 SF
GARAGE	362 SF	N/A	362 SF	362 SF
BUILDING GROSS FLOOR AREA	6,920 SF	1,078 SF**	8,518 SF	15,438 SF
COVERED TERRACE	2,545 SF	N/A	N/A	2,545 SF
UNCOVERED HARDSCAPE	6,210 SF	N/A	N/A	6,210 SF
UNENCLOSED AREAS	8,755 SF	N/A	N/A	8,755 SF
TOTALS	15,675 SF	1,078 SF**	8,518 SF	24,193 SF

** MEZZANINE IS LESS THAN 1/3 OF DOUBLE HEIGHT SPACE ROOM, SF WILL NOT BE COUNTED TOWARDS TOTAL SF AS PER CODE.

BUILDING HEIGHT

PROPOSED FEMA UPDATED BASE FLOOD ELEVATION: EL +8.67' NGVD29 / +7.00' NAVD88

PROPOSED FINISHED FIRST FLOOR ELEVATION (DFE): EL +9.67' NGVD29 / +8.00' NAVD88

MAX BUILDING HEIGHT ALLOWED (2) STORIES (FROM DFE): 35 FT
(THE VERTICAL DISTANCE FROM THE AVERAGE STREET GRADE TO THE HIGHEST POINT OF THE COPING OF A FLAT ROOF, NOTWITHSTANDING THE FOREGOING, THE HEIGHT OF SINGLE-FAMILY DWELLINGS MAY BE MEASURED FROM THE HIGHEST MINIMUM ELEVATION PROVIDED BY STATE OR FEDERAL LAW, THE BASE FLOOD ELEVATION PLUS ANY ADDITIONAL FREEBOARD. PARAPET WALLS SHALL NOT EXCEED FOUR FEET IN HEIGHT AS MEASURED FROM THE HIGHEST POINT OF THE ROOF TO THE HIGHEST POINT OF THE PARAPET WALL.)

MAX BUILDING HEIGHT ALLOWED: EL +44.67' NGVD29 / +43.00' NAVD88

PROPOSED BUILDING HEIGHT (2 STORIES): 34'-11" (FROM DFE) / EL +44.58' NGVD29 / +42.91' NAVD88

BUILDING SETBACKS

STREET:	15' - 0"	PROPOSED:	25' - 11" (EAST)
SIDE/INTERIOR :	10' - 0" FOR BOTH SIDES (FOR EVERY ADDITIONAL FT IN HEIGHT ABOVE 18 FT, THERE SHALL BE +1 FT OF SIDE SETBACK FOR THAT PORTION OF THE BUILDING OVER 18 FT IN HEIGHT.)	PROPOSED:	28' - 2" (NORTH) & 28' - 4" (SOUTH)
SEAWALL:	40' - 0"	PROPOSED:	52' - 1" (WEST)

ADDITIONAL SETBACKS

POOL:	MIN 20' - 0" FROM REAR THE OUTER FACE OF THE SEAWALL
WALKWAYS:	MIN 0' - 0" FROM PROPERTY LINE
DRIVEWAYS:	MIN 0' - 0" FROM PROPERTY LINE

PARKING

PARKING REQUIRED: 2 PARKING SPACES PER DWELLING UNIT, WITH NOT LESS THAN ONE SPACE PROVIDED WITHIN A GARAGE OR CARPORT.

PARKING PROVIDED: 5 SPACES (FOUR IN DRIVEWAY, ONE IN GARAGE)

GARAGE

ONE-CAR GARAGE PROVIDED: 16' - 5" WIDE BY 20' - 0" LONG.

STREET SETBACK:	20' - 0"	PROPOSED:	62' - 0" (EAST)
HEIGHT LIMIT:	15' - 0"	PROPOSED:	15' - 0"

NOTE : ALL NEW RESIDENCES AND 100 PERCENT RECONSTRUCTED RESIDENCES BUILT SUBSEQUENT TO JANUARY 1, 1999, SHALL ONLY BE CONSTRUCTED WITH GARAGE ENTRIES NOT DIRECTLY FACING STREET(S).

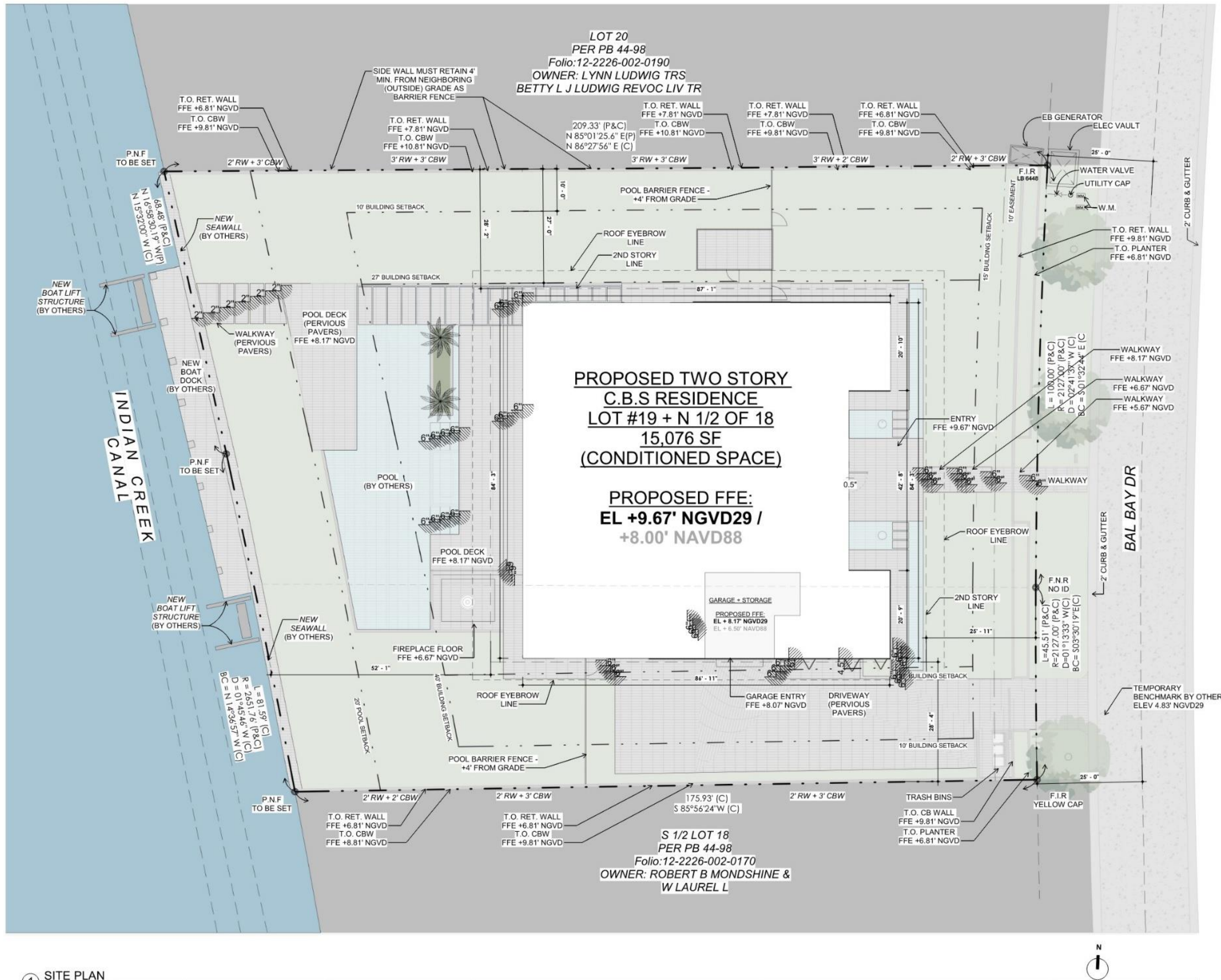
PROJECT INFORMATION

OWNER:	MDH MIAMI LLC
BUILDING ADDRESS:	148 BAL BAY DRIVE, BAL HARBOUR, FL 33154
PARCEL ID NUMBER:	12-2226-002-0180
LEGAL DESCRIPTION:	ALL OF LOT 19 AND THE NORTHERLY HALF OF LOT 18, IN BLOCK 1, OF THE RESIDENTIAL SECTION OF BAL HARBOUR, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 44, AT PAGE 98, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. THE SAID NORTHERLY HALF OF LOT 18, MORE PARTICULARLY DESCRIBED AS FOUND ON SURVEY.
ZONING:	R-1 SINGLE FAMILY RESIDENCE
OCCUPANCY CLASSIFICATION:	RESIDENTIAL GROUP R-3
CONSTRUCTION TYPE:	II-B (MIN. V-B FOR SINGLE FAMILY HOMES)

ZONING STATEMENT

THE LOT SITS ON LOT/5 19 AND THE NORTHERN HALF OF LOT 18 AND BLOCK 1, AND IS LOCATED IN THE R-1 ZONING DISTRICT OF THE VILLAGE RESIDENTIAL SECTION. THE LOT IS 27,999.57 SQUARE FEET AND THE APPLICANT IS PROPOSING A NEW CONSTRUCTION SINGLE FAMILY RESIDENCE ON THE PROPERTY 148 BAL BAY DRIVE WITH 15,076 SQUARE FEET OF CONDITIONED INTERIOR SPACE AND 8,755 SQUARE FEET OF UNCONDITIONED OUTDOOR AREAS FOR A TOTAL SQUARE FOOTAGE OF 24,193.

THE ENTRANCE TO THE RESIDENCE FACES BAL BAY DRIVE AND THE PROPOSED GARAGE ENTRY DOES NOT FACE THE STREET.



① SITE PLAN
1/16" = 1'-0"

SITE PLAN GENERAL NOTES:

1. SITE PLAN ELEVATIONS ARE PROVIDED IN NGVD29, U.N.O.
2. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL SITE INFORMATION AND CALCULATIONS.
3. CONTRACTOR TO ASSESS SITE CONDITIONS AND PREPARE FINAL GRADING PLAN SO THAT ALL WATER SHALL BE RETAINED WITHIN THE PROPERTY LINES.
4. ALL CONSTRUCTION MATERIALS BELOW EL. +9.67' NGVD TO BE CONCRETE OR BLOCK.
5. PROVIDE COMPLIANCE WITH ASCE 24 (7.2, 7.3, 7.4, 7.5, 8.0, 9.6) WHICH INCLUDES, BUT IS NOT LIMITED TO: ALL ELECTRICAL, PLUMBING, AND MECHANICAL EQUIPMENT WILL BE LOCATED ABOVE EL. +9.67' NGVD. ALL ELEVATOR EQUIPMENT TO BE LOCATED ABOVE EL. +9.67' NGVD. ELEVATOR PITS TO BE OF FLOOD DAMAGE RESISTANT MATERIALS AND EQUIPPED WITH AUTOMATIC SUMP PUMPS WITH FLOAT SWITCH. ALL MEANS OF EGRESS AND PRIMARY ENTRY TO BE LOCATED ABOVE EL. +9.67' NGVD. EXTERIOR STAIRS, RAMPS AND LANDINGS TO BE DESIGNED TO RESIST FLOOD DAMAGE. POOL EQUIPMENT TO BE LOCATED ABOVE EL. +9.67' NGVD, UNLESS SPECIFICALLY ANCHORED AND DESIGNED TO RESIST FLOOD FORCES.
6. PROVIDE COMPLIANCE WITH FBC-R 322.2.2 FOR ALL ENCLOSED AREAS BELOW DFE, INCLUDING CRAWL SPACES. ENCLOSED AREAS THAT ARE BELOW THE DESIGN FLOOD ELEVATION SHALL BE USED SOLELY FOR PARKING OF VEHICLES, BUILDING ACCESS OR STORAGE.
7. FENCE HEIGHT DIMENSIONS SHOWN FROM THE AVERAGE ELEVATION OF THE CENTERLINE OF THE ADJOINING STREET WHICH IS EL. +4.81' NGVD. ALL SIDE FENCE WALLS FROM POOL BARRIER TO SEAWALL MUST RETAIN 4" MIN. HEIGHT FROM NEIGHBORING (OUTSIDE) GRADE AS PART OF POOL BARRIER FENCE. POOL BARRIER TO COMPLY WITH FBC R 4501.17.
8. PROVIDE COMPLIANCE WITH BAL HARBOUR VILLAGE ORDINANCE NO. 2023-653 FOR DEMOLITION OF STRUCTURES AND CONSTRUCTION SITE OPERATIONS.

9. ALL GLASS RAILING SHOULD COMPLY WITH FBC 1618.4.6.3.
10. ALL BEDROOMS MEANS OF EGRESS TO COMPLY WITH FBC-R 310.
11. BUILDING TO COMPLY WITH BAL HARBOUR VILLAGE CODE 5-5.5 CRITERIA FOR APPEARANCE.
12. PROVIDE COMPLIANCE WITH FBC R 311.3.1: FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOORS, LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 1-1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD.
13. PROVIDE COMPLIANCE WITH FBC R 311.3.2: FLOOR ELEVATIONS FOR OTHER EXTERIOR DOORS, DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 7-3/4 INCHES BELOW THE TOP OF THE THRESHOLD.
14. PROVIDE COMPLIANCE WITH FBC R 311.7.8: HANDRAILS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS.
15. PROVIDE COMPLIANCE WITH FBC R 311.7.9: LANDINGS FOR STAIRWAYS. THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. THE WIDTH PERPENDICULAR TO THE DIRECTION OF TRAVEL SHALL BE NOT LESS THAN THE WIDTH OF THE FLIGHT SERVED.
16. AS PER VILLAGE CODE SECTION 5-5.5 (4) D, THE MAILBOX IS ACCESSIBLE FROM THE OUTSIDE OF THE WALL FOR DEPOSIT OF MAIL AND FROM THE INSIDE OF THE WALL OR FENCE FOR RETRIEVAL OF MAIL. THE MAILBOX IS FREESTANDING AND THE FRONT OF THE MAILBOX IS LOCATED 30 INCHES FROM BACK OF CURB.
17. ONE-TIME PRODUCT APPROVAL IS REQUIRED THROUGH MIAMI-DADE COUNTY FOR CUSTOM GARAGE DOOR. THE GENERAL CONTRACTOR SHALL ENSURE THAT THE GARAGE DOOR HAS RECEIVED MIAMI-DADE COUNTY APPROVAL PRIOR TO THE FRAMING INSPECTION. FRAMING INSPECTION WILL NOT BE APPROVED WITHOUT CONFIRMATION OF THIS ONE-TIME PRODUCT APPROVAL.

148 Bal Bay Residence

148 Bal Bay Drive
Bal Harbour, FL 33154

Eneida Pinon PLLC
Architecture and Design

9099 NW 165th Terrace
Miami Lakes, FL 33018
USA

Tel 305.331.7759

△ Date Description

NOT FOR CONSTRUCTION

Seal / Signature



Digitally signed by
Eneida Pinon
Date:
2026.01.23
08:45:09-05'00'

Project Name

148 BAL BAY
RESIDENCE
Project Number

25006

Description

Site Plan

Scale

As indicated

A100.

DRAWING NO. _____ OF _____

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148 Bal Bay Residence

148 Bal Bay Drive
Bal Harbour, FL 33154

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9099 NW 165th Terrace
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08:45:58-05'00'

Project Name

148 BAL BAY
RESIDENCE

Project Number

25006

Description

Site Plan - Dim B/W

Scale

As indicated

A101.

DRAWING NO. _____ OF _____

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FLOOD CRITERIA LEGEND

FEMA FLOOD ZONE:	AE	LOWEST ADJACENT GRADE:	EL +3.99' NGVD29 / +2.32' NAVD88
CURRENT FIRM PANEL (2009):	12086C0144L	HIGHEST ADJACENT GRADE:	EL +7.83' NGVD29 / +6.16' NAVD88
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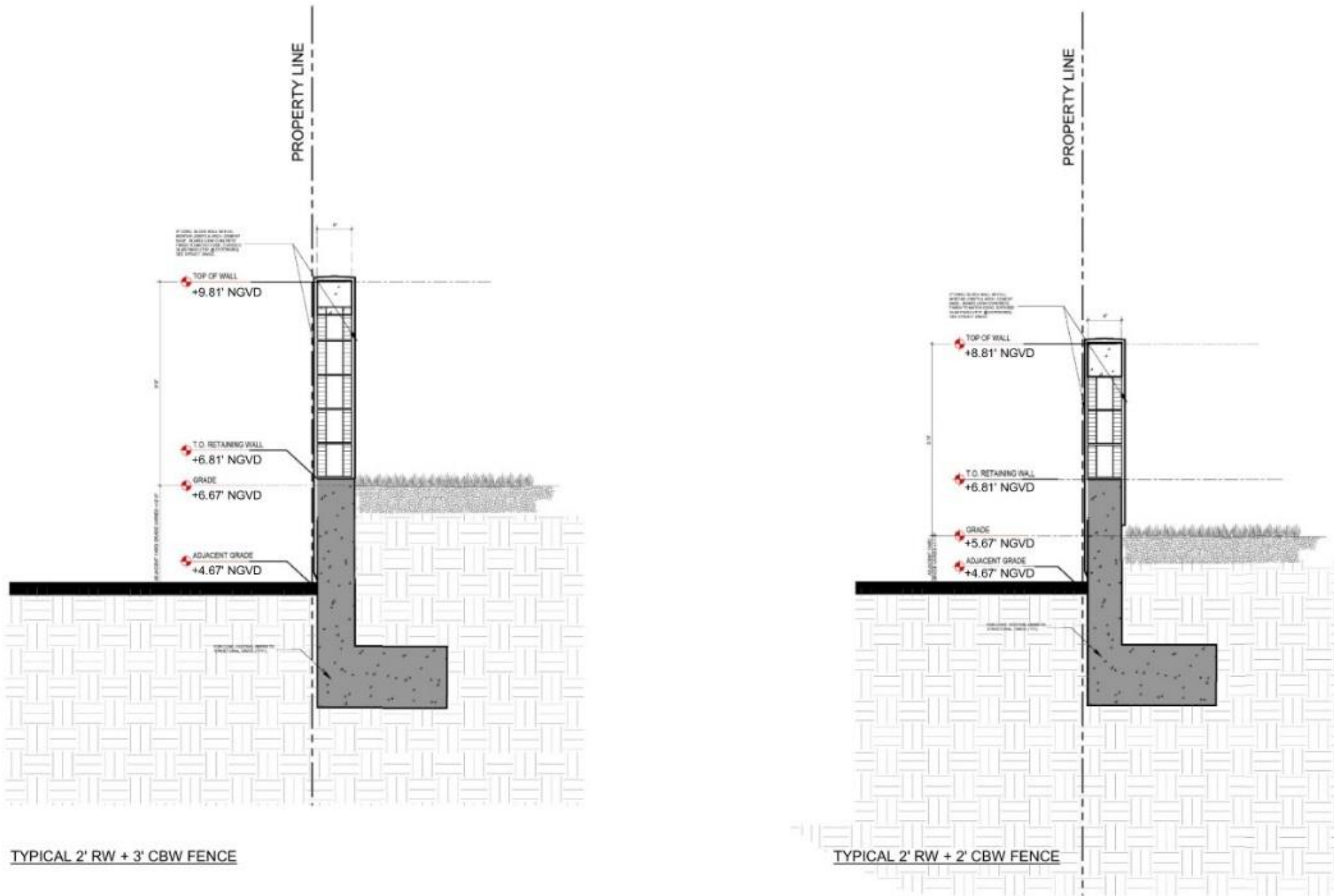
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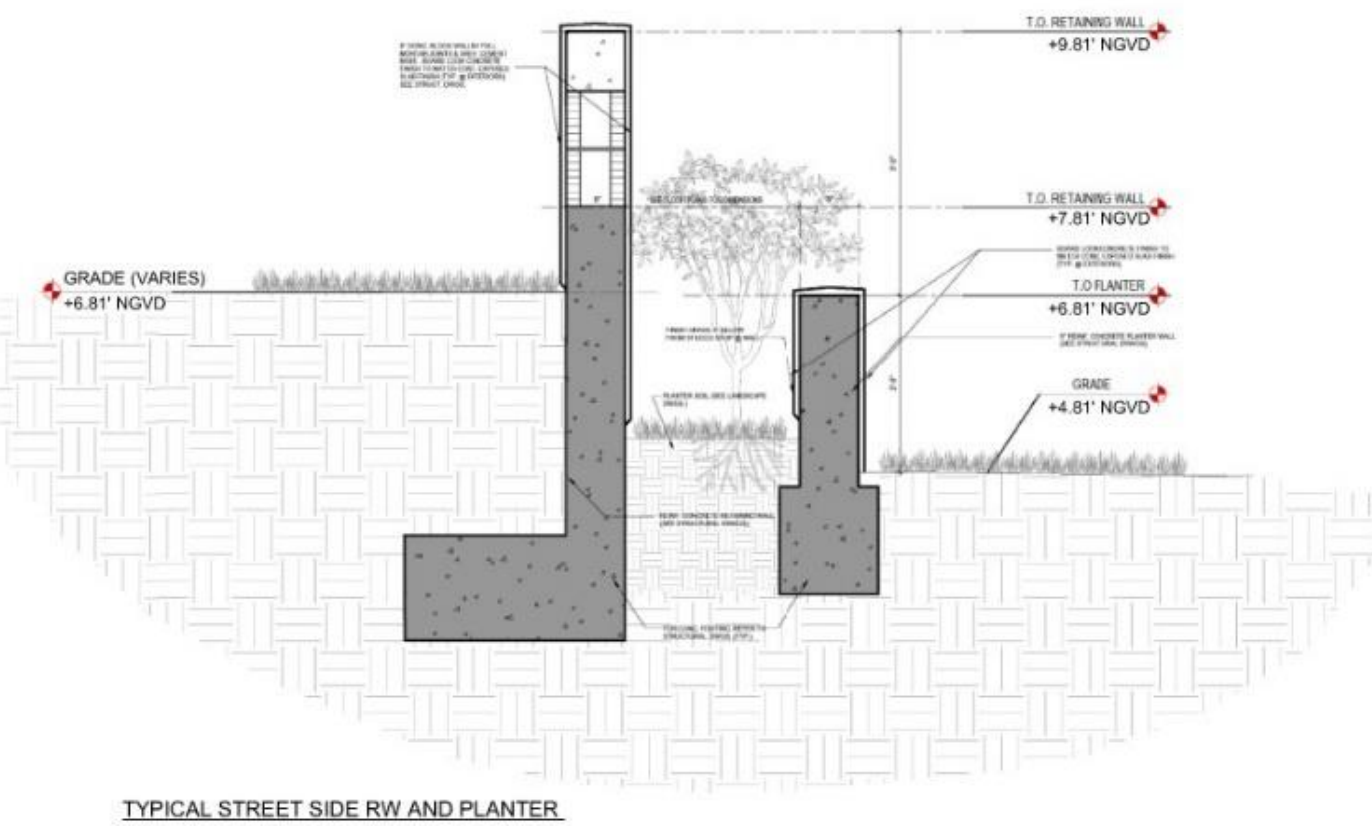


2 SITE PLAN KEY
1" = 40'-0"



TYPICAL 2' RW + 3' CBW FENCE

TYPICAL 2' RW + 2' CBW FENCE



TYPICAL STREET SIDE RW AND PLANTER

1 SITE PLAN - B&W DIMENSIONED
1/16" = 1'-0"

SITE PLAN GENERAL NOTES:

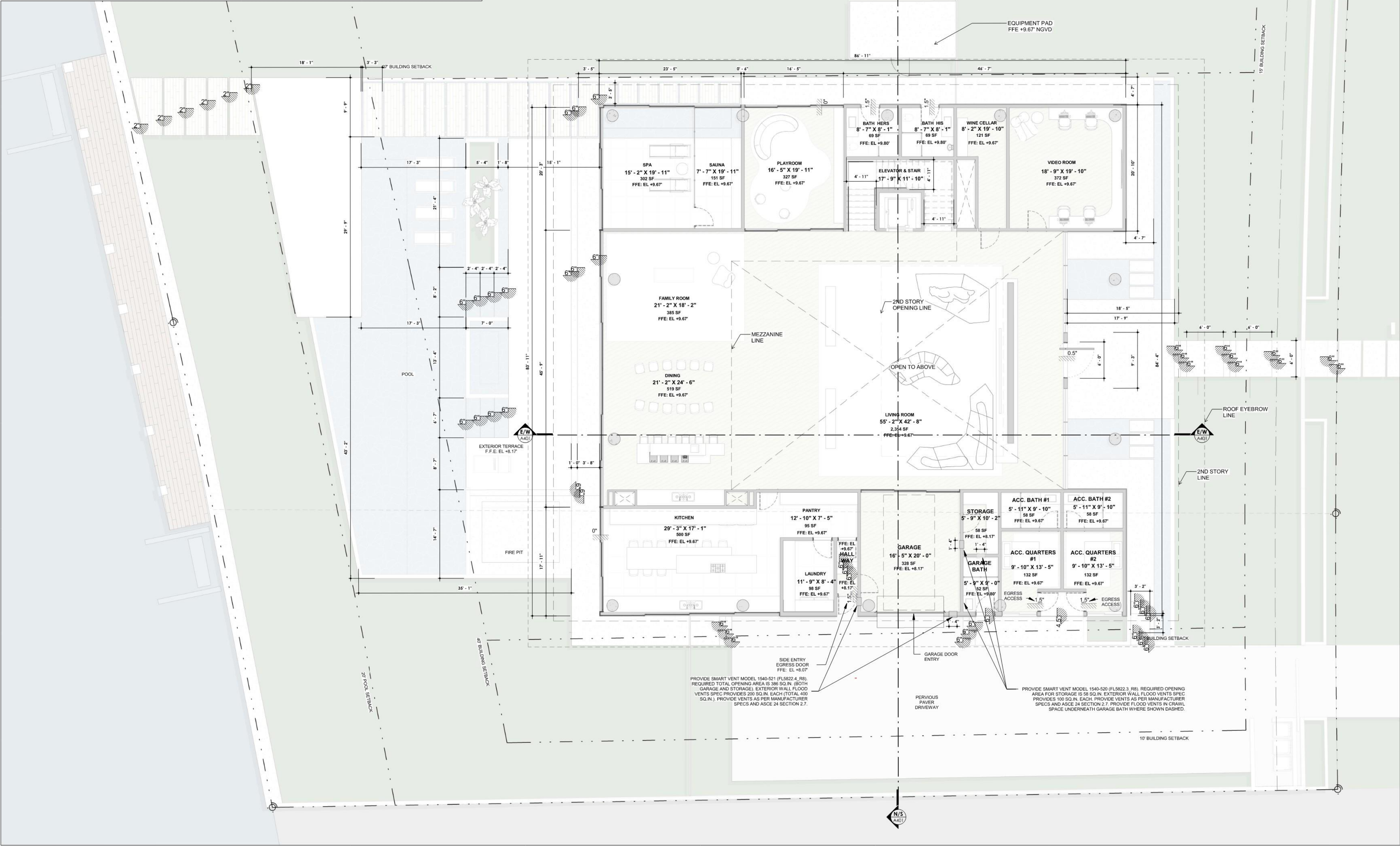
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First Floor Plan - Noted
ESC: 1/8" = 1'-0"

148 Bal Bay
Residence

148 Bal Bay Drive
Bal Harbour, FL 33154

Eneida Pinon PLLC
Architecture and Design

9099 NW 165th Terrace
Miami Lakes, FL 33018
USA

Tel 305.331.7759

Date Description

NOT FOR CONSTRUCTION

Seal / Signature



Digitally signed
by Eneida Pinon
Date:
2026.01.23
08:46:12-05'00'

Project Name

148 BAL BAY
RESIDENCE
Project Number

25006

Description

First Floor Plan - Dimensioned

Scale

1/8" = 1'-0"

A201a.

DRAWING NO. OF

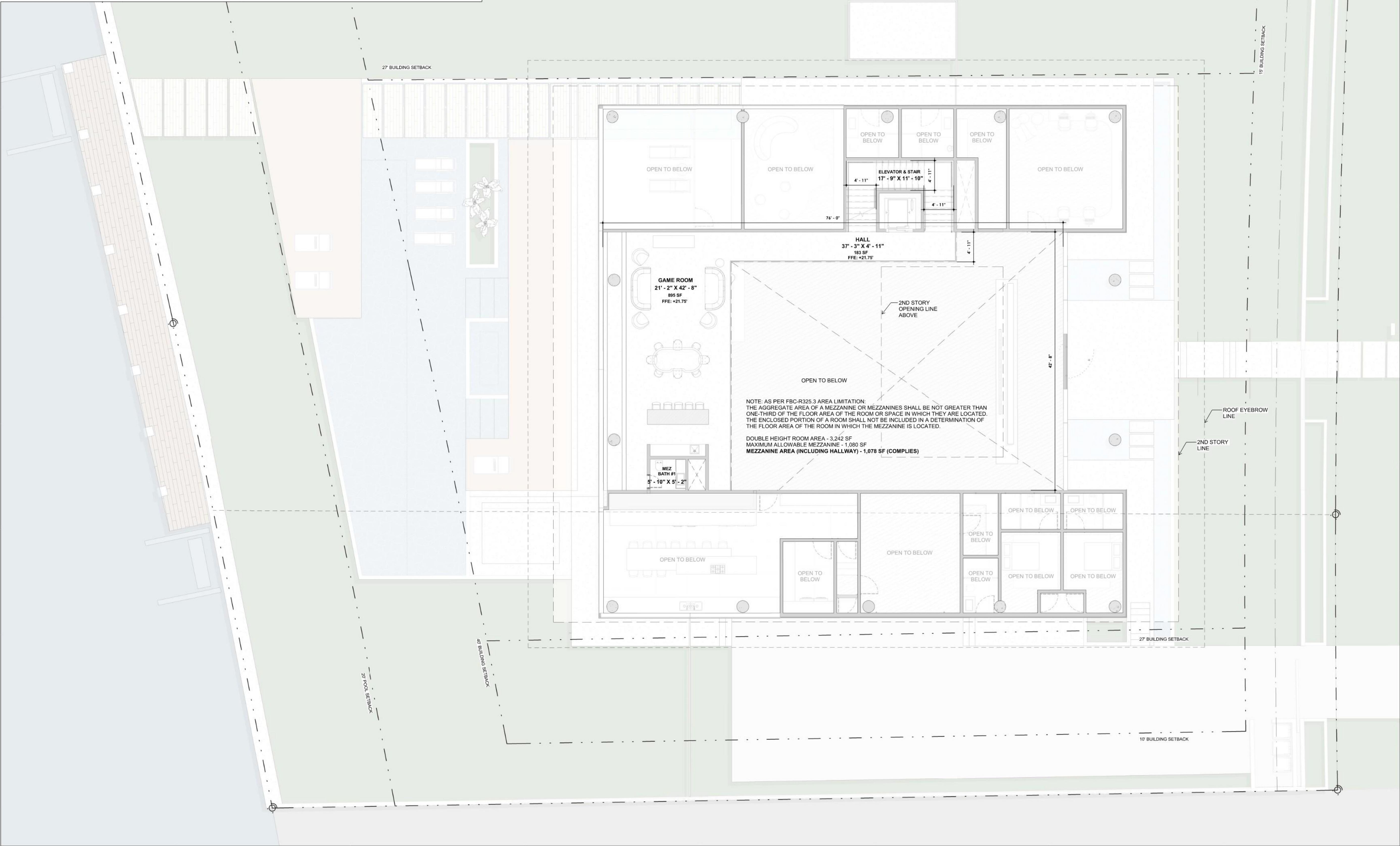
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Mezzanine Floor Plan - Dim
ESC: 1/8" = 1'-0"

148 Bal Bay Residence

148 Bal Bay Drive
Bal Harbour, FL 33154

Eneida Pinon PLLC
Architecture and Design

9099 NW 165th Terrace
Miami Lakes, FL 33018
USA

Tel 305.331.7759

△	Date	Description
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NOT FOR CONSTRUCTION

Seal / Signature



Digitally signed
by Eneida Pinon
Date:
2026.01.23
08:46:24-05'00'

Project Name

148 BAL BAY
RESIDENCE

Project Number

25006

Description

First Floor Mezzanine Plan -
Dimensioned

Scale

1/8" = 1'-0"

A201b.

DRAWING NO. _____ OF _____

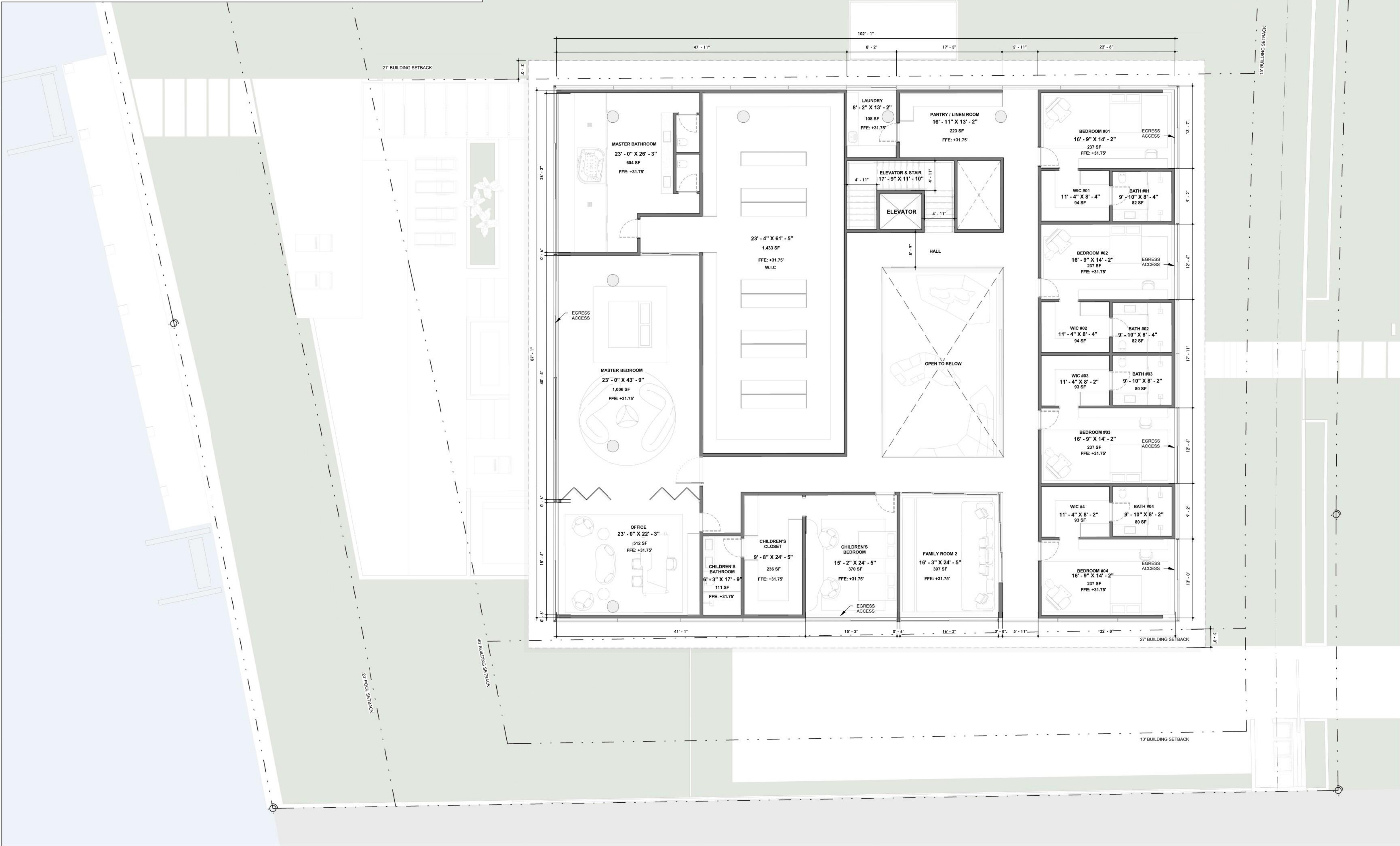
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NOTE:

- ASCE 24 RISK CATEGORY II, FLOOD DESIGN CLASS 2
- THE FIRST FLOOR ELEVATION OF ALL SINGLE- AND MULTIPLE-FAMILY DWELLINGS WEST OF BAL HARBOUR BOULEVARD SHALL BE NOT LESS THAN 30 INCHES ABOVE THE ELEVATION OF THE CENTER OF THE STREET UPON WHICH THE LOT FACES.
- THE GARAGE FLOOR SHALL BE NOT LESS THAN SIX INCHES ABOVE THE ELEVATION OF THE CENTER OF THE STREET UPON WHICH LOT FACES.
- ALL ELEVATIONS ARE PROVIDED IN NGVD29, I.N.O. TO CONVERT TO NAVD88 AT THIS LOCATION, SUBTRACT 1.67' FROM NGVD29, DANG SETBACK
- BUILDING TO BE COMPLY WITH FBC-R 322, FBC 107.3.5, 1612.3.1, AND ASCE 24-14.



Second Floor - Dimensioned
ESC: 1/8" = 1'-0"

148 Bal Bay Residence

148 Bal Bay Drive
Bal Harbour, FL 33154

Eneida Pinon PLLC
Architecture and Design

9099 NW 165th Terrace
Miami Lakes, FL 33018
USA

Tel 305.331.7759

Date	Description
------	-------------

NOT FOR CONSTRUCTION

Seal / Signature



Digitally signed by
Eneida Pinon
Date:
2026.01.23
08:46:37-05'00'

Project Name

148 BAL BAY
RESIDENCE

Project Number

25006

Description

Second Floor Plan - Dimensioned

Scale

1/8" = 1'-0"

A202.

DRAWING NO. _____ OF _____

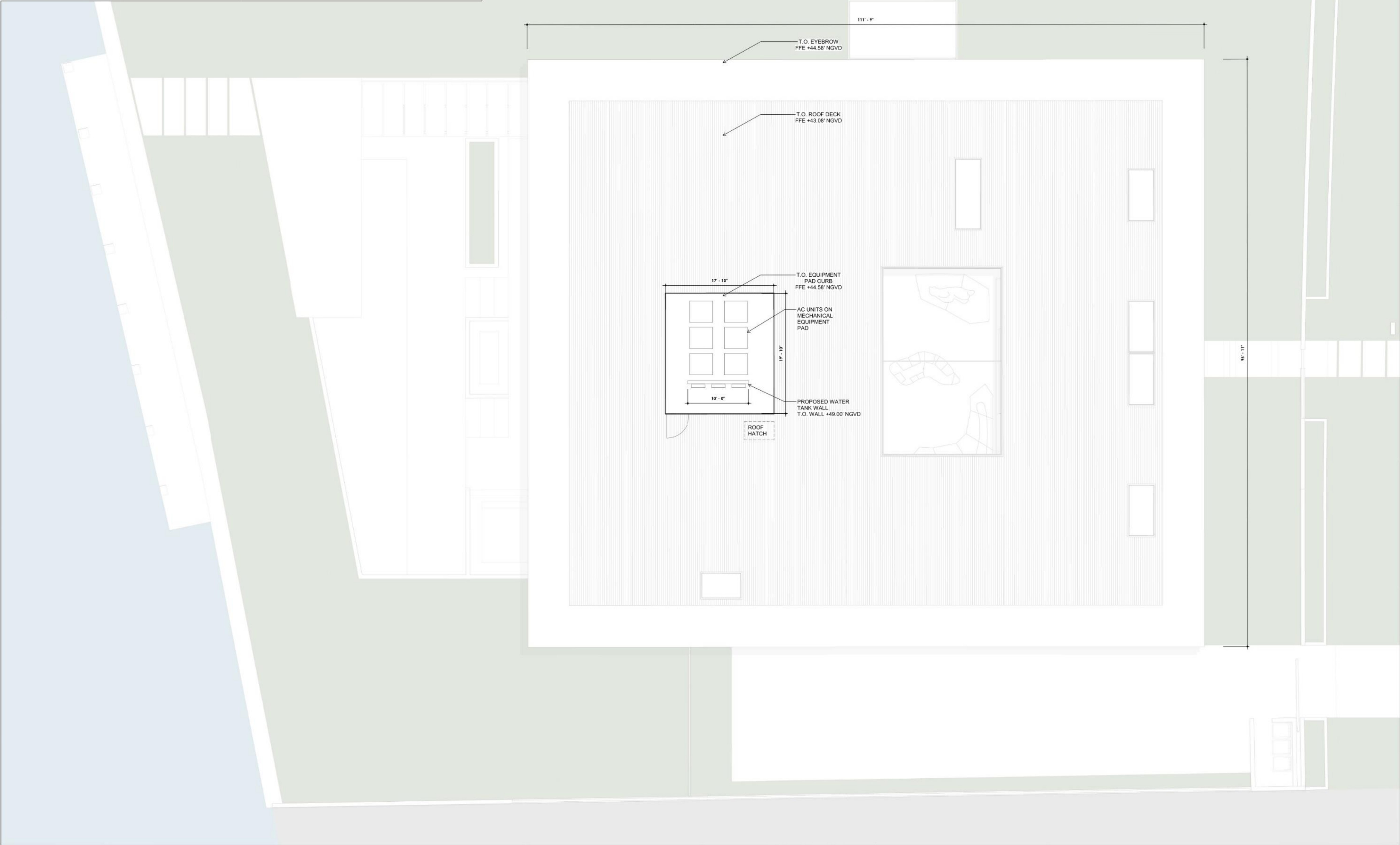
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FLOOD CRITERIA LEGEND

FEMA FLOOD ZONE:	AE	LOWEST ADJACENT GRADE:	EL +3.99' NGVD29 / +2.32' NAVD88
CURRENT FIRM PANEL (2009):	12086C0144L	HIGHEST ADJACENT GRADE:	EL +7.83' NGVD29 / +6.16' NAVD88
CURRENT BASE FLOOD ELEVATION:	EL +8.00' NGVD29 / +6.33' NAVD88	HIGHEST CROWN OF ROAD:	EL +5.23' NGVD29 / +3.56' NAVD88
PROPOSED FEMA UPDATED BASE FLOOD ELEVATION:	EL +8.67' NGVD29 / +7.00' NAVD88		
DESIGN FLOOD ELEVATION:	EL +9.67' NGVD29 / +8.00' NAVD88		
PROPOSED FINISHED FIRST FLOOR ELEVATION:	EL +9.67' NGVD29 / +8.00' NAVD88		
PROPOSED GARAGE/STORAGE ELEVATION:	EL +8.17' NGVD29 / +6.50' NAVD88		
LOWEST ELEVATION OF EQUIPMENT PADS:	EL +9.67' NGVD29 / +8.00' NAVD88		

NOTE:

- ASCE 24 RISK CATEGORY II, FLOOD DESIGN CLASS 2
- THE FIRST FLOOR ELEVATION OF ALL SINGLE- AND MULTIPLE-FAMILY DWELLINGS WEST OF BAL HARBOUR BOULEVARD SHALL BE NOT LESS THAN 30 INCHES ABOVE THE ELEVATION OF THE CENTER OF THE STREET UPON WHICH THE LOT FACES. THE GARAGE FLOOR SHALL BE NOT LESS THAN SIX INCHES ABOVE THE ELEVATION OF THE CENTER OF THE STREET UPON WHICH LOT FACES.
- ALL ELEVATIONS ARE PROVIDED IN NGVD29. I.N.O. TO CONVERT TO NAVD88 AT THIS LOCATION, SUBTRACT 1.67' FROM NGVD29.
- BUILDING TO BE COMPLY WITH FBC-R 322, FBC 107.3.5, 1012.3.1. AND ASCE 24-14.



Roof plan - Dimensioned
ESC: 1/8" = 1'-0"

148 Bal Bay Residence

148 Bal Bay Drive
Bal Harbour, FL 33154

Eneida Pinon PLLC
Architecture and Design
9099 NW 165th Terrace
Miami Lakes, FL 33018
USA
Tel 305.331.7759

△	Date	Description
---	------	-------------

NOT FOR CONSTRUCTION

Seal / Signature



Digitally signed
by Eneida Pinon
Date:
2026.01.23
08:46:50-05'00'

Project Name

148 BAL BAY
RESIDENCE

Project Number

25006

Description

Roof Plan

Scale

1/8" = 1'-0"

A203.

DRAWING NO. _____ OF _____

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MATERIALS AND SPECIFICATIONS		
	01	IMPACT RATED PIVOT DOOR IN MATTE BLACK - FL41358 R4
	02	EXTERIOR STAMPED CONCRETE FINISH (PLANK BOARD LOOK)
	03	IMPACT RATED GLASS PANEL RAIL - NOA 24-0423.02
	04	IMPACT RATED GLASS DOOR IN MATTE BLACK FRAME WITH MIRROR GLASS- TITONI FL47337.1
	05	CUSTOM GARAGE DOOR - SCHWEISS BIFOLD DOOR WITH METAL SHEET CLADDING (SEE GENERAL NOTE 17 ON SHEET A100)
	06	MATTE BLACK PERFORATED METAL CLADDING - FL42048 R1
	07	IMPACT RATED GLASS DOOR AND FIXED IN MATTE BLACK FRAME WITH MIRROR GLASS- TITONI FL47337.1 + FL47331.1

MATERIALS AND SPECIFICATIONS		
	08	IMPACT RATED FIXED GLASS WITH MIRROR GLASS - TITONI FL47331.1
	09	IMPACT RATED HORIZONTAL ROLLER WINDOWS - NOA 23-0707.06
	10	SMALL IMPACT RATED SKYLIGHTS ON ROOF - NOA 24-0624.05
	11	LARGE IMPACT RATED SKYLIGHT ON ROOF - NOA 24-0109.03
	12	EXTERIOR LIGHT GUAGE FRAMING BY SPECIALTY ENGINEER TO GIVE APPEARANCE OF MATTE BLACK METAL C CHANNEL
	13	PERVIOUS PAVERS - TECO-BLOC HYDRA PAVERS IN GREY
	14	ROOF - NOA 23-0616.04 ROOF ASSEMBLY, SYSTEM TYPE C(1).



148 Bal Bay Residence

148 Bal Bay Drive
Bal Harbour, FL 33154

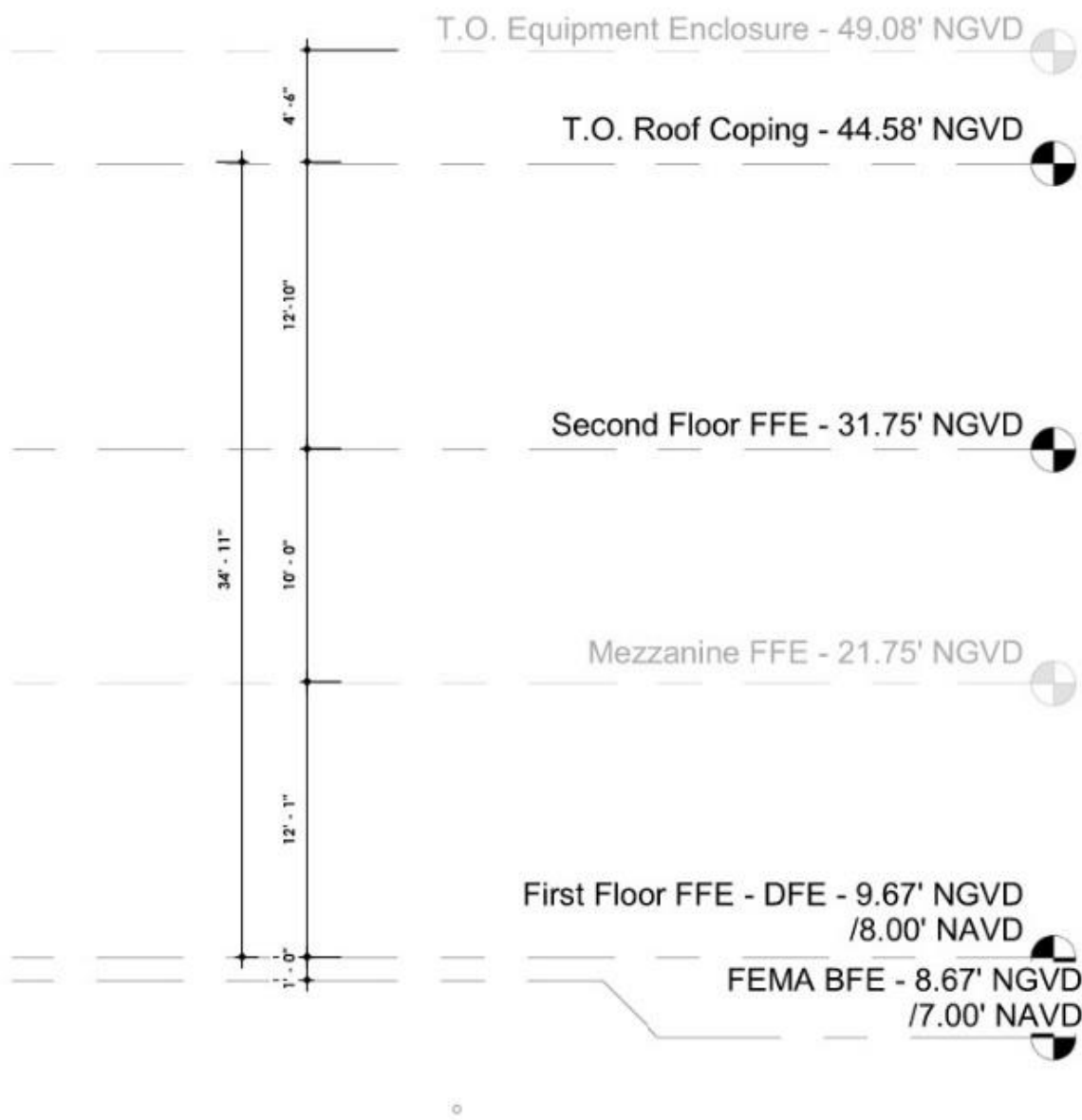
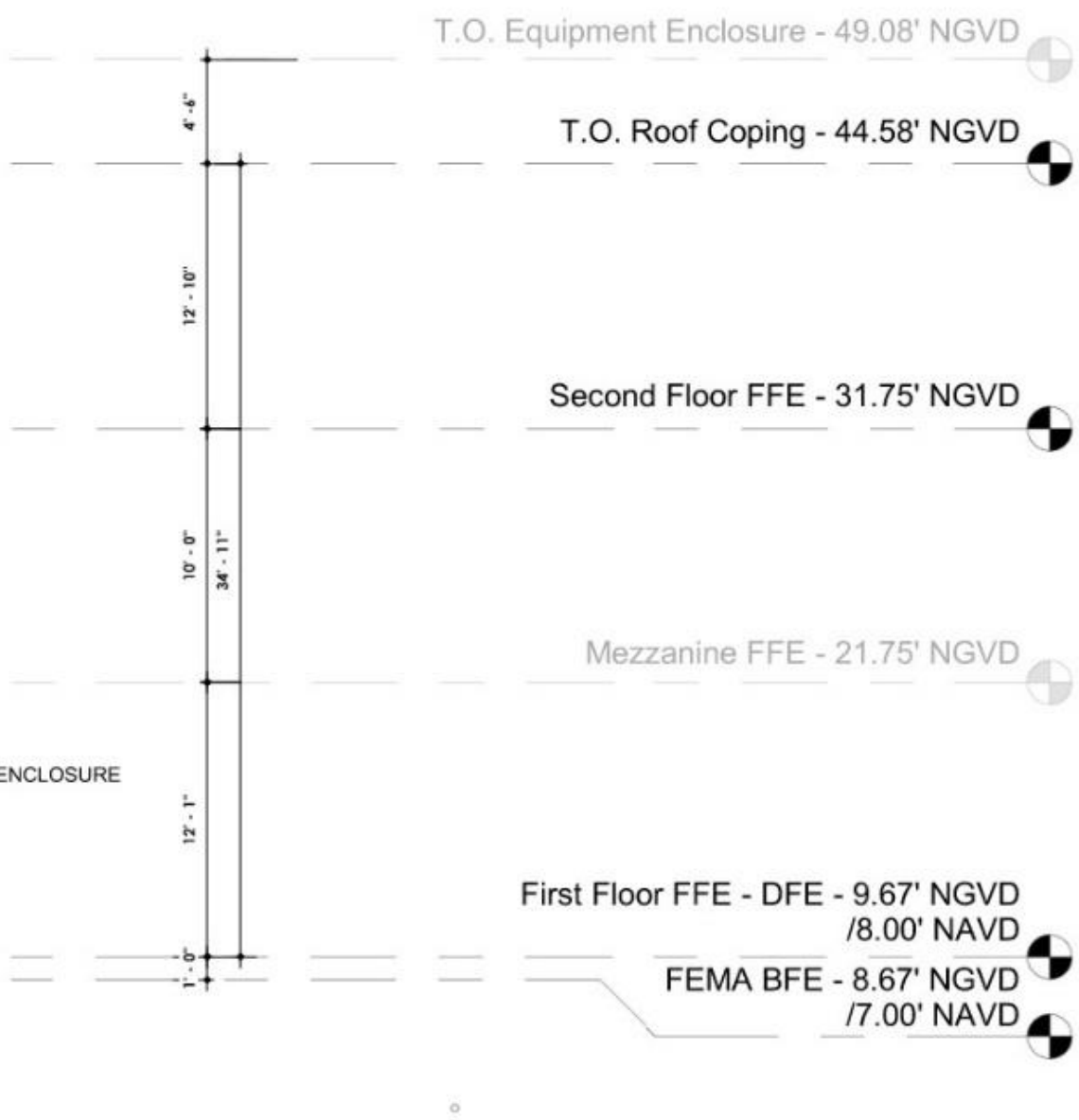
Eneida Pinon PLLC
Architecture and Design
9099 NW 165th Terrace
Miami Lakes, FL 33018
USA
Tel 305.331.7759



Street (East) Elevation
ESC: 1/8" = 1'-0"



Seawall (West) Elevation
ESC: 1/8" = 1'-0"



Date	Description
------	-------------

NOT FOR CONSTRUCTION

Seal / Signature



Digitally signed
by Eneida Pinon
Date:
2026.01.23
08:47:09-05'00'

Project Name

148 BAL BAY
RESIDENCE

Project Number

25006

Description

Elevations - Front/Rear

Scale

As indicated

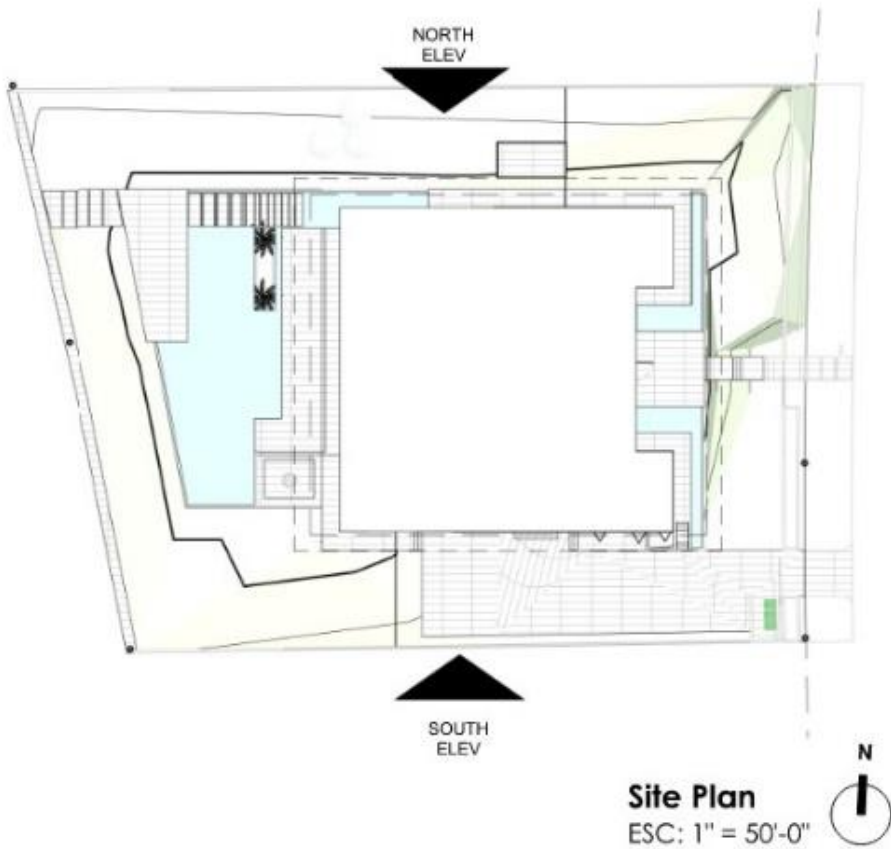
A301.

DRAWING NO. _____ OF _____

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MATERIALS AND SPECIFICATIONS		
	01	IMPACT RATED PIVOT DOOR IN MATTE BLACK - FL41358 R4
	02	EXTERIOR STAMPED CONCRETE FINISH (PLANK BOARD LOOK)
	03	IMPACT RATED GLASS PANEL RAIL - NOA 24-0423.02
	04	IMPACT RATED GLASS DOOR IN MATTE BLACK FRAME WITH MIRROR GLASS- TITONI FL47337.1
	05	CUSTOM GARAGE DOOR - SCHWEISS BIFOLD DOOR WITH METAL SHEET CLADDING (SEE GENERAL NOTE 17 ON SHEET A100)
	06	MATTE BLACK PERFORATED METAL CLADDING - FL42048 R1
	07	IMPACT RATED GLASS DOOR AND FIXED IN MATTE BLACK FRAME WITH MIRROR GLASS- TITONI FL47337.1 + FL47331.1

MATERIALS AND SPECIFICATIONS		
	08	IMPACT RATED FIXED GLASS WITH MIRROR GLASS - TITONI FL47331.1
	09	IMPACT RATED HORIZONTAL ROLLER WINDOWS - NOA 23-0707.06
	10	SMALL IMPACT RATED SKYLIGHTS ON ROOF - NOA 24-0624.05
	11	LARGE IMPACT RATED SKYLIGHT ON ROOF - NOA 24-0109.03
	12	EXTERIOR LIGHT GUAGE FRAMING BY SPECIALTY ENGINEER TO GIVE APPEARANCE OF MATTE BLACK METAL C CHANNEL
	13	EXTERIOR DOORS - FL15210.10
	14	PERVIOUS PAVERS - TECO-BLOC HYDRA PAVERS IN GREY
	15	ROOF - NOA 23-0616.04 ROOF ASSEMBLY, SYSTEM TYPE C(1).



148 Bal Bay Residence

148 Bal Bay Drive
Bal Harbour, FL 33154

Eneida Pinon PLLC
Architecture and Design

9099 NW 165th Terrace
Miami Lakes, FL 33018
USA

Tel 305.331.7759

Date	Description
------	-------------

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Seal / Signature

Digitally signed
by Eneida
Pinon
Date:
2026.01.23
08:48:08-05'00'

Project Name

148 BAL BAY
RESIDENCE

Project Number

25006

Description

Elevations - Sides

Scale

As indicated

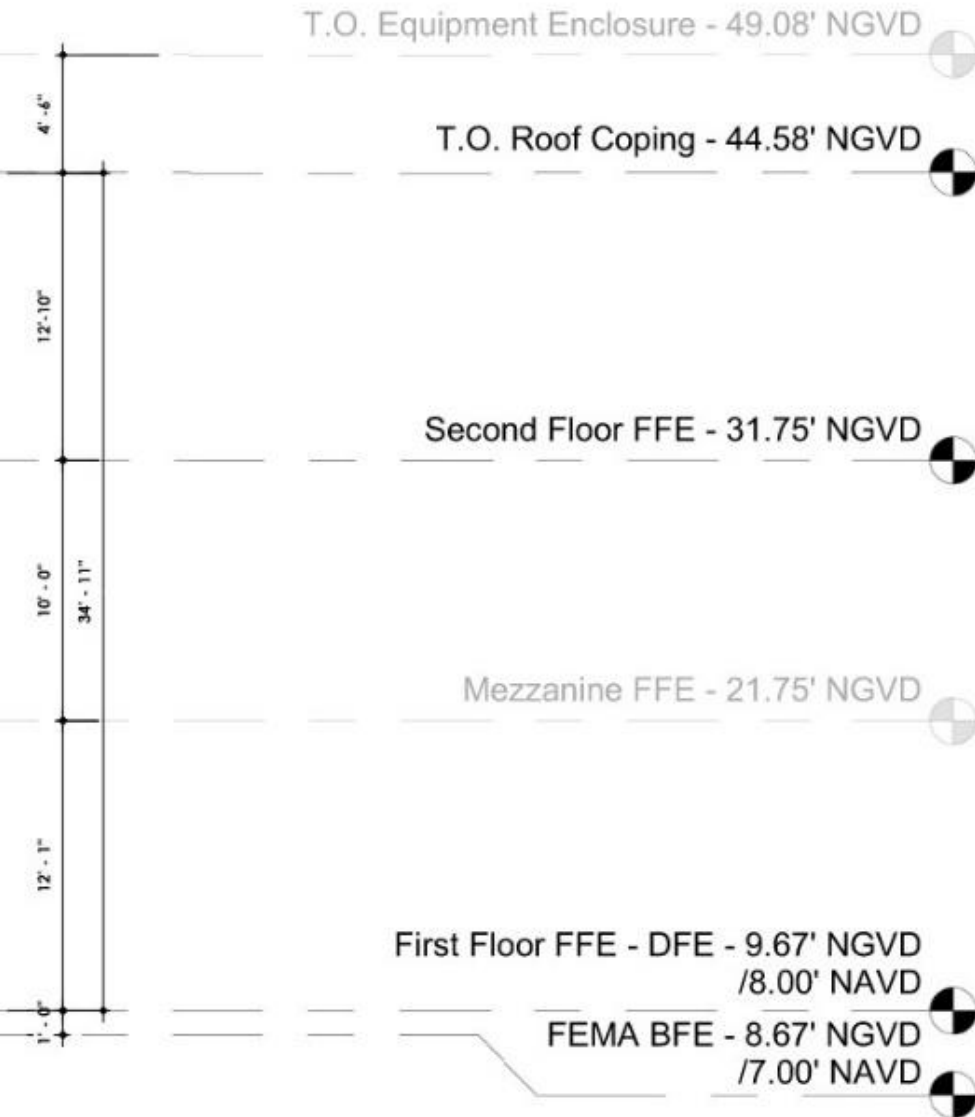
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DRAWING NO. OF

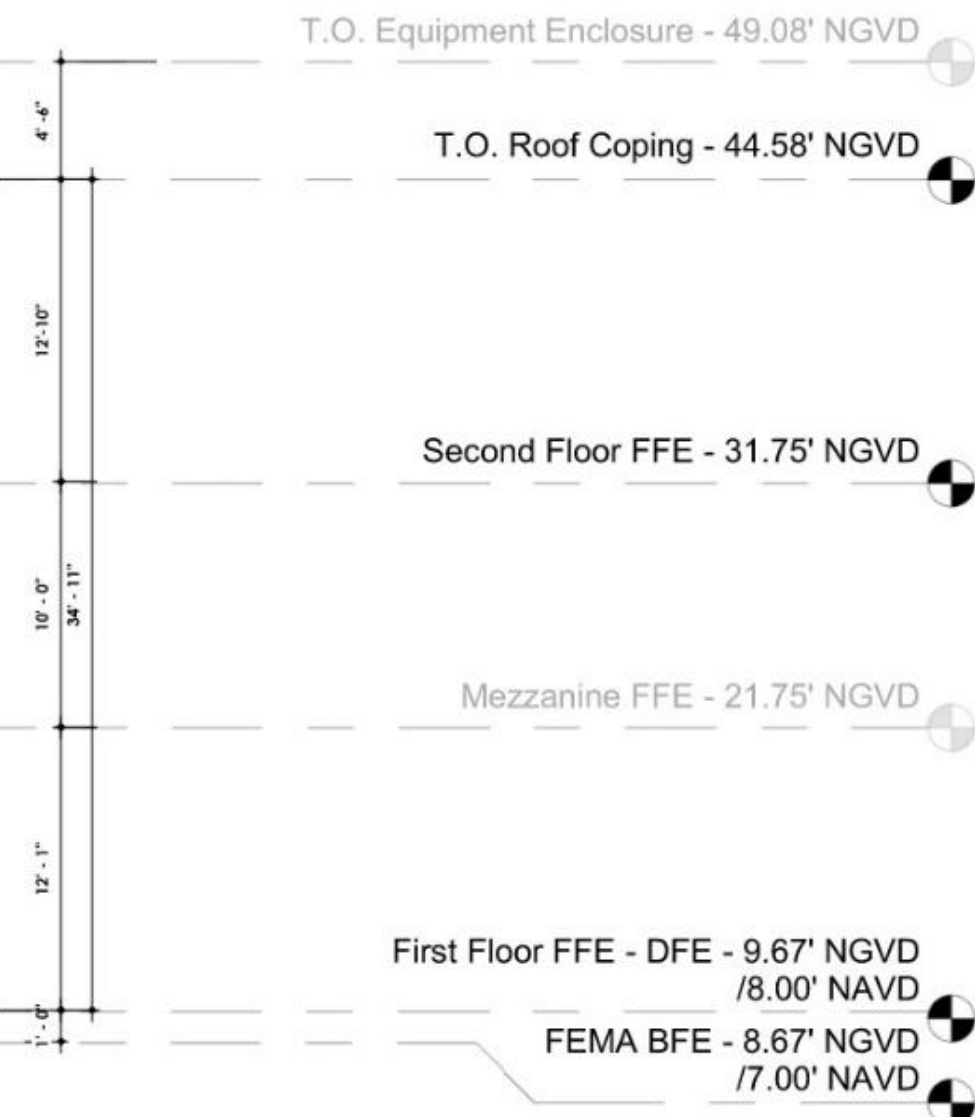
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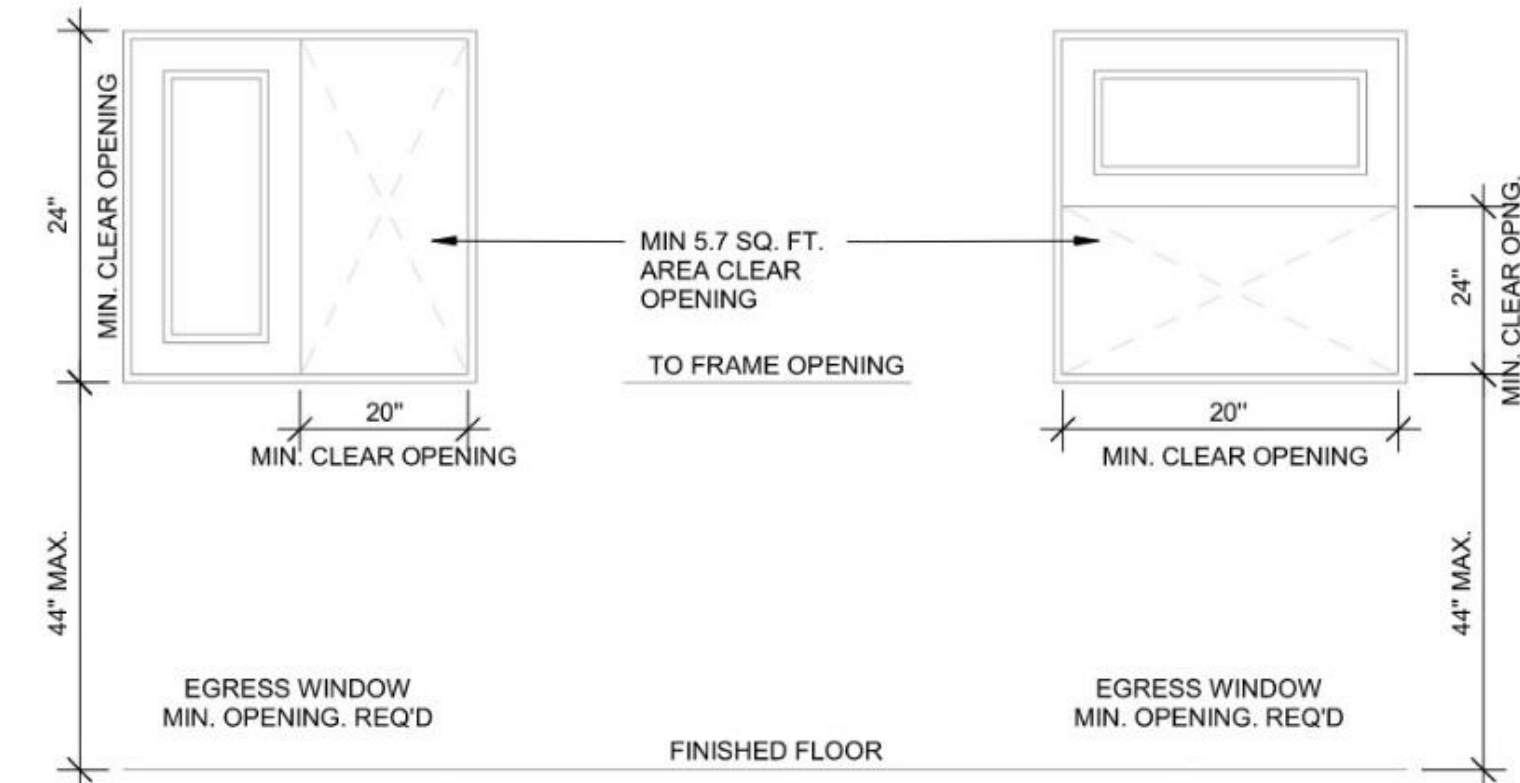
Side (South) Elevation
ESC: 1/8" = 1'-0"



Side (North) Elevation
ESC: 1/8" = 1'-0"



EGRESS CODE DIAGRAM



148 Bal Bay Residence

△ Date	Description
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A303.

DRAWING NO. _____ OF _____

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BAL BAY DR - Contextual Street Elevation
ESC: 1" = 20'-0"

148 Bal Bay Residence

148 Bal Bay Drive
Bal Harbour, FL 33154

Eneida Pinon PLLC
Architecture and Design

9099 NW 165th Terrace
Miami Lakes, FL 33018
USA

Tel 305.331.7759

Structural Engineer

MEP Engineer

Szauer Engineering, Inc.

Civil Engineer
7251 W Palmetto Park Rd, St 100 Tel 561.716.0159
Boca Raton, FL 33433
United States

Andres Montero Landscape Architecture

Landscape Architect
2300 E Oakland Park Blvd
Fort Lauderdale, FL 33306
United States

Date Description

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Digitally signed
by Eneida Pinon
Date:
2026.01.23
08:48:48-05'00'

Project Name

148 BAL BAY
RESIDENCE

Project Number

25006

Description

Building Sections

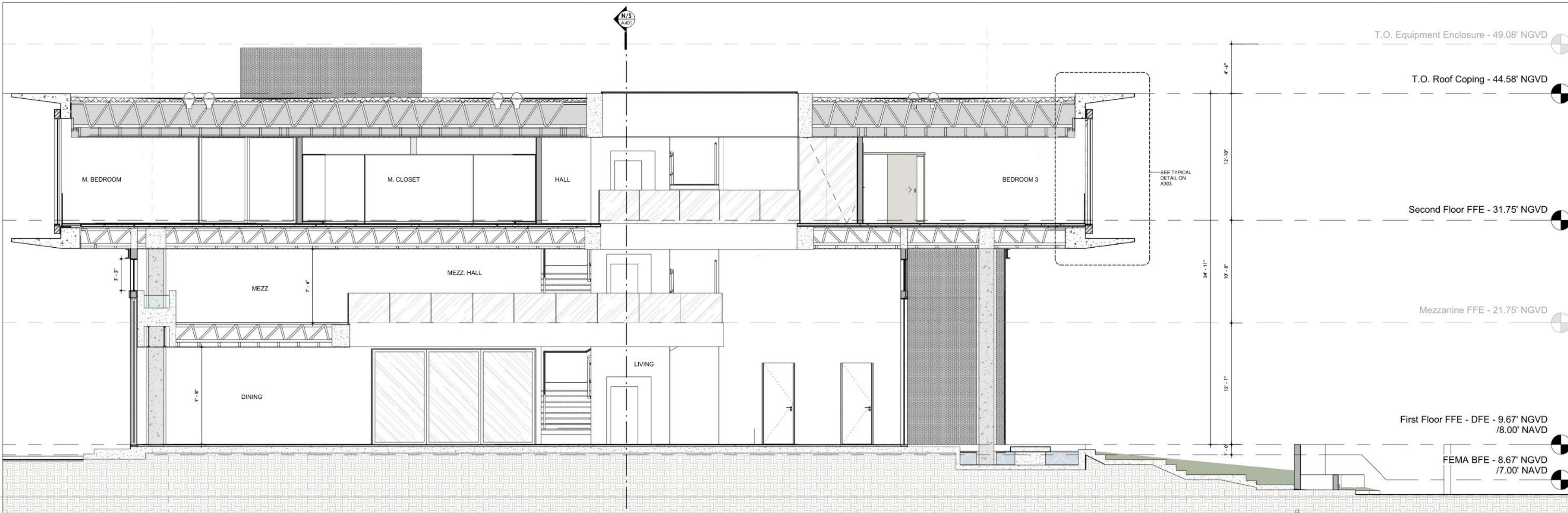
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3/16" = 1'-0"

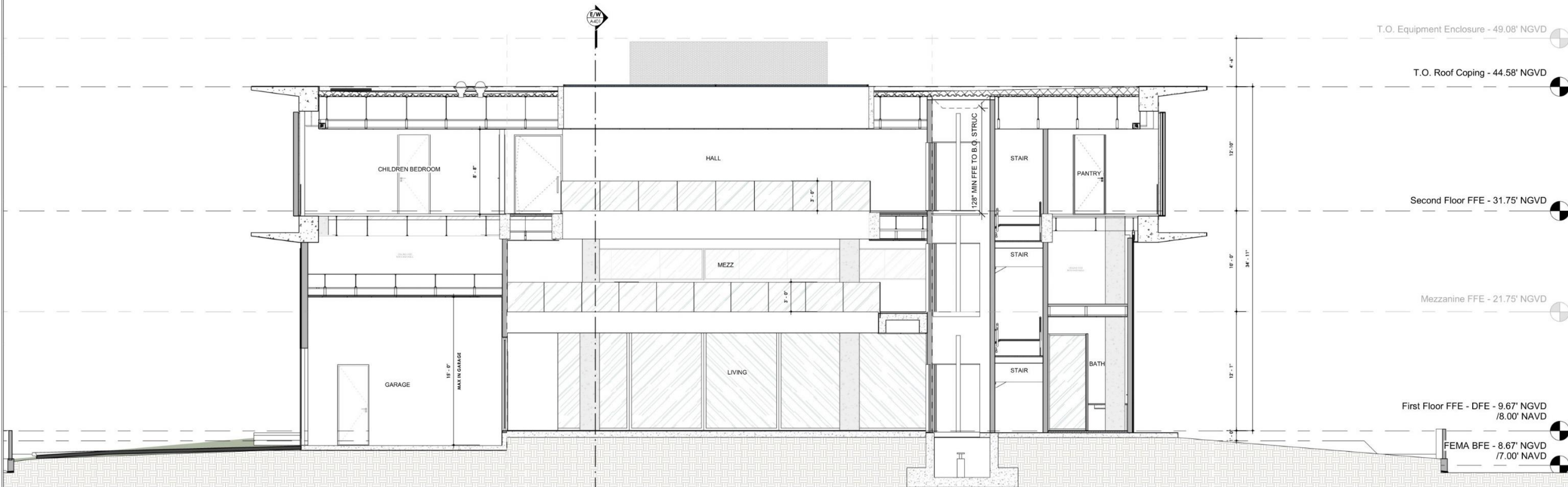
A401.

DRAWING NO. OF

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1 E/W SECTION
3/16" = 1'-0"



2 N/S SECTION
3/16" = 1'-0"

PROP. DOUBLE
SILT FENCE

50LF - TEMPORARY
CONSTRUCTION ENTRANCE

PER PB 44-98
Folio 12-2226-002-0190
OWNER:
LYNN LUDWIG TRS
BETTY L J LUDWIG REVOC LIV TR

209.33' (P&C)
N 85°01'25.6" E (P)
N 86°27'50" E (C)

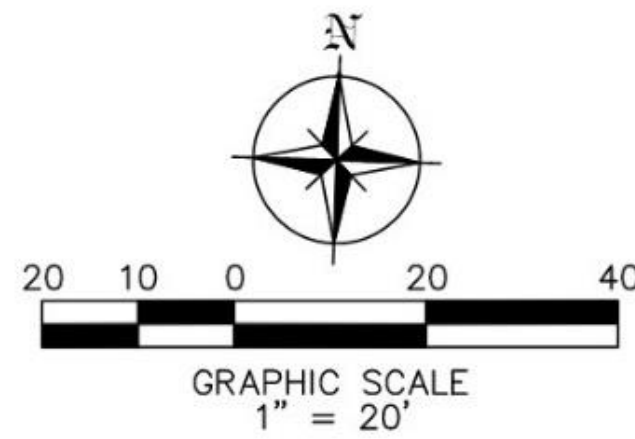
LOT 19
PER PB 44-98
VACANT LOT

185.27' (P&C)
N 85°39'58.14" E (P)
S 87°06'29" W (C)

N 1/2 LOT 18
PER PB 44-98

S 1/2 LOT 18
PER PB 44-98

BAL BAY DR
214 ASPHALT PAVEMENT
30' RIGHT OF WAY
R = 2102.00' (M)



CONTRACTOR SHALL BE RESPONSIBLE
FOR PREVENTING SEDIMENT INTRUSION INTO
STORM WATER INLETS DURING CONSTRUCTION,
WHEN APPLICABLE.

ALL ELEVATIONS ARE RELATIVE
TO THE NGVD 29 DATUM

NAVD + 1.565 = NGVD



LOCATION MAP
N.T.S.

GENERAL EROSION & SEDIMENTATION CONTROL NOTES

- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THIS STORM WATER POLLUTION PREVENTION PLAN. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN, OR AS REQUIRED BY THE APPLICABLE GENERAL PERMIT. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND / OR GRADING SHALL BE PERMITTED.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. CONTRACTOR SHALL CONSTRUCT TEMPORARY BERM ON DOWNSTREAM SIDES.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLotation BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE MINIMIZED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGHOUT THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL DENuded / BARE AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE, MUST BE STABILIZED IMMEDIATELY UPON COMPLETION OF MOST RECENT GRADING ACTIVITY, WITH THE USE OF FAST-GERMINATING ANNUAL GRASS / GRAIN VARIETIES, STRAW / HAY MULCH WOOD CELLULOSE FIBERS, TACKIFIERS, NETTING OR BLANKETS.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE PLANS. THESE AREAS SHALL BE SEEDED, SODDED, AND / OR VEGETATED IMMEDIATELY, AND NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND / OR LANDSCAPE PLAN.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO PREVENT TRACKING OF DIRT, DUST OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE ONLY USE INGRESS / EGRESS LOCATIONS AS PROVIDED.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTOR OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE AND OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
- GENERAL CONTRACTOR IS TO DESIGNATE / IDENTIFY AREAS ON THE SITE MAPS, INSIDE OF THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
- WHEN INSTALLATION OF SILT FENCE IS PERFORMED, THE CONTRACTOR SHALL STABILIZE THE DISTURBED AREA ALONG THE DOWNWARD SLOPE BY SEEDING OR MULCHING AS CONDITIONS WARRANT.

BMP MAINTENANCE EROSION NOTES

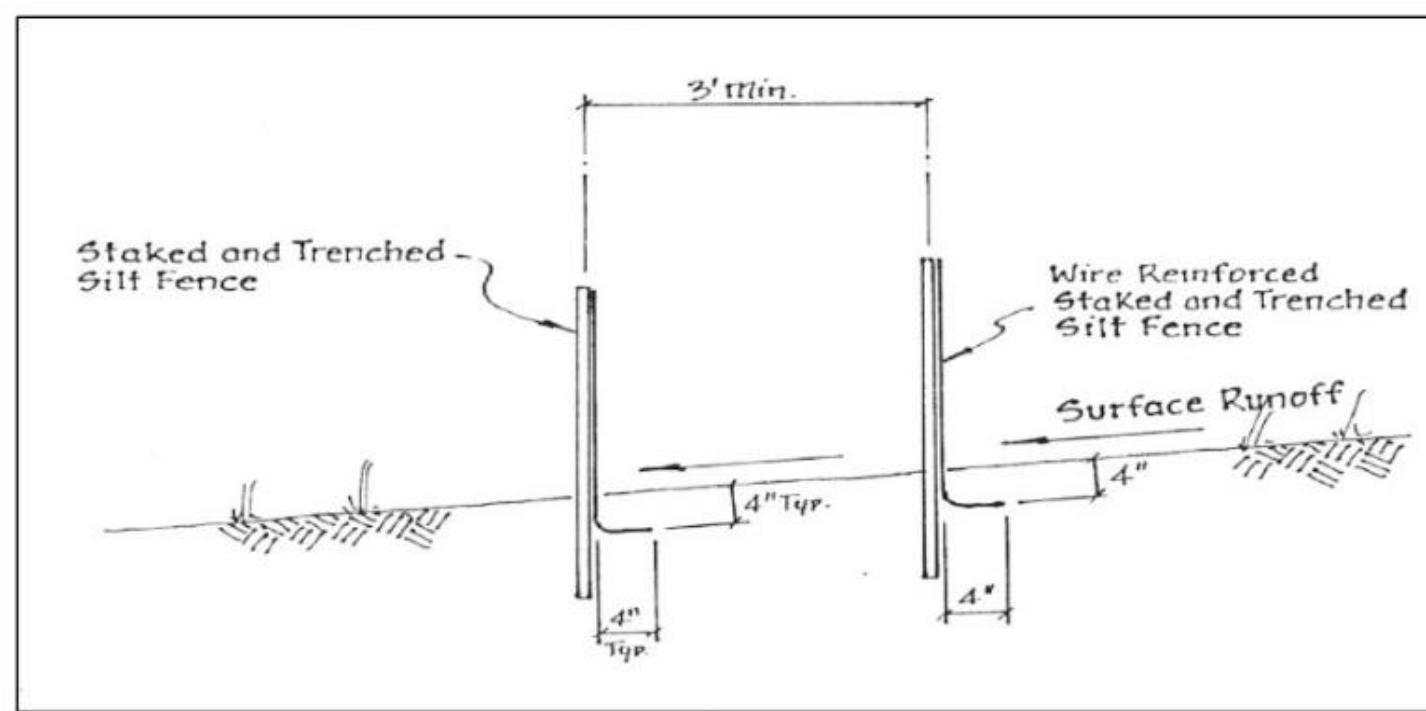
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
- ALL SEEDED / SODDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED / RESODDED AS NEEDED.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
- OUTLET STRUCTURES SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
- PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEANED OF DEBRIS, AND DEBRIS AND / OR SEDIMENT REACHING THE PUBLIC STREET SHALL BE CLEANED IMMEDIATELY BY A METHOD OTHER THAN FLUSHING.

WASHING AREAS

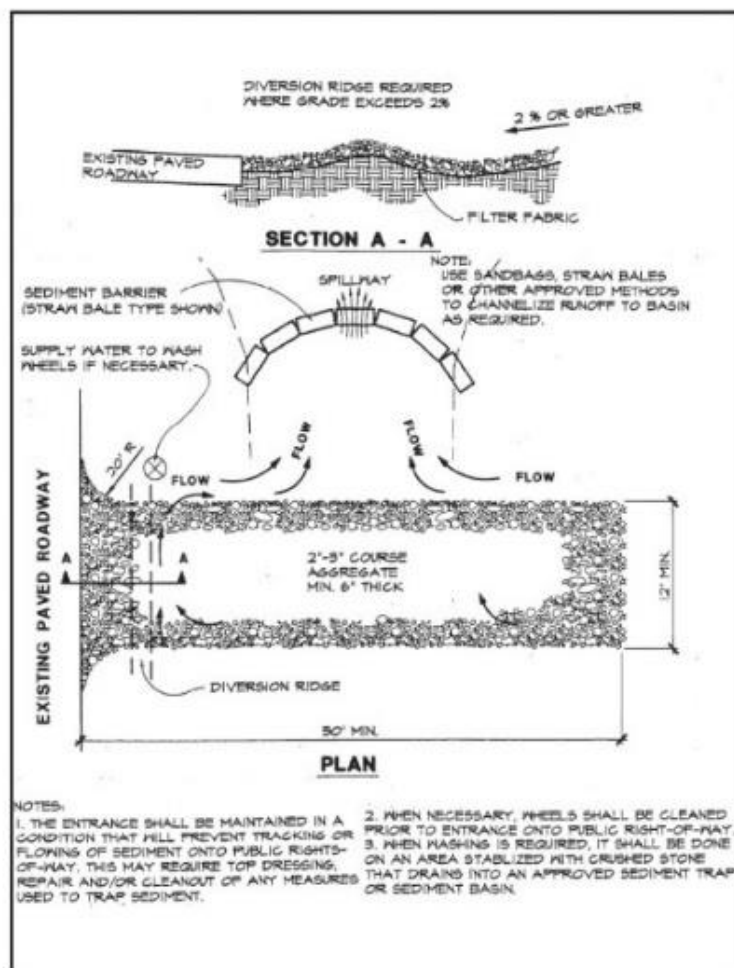
VEHICLES SUCH AS CEMENT OR DUMP TRUCKS AND OTHER CONSTRUCTION EQUIPMENT SHOULD NOT BE WASHED AT LOCATIONS WHERE THE RUNOFF WILL FLOW DIRECTLY INTO A WATERCOURSE OR STORMWATER CONVEYANCE SYSTEM. SPECIAL AREAS SHOULD BE DESIGNATED FOR WASHING VEHICLES. THESE AREAS SHOULD BE LOCATED WHERE THE WASH WATER WILL SPREAD OUT AND EVAPORATE OR INFILTRATE DIRECTLY INTO THE GROUND, OR WHERE RUNOFF CAN BE COLLECTED IN A TEMPORARY HOLDING OR SEEPAGE BASIN. WASH AREAS SHOULD HAVE GRAVEL BASES TO MINIMIZE MUD GENERATION.

LEGEND

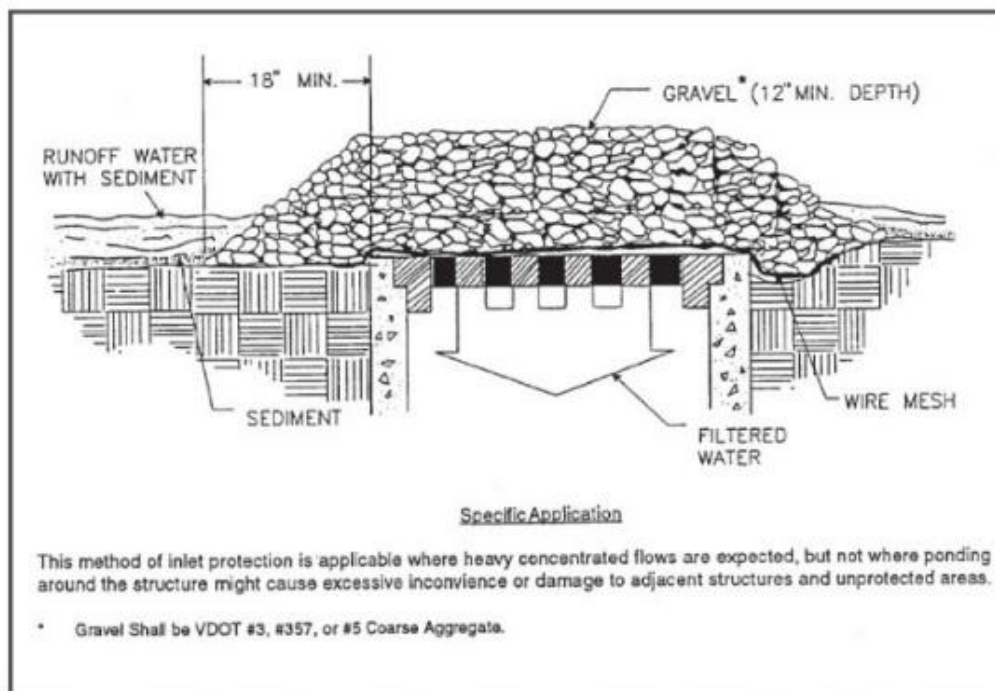
----- PROPERTYLINE
--- PROPOSED SILT FENCE



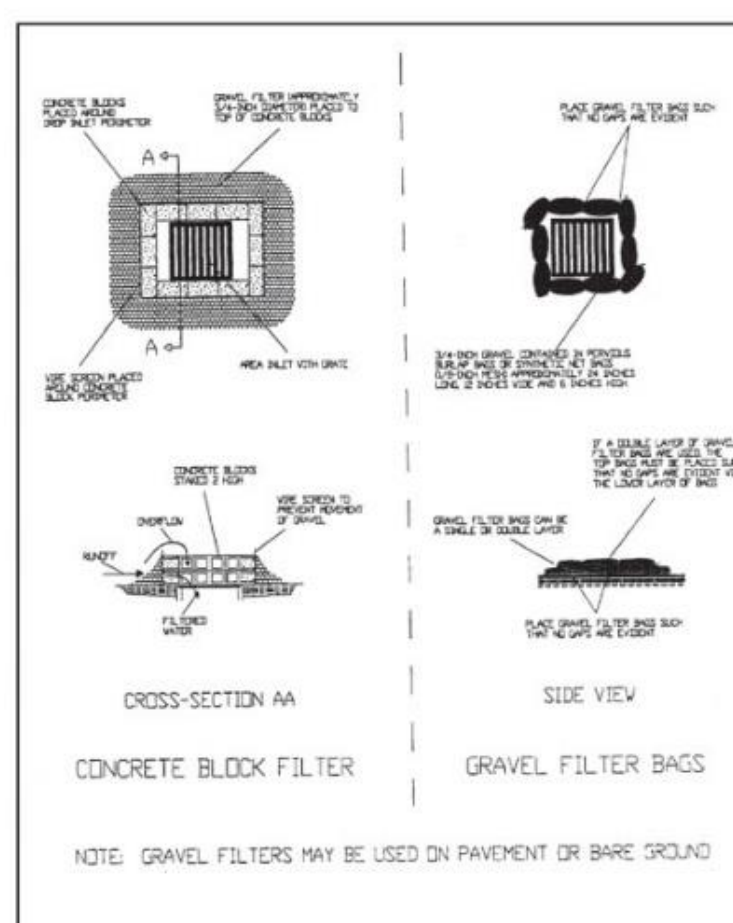
Double Row Staked Silt Fence
Scale: N.T.S.



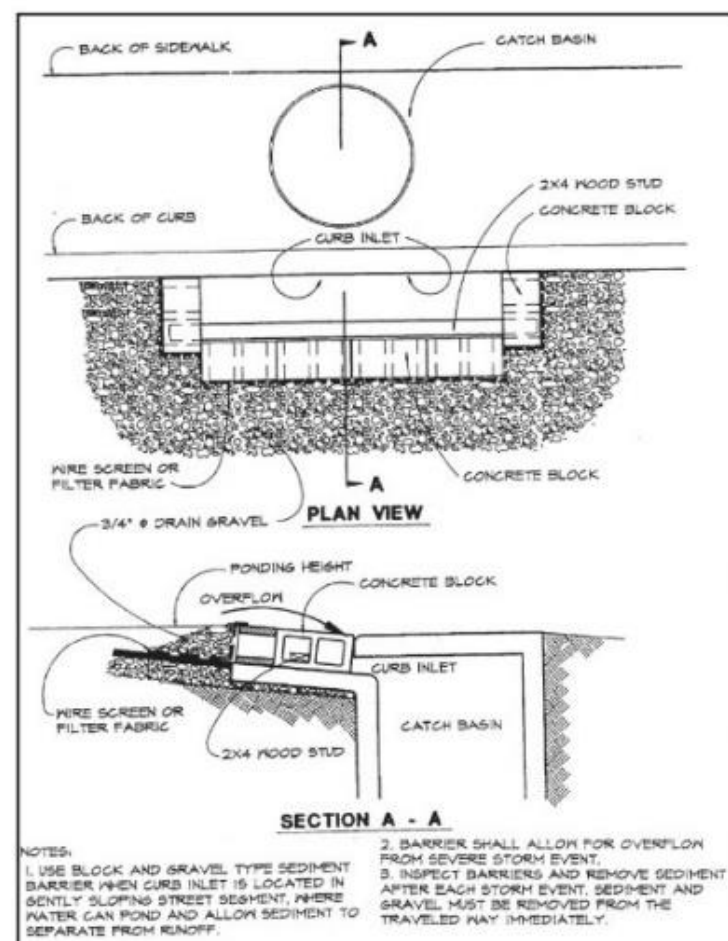
Temporary Gravel Construction Entrance
Scale: N.T.S.



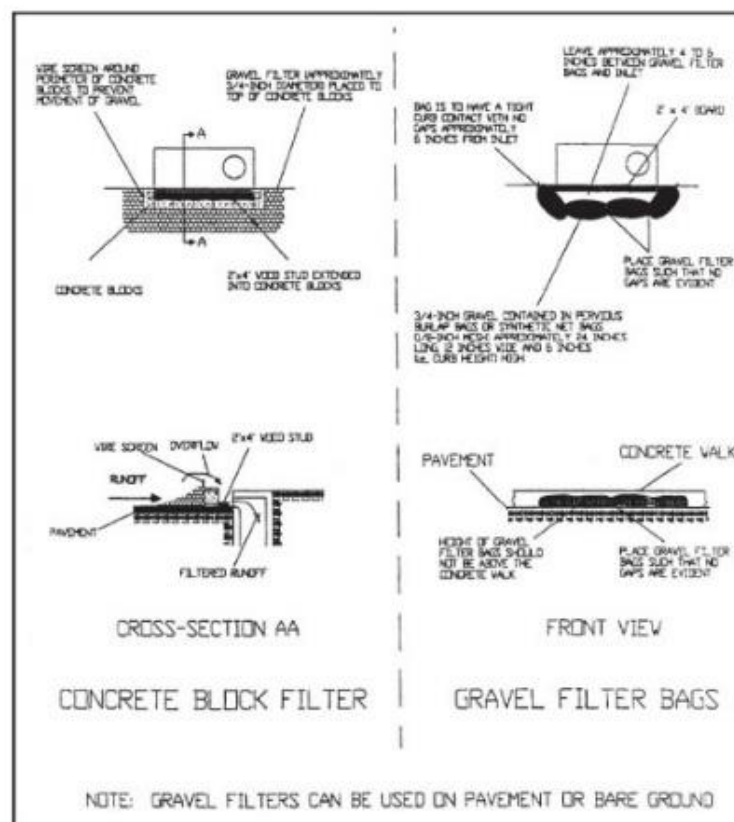
Gravel and Wire Mesh Drop Inlet
Sediment Filter
Scale: N.T.S.



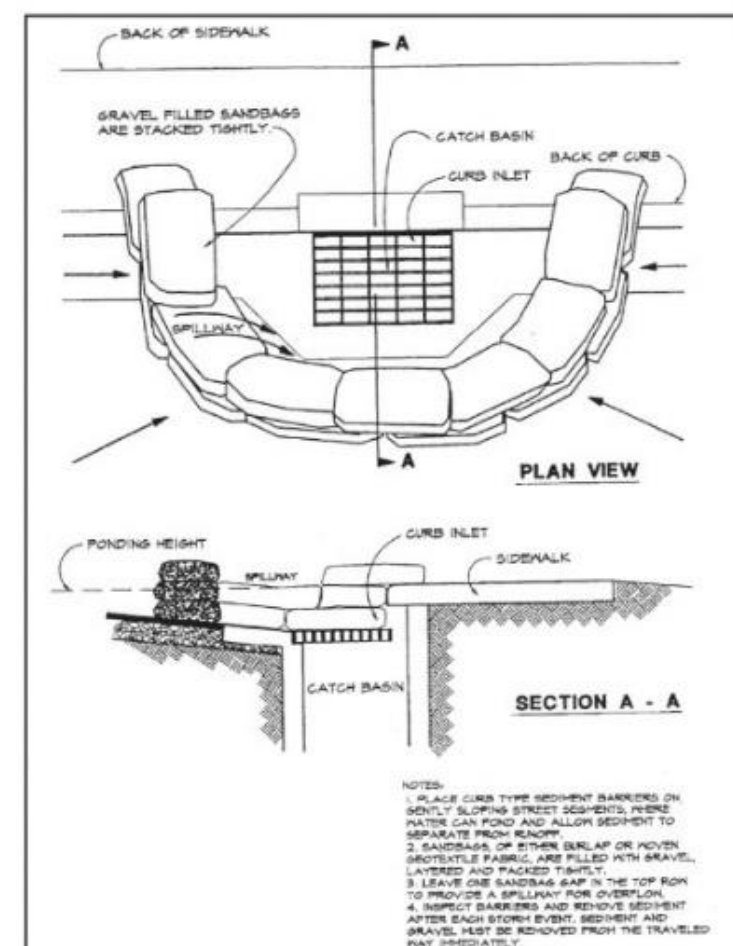
Gravel Filters for Area Inlets
Scale: N.T.S.



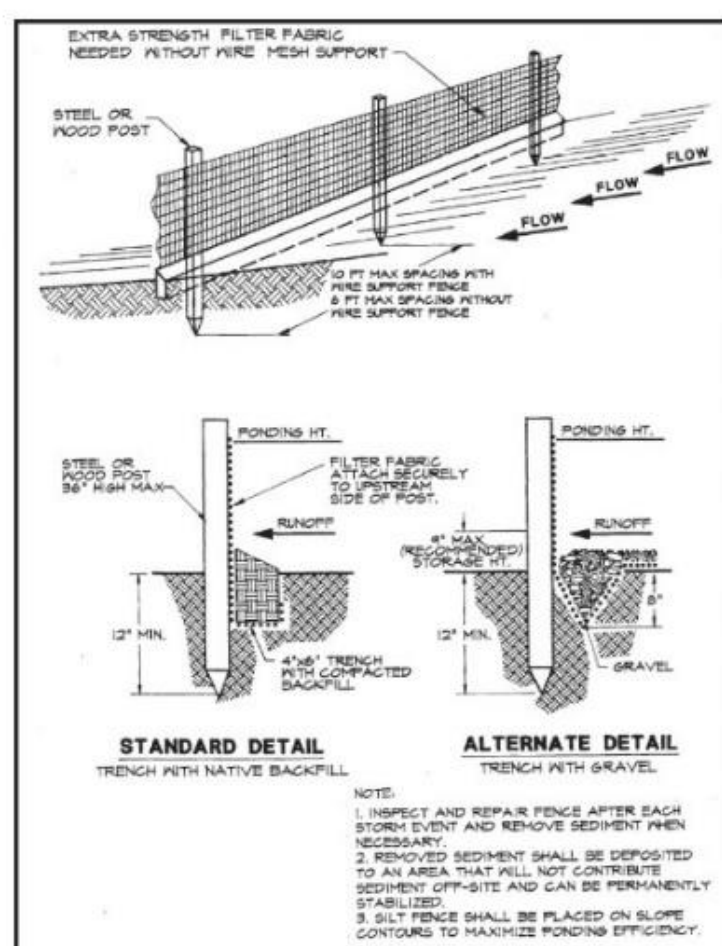
Block and Gravel Curb Inlet
Sediment Barrier
Scale: N.T.S.



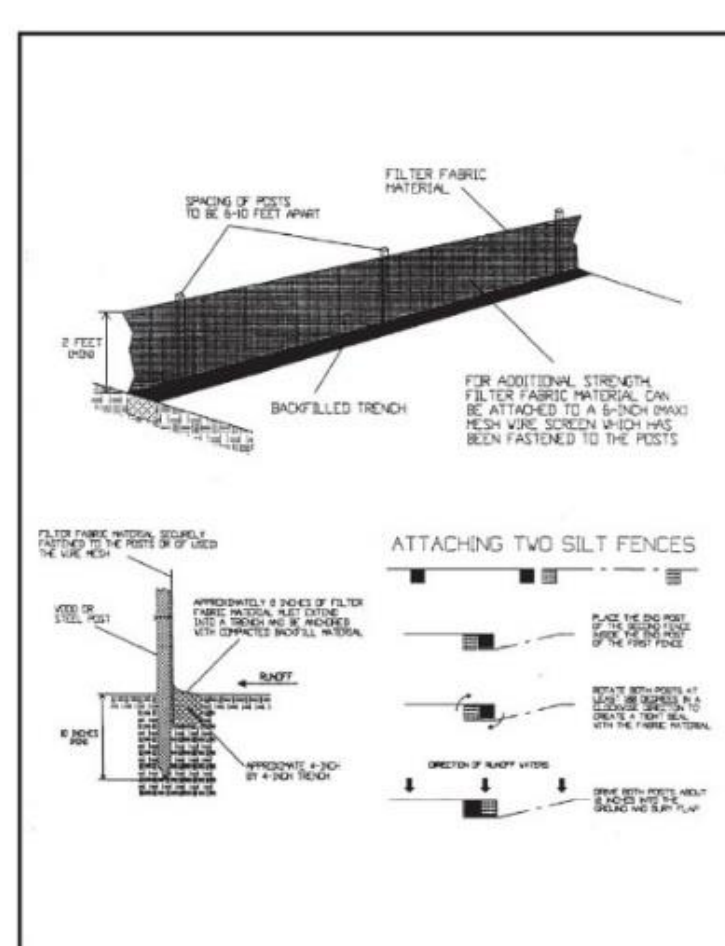
Curb Inlet Gravel Filters
Scale: N.T.S.



Curb Inlet Sediment Barrier
Scale: N.T.S.



Silt Fence
Scale: N.T.S.



Installing a Filter Fabric Silt Fence
Scale: N.T.S.

Szauer Engineering
Civil Engineers

7251 W Palmetto Park Road Suite 100
Boca Raton, FL 33433
Phone: (561) 716-0159
Certificate of Authorization Number 30129

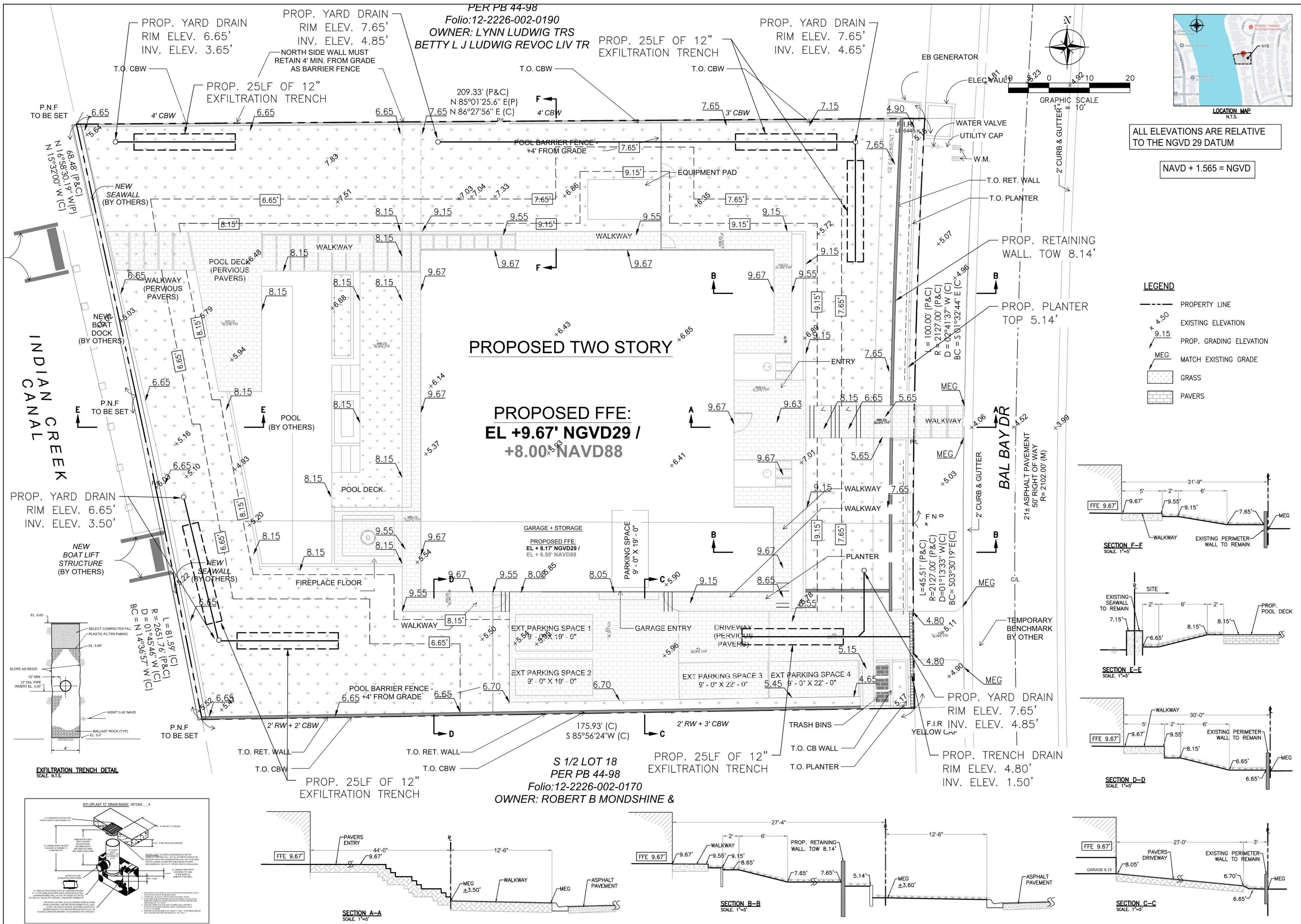
148 BAL BAY RESIDENCE

EROSION
CONTROL PLAN

JORGE SZAUER
FLA. REG. P.E. # 62579

Designed by: JORGE M. SZAUER
Drawn by: J. JANSE
Reviewed & Sealed: JORGE M. SZAUER
Date: SEPTEMBER 2025
Scale: AS SHOWN
Job No:

C-02

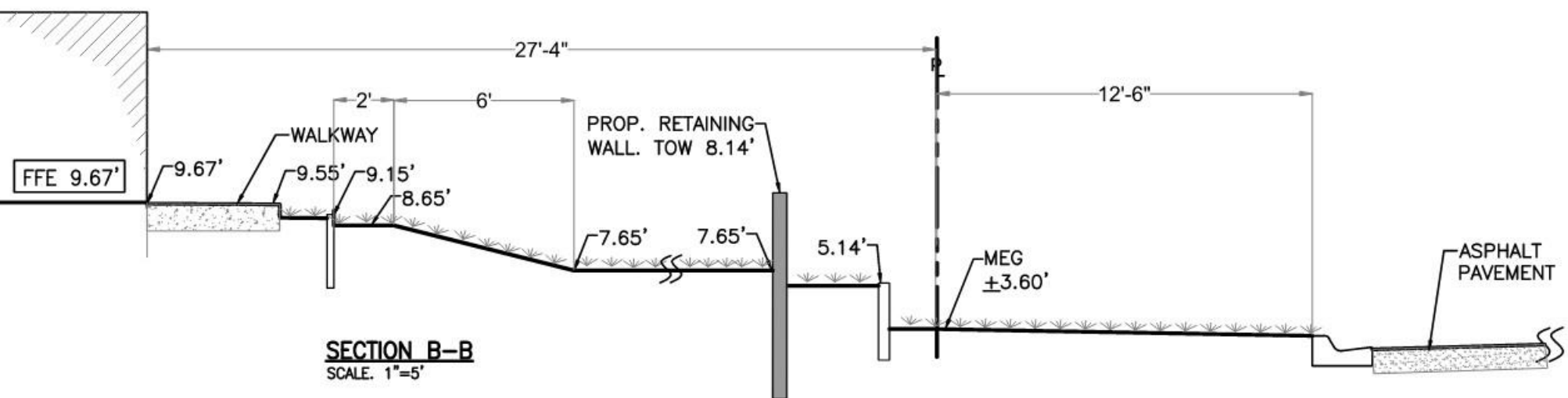
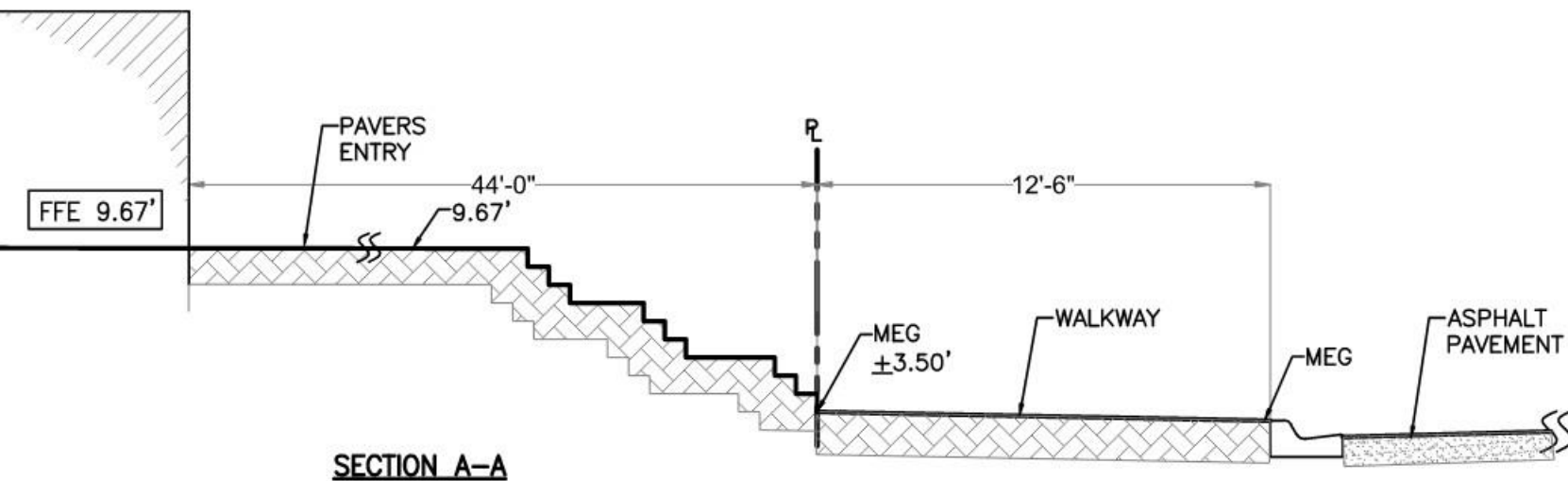
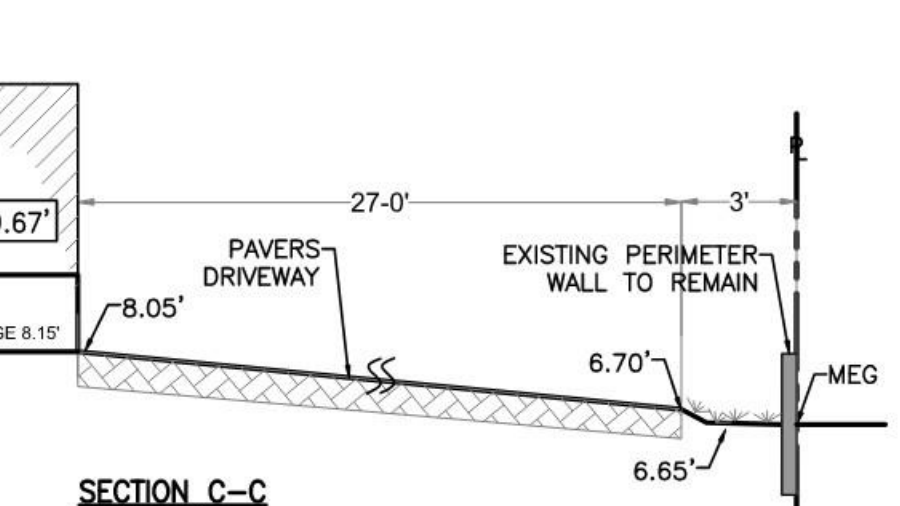
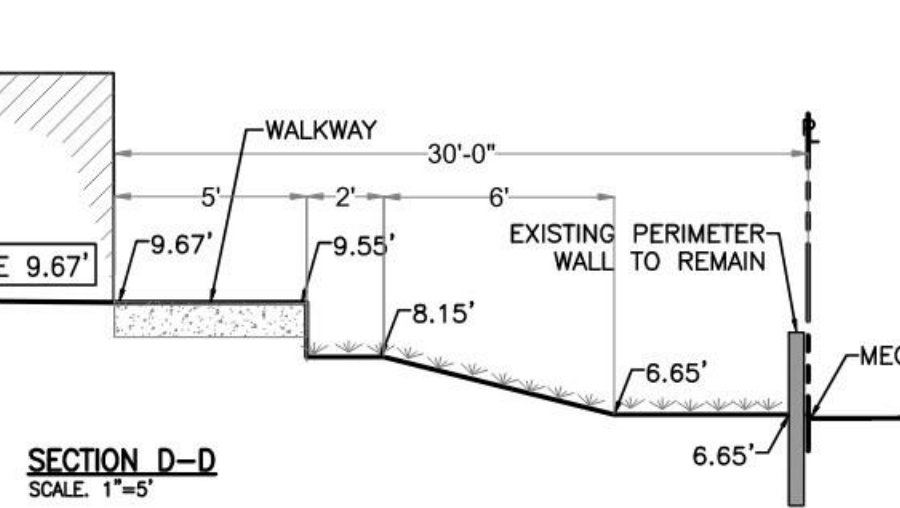
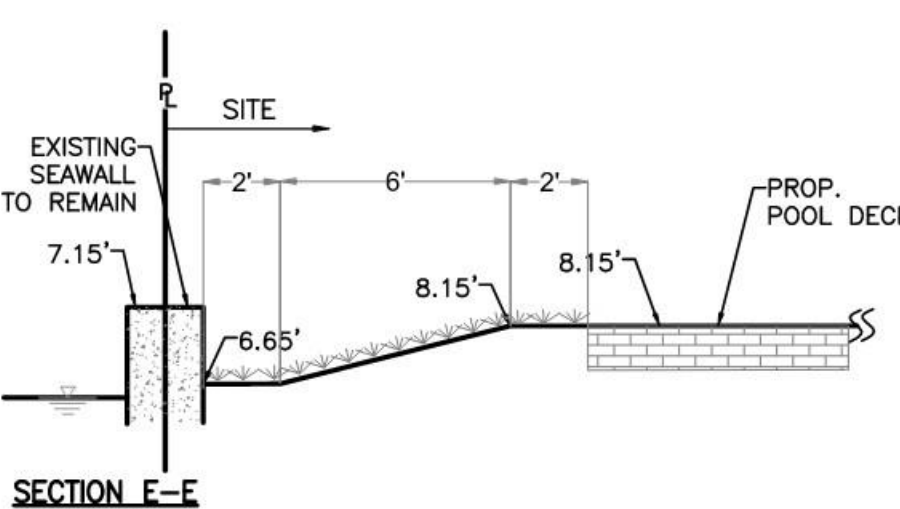
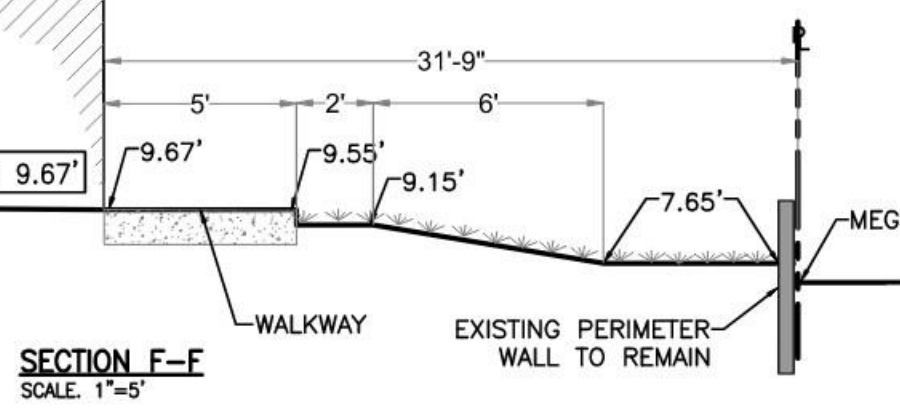


ALL ELEVATIONS ARE RELATIVE TO THE NGVD 29 DATUM

NAVD + 1.565 = NGVD

LEGEND

- PROPERTY LINE
- EXISTING ELEVATION
- PROP. GRADING ELEVATION
- MATCH EXISTING GRADE
- GRASS
- PAVERS



PER PB 44-98
Folio:12-2226-002-0190
OWNER: LYNN LUDWIG TRS
BETTY L J LUDWIG REVOC LIV TR

PROPOSED FFE:
EL +9.67' NGVD29 /
+8.00' NAVD88

S 1/2 LOT 18
PER PB 44-98
Folio:12-2226-002-0170
OWNER: ROBERT B MONDSHINE &

Szauer Engineering
Civil Engineers
7251 W Palmetto Park Road Suite 100
Boca Raton, FL 33433
Phone: (561) 716-0159
Certificate of Authorization Number 30129

Reviews:

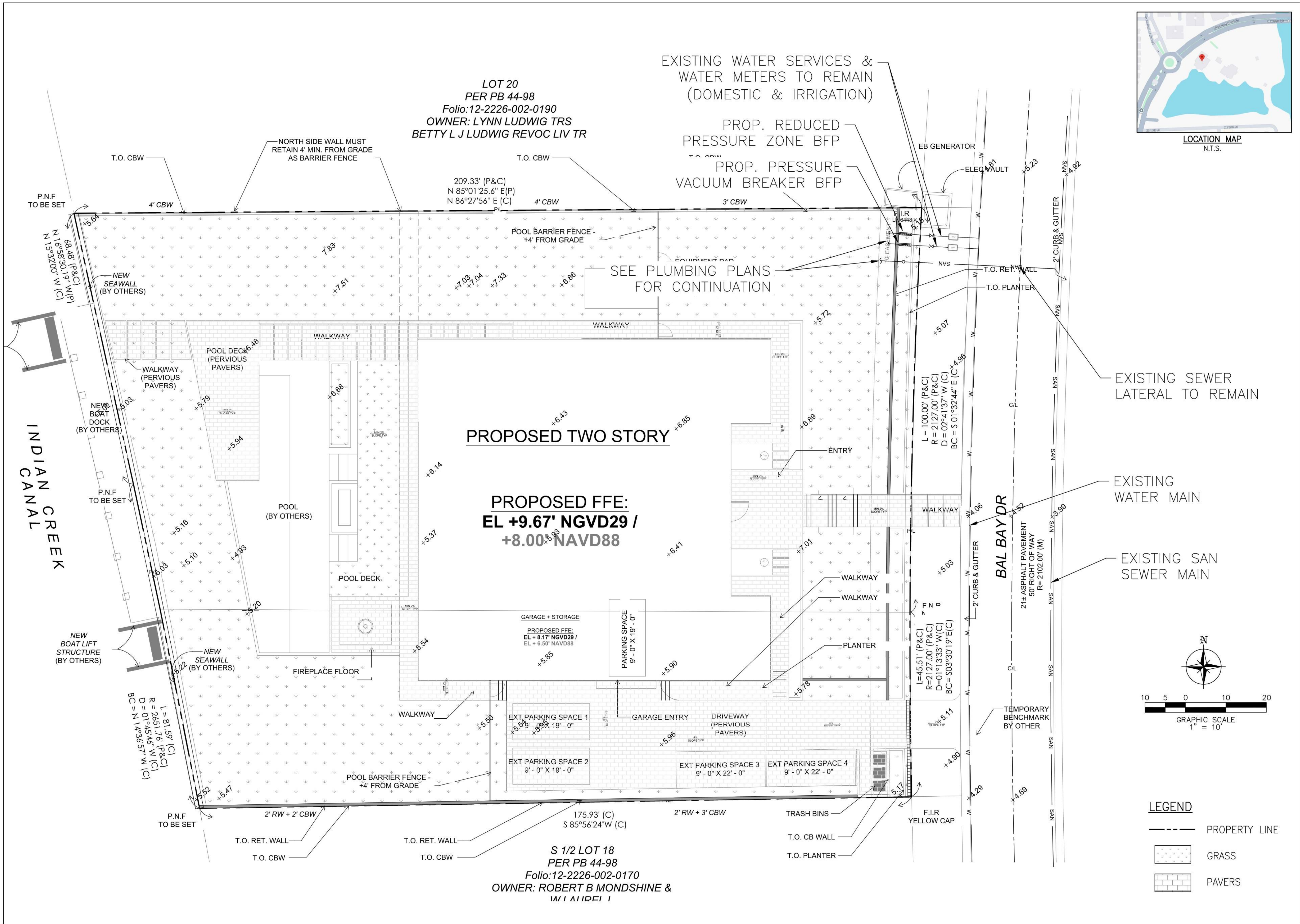
Client: 148 BAL BAY RESIDENCE
Project: 148 BAL BAY RESIDENCE
148 BAL BAY DRIVE BAL HARBOR, FL 33154

Plan Description:
PAVING, GRADING
& DRAINAGE

Seal:
JORGE SZAUER
FLA. REG. P.E. # 62579

Designed by: JORGE M. SZAUER
Drawn by: J. JANSE
Reviewed & Sealed: JORGE M. SZAUER
Date: SEPTEMBER 2025
Scale: AS SHOWN
Job No:

Sheet: C-03
of 3 Sheets



Szauer Engineering
Civil Engineers
 7251 W Palmetto Park Road Suite 100
 Boca Raton, FL 33433
 Phone: (561) 716-0159
 Certificate of Authorization Number 30129

Reviews:

Client:
Project:
148 BAL BAY RESIDENCE

Plan Description:
UTILITIES

Scale:
 JORGE SZAUER
 FLA. REG. P.E. # 62579

Designed by:
 JORGE M. SZAUER
Drawn by:
 J. JANSE
Reviewed & Sealed:
 JORGE M. SZAUER
Date:
 SEPTEMBER 2025
Scale:
 AS SHOWN
Job No.:

Sheet:
C-04



LEGEND

- | | | | |
|---------------------------|-------------------------|------------------------------|-------------------------|
| A PEDESTRIAN ACCESS | F POOL & SPA | K NEW LARGE PALMS | PRIVACY SCREENING HEDGE |
| B REFLECTING POOL | G EXISTING SHADE TREES | L NEW MEDIUM PALMS | SHRUBS & GROUNDCOVERS |
| C DRIVEWAY | H NEW SHADE TREES | M DOCK & BOAT LIFT STRUCTURE | SOD |
| D OUTDOOR SUNKEN FIRE PIT | I NEW SMALL TREES | N SEAWALL | |
| E POOL DECK | J SMALL ORNAMENTAL TREE | O CANAL | |

GRAPHIC SCALE
NORTH 0' 10' 20' 30'

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ANDRES MONTERO, P.L.A., A.S.A.

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DATE: SEPTEMBER 5, 2025
SCALE: 1" = 10'-0"
DRAWN BY: AEM/MEP
APPROVED BY: AEM
PROJECT NO: 202523

SHEET NUMBER:
L-00

PROJECT NAME:
PRIVATE RESIDENCE
148 BAL BAY DRIVE
BAL HARBOUR, FL 33151

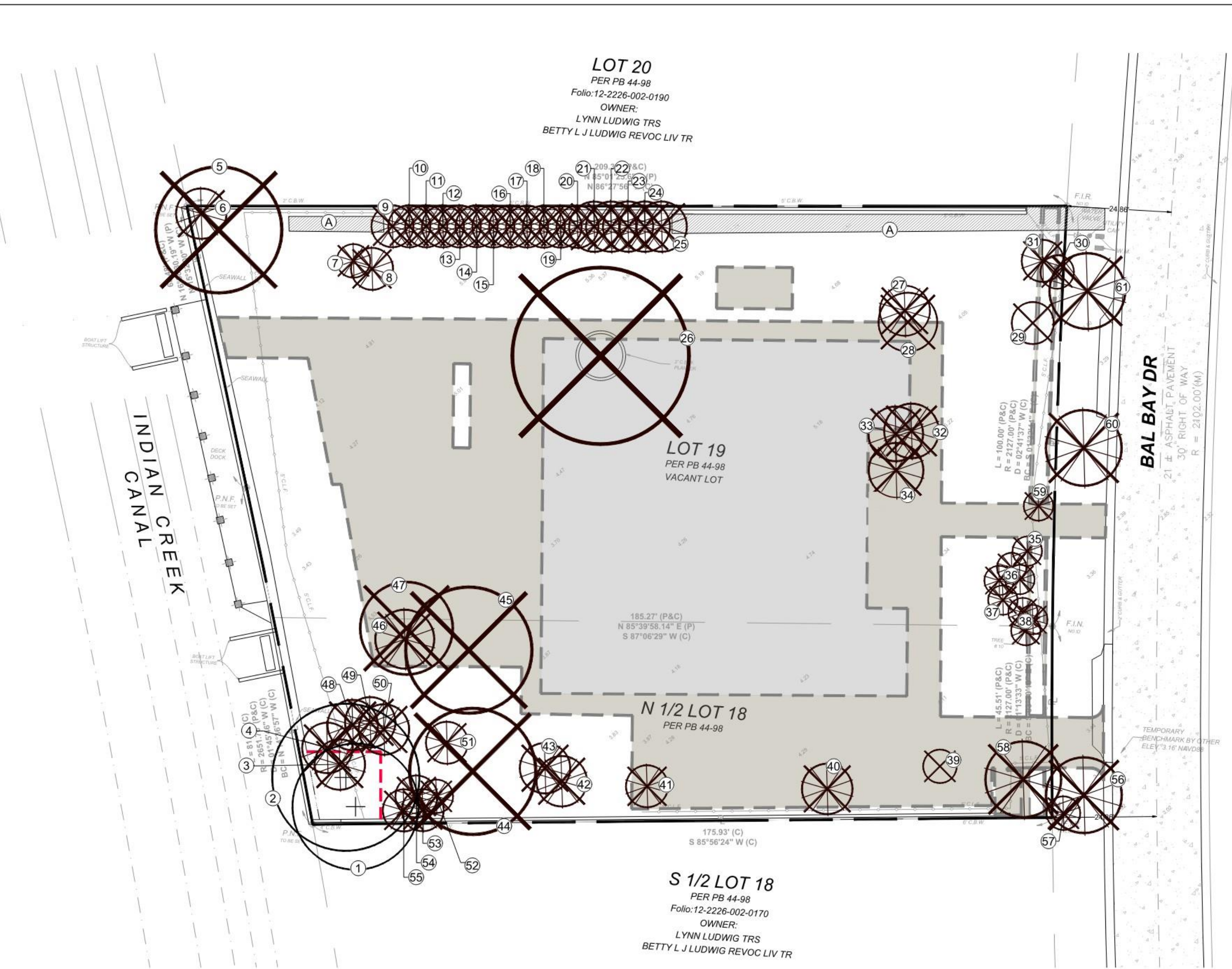
SHEET TITLE:
ILLUSTRATIVE
LANDSCAPE PLAN

Rev: Date: Description:

By: Description:

LANDSCAPE ARCHITECTURE
URBAN DESIGN
2300 E OAKLAND PARK BLVD, SUITE 300
FORT LAUDERDALE, FLORIDA 33308 USA
TEL: 954.533.8259
WWW.AMLANDSCAPE.COM

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ANDRES MONTERO, P.L.A., A.S.A.

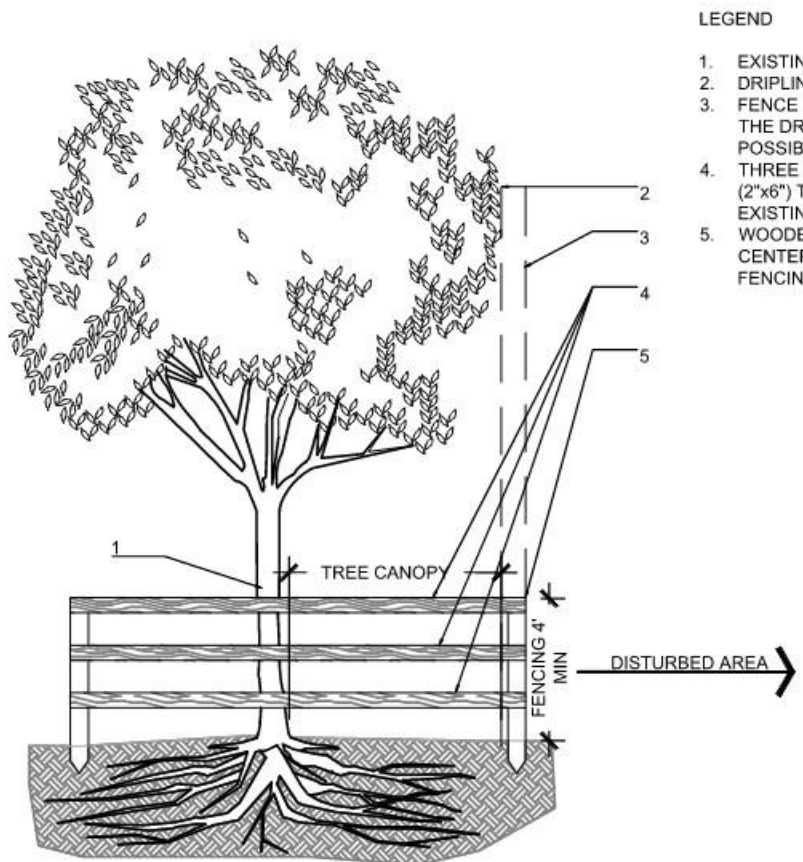


LEGEND

- PROPOSED BUILDING & HARDSCAPE FOOTPRINT
- TREE PROTECTION FENCE
- (X) TREE NUMBER
- (+) EXISTING TREE TO REMAIN
- (X) EXISTING PALM TO BE REMOVED
- (X) EXISTING TREE TO BE REMOVED
- EXISTING HEDGE TO BE REMOVED

NOTES:

- THE APPROXIMATE LOCATION, SIZE AND CONDITIONS OF THE EXISTING TREES/PALMS WITHIN THE PROJECT LIMITS HAS BEEN COLLECTED FROM A SITE VISIT BY THE LANDSCAPE ARCHITECT AND THE EXISTING PROPERTY SURVEY PREPARED BY:
APEX ONE INSPECTIONS AND SURVEYS
955 SW 122nd AVE. MIAMI, FL 33184
PH: 305.328.9156
- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION - SEE EXISTING TREE PROTECTION FENCE DETAIL #1 - SHEET L-01.
- CONTRACTOR SHALL OBTAIN A TREE REMOVAL PERMIT PRIOR TO THE REMOVAL OF TREES/PALMS PROPOSED TO BE REMOVED.



NOTES:

- ALL EXPOSED ROOTS WITHIN ROOT PROTECTION ZONE SHALL BE HAND PRUNED TO HAVE A SMOOTH, CLEAN CUT WITHOUT TEARING OR SPLITTING.
- CONTRACTOR TO INSTALL PROTECTIVE FENCE BARRIER AROUND ALL EXISTING TREES TO REMAIN - AT THE START OF THE PROJECT - FENCE TO REMAIN IN PLACE THROUGHOUT THE DURATION OF THE PROJECT.
- CONTRACTOR SHALL TAKE EXTRA CARE DURING EARTHWORK AND UTILITY OPERATIONS TO PROTECT ALL EXISTING TREES - AND SHALL BE RESPONSIBLE TO REPLACE ANY TREES DAMAGED DURING CONSTRUCTION.

1 EXISTING TREE PROTECTION FENCE
SECTION

6-Protection fence 1.dwg
SCALE: N.T.S

TREE DISPOSITION TABLE

TREE #	BOTANICAL NAME	COMMON NAME	DBH (in)	O.A. HEIGH (ft)	CLEAR TRUNK (ft)	SPREAD (ft)	COMMENTS	STATUS
1	Coccoloba uvifera	Sea Grape	13, 19	28		30	Double Trunk	REMAIN
2	Coccoloba uvifera	Sea Grape	9, 16, 11	28		35	Triple Trunk	REMAIN
3	Livistona chinensis	Chinese Fan Palm	7		12	12		REMOVE
4	Livistona chinensis	Chinese Fan Palm	6		7	12		REMOVE
5	Coccoloba uvifera	Sea Grape	11, 11, 15	20		30	Triple Trunk	REMOVE
6	Sabal palmetto	Cabbage Palm	7		12	12		REMOVE
7	Ptychosperma elegans	Alexander Palm	4, 3, 3, 3		18, 16, 16, 16	8	Four Trunks	REMOVE
8	Adonidia merillii	Christmas Palm	5		8	10		REMOVE
9	Adonidia merillii	Christmas Palm	5		15	10		REMOVE
10	Adonidia merillii	Christmas Palm	5		15	10		REMOVE
11	Adonidia merillii	Christmas Palm	5		15	10		REMOVE
12	Adonidia merillii	Christmas Palm	5		15	10		REMOVE
13	Adonidia merillii	Christmas Palm	5		15	10		REMOVE
14	Adonidia merillii	Christmas Palm	5		15	10		REMOVE
15	Adonidia merillii	Christmas Palm	5		15	10		REMOVE
16	Adonidia merillii	Christmas Palm	5		15	10		REMOVE
17	Ptychosperma elegans	Alexander Palm	4		24	10		REMOVE
18	Ptychosperma elegans	Alexander Palm	3		13	10		REMOVE
19	Ptychosperma elegans	Alexander Palm	3		11	10		REMOVE
20	Ptychosperma elegans	Alexander Palm	3		13	10		REMOVE
21	Adonidia merillii	Christmas Palm	5		20	12		REMOVE
22	Ptychosperma elegans	Alexander Palm	7		16	12		REMOVE
23	Ptychosperma elegans	Alexander Palm	7		16	12		REMOVE
24	Ptychosperma elegans	Alexander Palm	7		16	12		REMOVE
25	Ptychosperma elegans	Alexander Palm	7		16	12		REMOVE
26	Coccoloba uvifera	Sea Grape	14, 16, 13	25		42		REMOVE
27	Ptychosperma elegans	Alexander Palm	4		12	12		REMOVE
28	Psidium cattleianum	Strawberry Guava	6	10		14	Invasive	REMOVE
29	Bursera simaruba	Gumbo Limbo	5	16		10		REMOVE
30	Schefflera actinophylla	Umbrella Tree					Invasive	REMOVE
31	Ptychosperma elegans	Alexander Palm	3		10	10		REMOVE
32	Sabal palmetto	Cabbage Palm	10		18	13		REMOVE
33	Sabal palmetto	Cabbage Palm	9		12	13		REMOVE
34	Sabal palmetto	Cabbage Palm	8		16	13		REMOVE
35	Phoenix roebelenii	Pygmy Date Palm	4		8	7		REMOVE
36	Phoenix roebelenii	Pygmy Date Palm	4, 3, 3		8	7		REMOVE
37	Phoenix roebelenii	Pygmy Date Palm	4		8	7		REMOVE
38	Phoenix roebelenii	Pygmy Date Palm	5, 5, 5		8	7		REMOVE
39	Schefflera actinophylla	Umbrella Tree					Invasive	REMOVE
40	Ptychosperma elegans	Alexander Palm	4		22	12		REMOVE
41	Ptychosperma elegans	Alexander Palm	4		32	10		REMOVE
42	Livistona chinensis	Chinese Fan Palm	6		14	12		REMOVE
43	Livistona chinensis	Chinese Fan Palm	6		8	12		REMOVE
44	Bischofia javanica	Bishopwood	24	42		30	Invasive	REMOVE
45	Coccoloba uvifera	Sea Grape	21	24		30		REMOVE
46	Sabal palmetto	Cabbage Palm	14		7	14		REMOVE
47	Clusia rosea	Pitch apple	9	26		22		REMOVE
48	Livistona chinensis	Chinese Fan Palm	7		14	12		REMOVE
49	Livistona chinensis	Chinese Fan Palm	8		18	12		REMOVE
50	Livistona chinensis	Chinese Fan Palm	6		20	12		REMOVE
51	Ptychosperma elegans	Alexander Palm	3		25	10		REMOVE
52	Ptychosperma elegans	Alexander Palm	4		30		Dead	REMOVE
53	Ptychosperma elegans	Alexander Palm	4		30	10		REMOVE
54	Ptychosperma elegans	Alexander Palm	4		18	10		REMOVE
55	Ptychosperma elegans	Alexander Palm	3		22	10		REMOVE
56	Cocos nucifera	Coconut Palm	10		38	18		REMOVE
57	Ptychosperma elegans	Alexander Palm	3		24	8		REMOVE
58	Phoenix reclinata	Senegal Date Palm			18	18	Cluster	REMOVE
59	Phoenix roebelenii	Pygmy Date Palm	4, 4		5	7	Double Trunk	REMOVE
60	Cocos nucifera	Coconut Palm	21		34	18		REMOVE
61	Cocos nucifera	Coconut Palm	10		32	18		REMOVE
A	Podocarpus macrophyllus	Podocarpus					Hedge	REMOVE

GRAPHIC SCALE
NORTH 0 20 40 60

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Rev	Date	Description

PROPERTY SURVEY &
TREE DISPOSITION
PLAN

PRIVATE RESIDENCE
148 BAL BAY DRIVE
BAL HARBOUR, FL 33151

Project Name:
Project Number:
Date: SEPTEMBER 5, 2025
Scale: 1" = 20'-0"
Drawn By: AEM/MEP
Approved By: AEM
Project No: 202523

Sheet Number:
L-01

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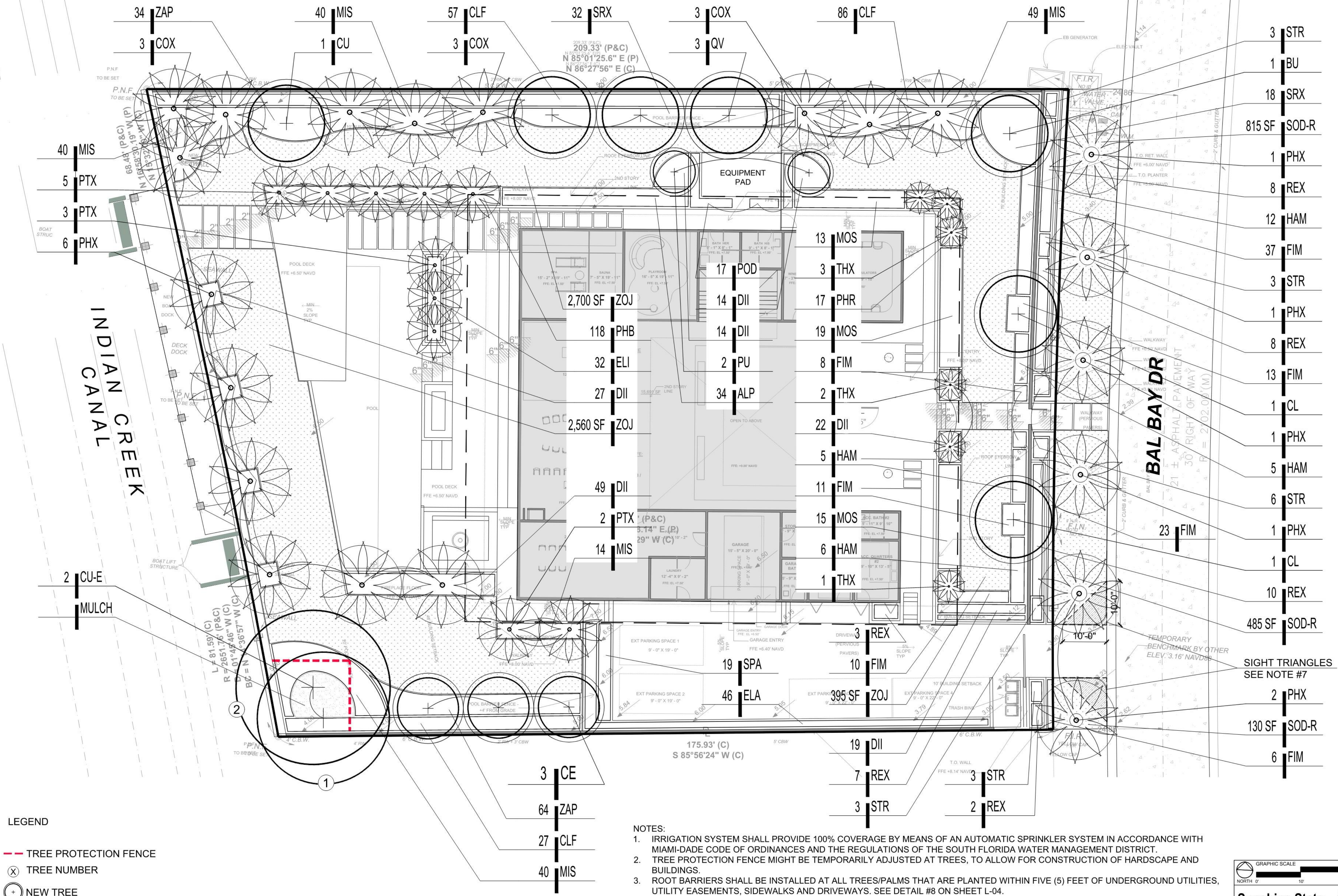
Sheet Title:
LANDSCAPE PLAN

Project Name:
PRIVATE RESIDENCE
148 BAL BAY DRIVE
BAL HARBOUR, FL 33151

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ANDRES MONTERO, P.L.A., A.S.A.
STATE OF FLORIDA
REGISTRATION NO. 14806973

Date: SEPTEMBER 5, 2025
Scale: 1" = 10'-0"
Drawn By: AEM/MEP
Approved By: AEM
Project No: 202523

Sheet Number:
L-02



GRAPHIC SCALE
NORTH 0' 10' 20' 30'

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- NOTES:
- IRRIGATION SYSTEM SHALL PROVIDE 100% COVERAGE BY MEANS OF AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH MIAMI-DADE CODE OF ORDINANCES AND THE REGULATIONS OF THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT.
 - TREE PROTECTION FENCE MIGHT BE TEMPORARILY ADJUSTED AT TREES, TO ALLOW FOR CONSTRUCTION OF HARDSCAPE AND BUILDINGS.
 - ROOT BARRIERS SHALL BE INSTALLED AT ALL TREES/PALMS THAT ARE PLANTED WITHIN FIVE (5) FEET OF UNDERGROUND UTILITIES, UTILITY EASEMENTS, SIDEWALKS AND DRIVEWAYS. SEE DETAIL #8 ON SHEET L-04.
 - REQUIRED SCREENING HEDGES SHALL BE PLANTED AND MAINTAINED TO FORM A CONTINUOUS VISUAL SCREEN.
 - 3" OF APPROVED ORGANIC MULCH MUST BE INSTALLED IN ALL LANDSCAPE AREAS COVERED BY TREES, SHRUBS AND GROUNDCOVERS. CYPRESS MULCH IS NOT ALLOWED.
 - PROVIDE A CIRCLE OF ORGANIC MULCH AROUND TREES/PALMS OF NOT LESS THAN 12" FROM THE TRUNK OF THE TREE/PALM
 - WITHIN VISIBILITY TRIANGLES, LANDSCAPE SHALL BE MAINTAIN TO PROVIDE CLEAR VISIBILITY WITHOUT OBSTRUCTION FROM AN AREA BETWEEN TWO AND ONE HALF (2 1/2) FEET AND TEN (10) FEET ABOVE AVERAGE ELEVATION OF THE INTERSECTION.

Plant List								
QT	code	species	common name	drought tolerance	native	specifications	container size	spacing
NEW & EXISTING TREES								
1	BU	Bursera simaruba	Gumbo Limbo	High	yes	16' ht. 5" DBH. 8' Spr. 6' CT. Std.	FG	as shown
3	CE	Conocarpus erectus	Green Buttonwood	High	yes	16' ht. 5" DBH. 8' Spr. 6' CT. Std.	FG	as shown
2	CL	Clusia rosea	Pitch Apple	High	yes	16' ht. 4" DBH. 8' Sprd. 6' CT. Std.	FG	as shown
1	CU	Coccoloba uvifera	Sea Grape Tree	High	yes	16' ht. 4" DBH. 8' Sprd. 6' CT. Std.	FG	as shown
2	CU-E	Coccoloba uvifera	Sea Grape Tree	High	yes	Trees #1, #2		Existing
2	PU	Pandanus utilis	Screwpine	Medium	no	9' O.A. Multi-Trunk.	FG	as shown
3	QV	Quercus virginiana	Live Oak	High	yes	16' ht. 4" DBH. 6' Sprd. 6' CT. Std.	FG	as shown
NEW PALMS								
9	COX	Cocos nucifera	Coconut Palm	High	no	8' CT/ Heavy/ Straight trunk/16' O.A. min.	FG	as shown
12	PHX	Phoenix sylvestris	Silvester Date Palm	High	no	10' CT/ Heavy/ Straigh trunk/16' O.A. min.	FG	as shown
10	PTX	Ptychosperma elegans	Alexander Palm	Medium	no	14' O.A./Double	FG	as shown
6	THX	Thrinax radiata	Florida Thach Palm	High	yes	6-7' O.A./Full head	FG	as shown
SHRUBS & GROUNDCOVERS								
34	ALP	Alpinea zerumbet	Shell Ginger	Low	no	30" O.A.	3 Gal.	30" O.C.
170	CLF	Clusia flava	Small Leaf Clusia	High	yes	36" Ht.	7 Gal.	30" O.C.
145	DII	Dietes iridioides	African Iris	Medium	no	18" O.A./ Full Clump	3 Gal.	24" O.C.
46	ELA	Elaeocarpus decipiens	Japanese Blueberry	Medium	no	5' ht. Low Branched	15 Gal.	30" O.C.
32	ELI	Ernodea littoralis	Golden Beach Creeper	High	yes	12" ht. 12 spr.	3 Gal.	18" O.C.
108	FIM	Ficus microcarpa 'Green Island'	Green Island Ficus	High	no	18" O.A.	7 Gal.	24" O.C.
28	HAM	Hamelia nodosa	Dwarf Firebush	Medium	yes	24" ht. 24" spr.	3 Gal.	36" O.C.
47	MOS	Monstera deliciosa	Swiss Cheese Plant	Medium	no	24" Ht. 24" Spr.	7 Gal.	36" O.C.
183	MIS	Miscanthus sinensis 'Adagio'	Adagio Grass	High	no	24" ht. 30" spr.	3 Gal.	30" O.C.
118	PHB	Philodendron 'Burle Marx'	Burle Marx Philodendron	Medium	no	12" O.A./ Full Clump	3 Gal.	18" O.C.
17	PHR	Philodendron 'Rojo Congo'	Rojo Congo Philodendron	Medium	no	24" O.A.	7 Gal.	30" O.C.
17	POD	Podocarpus macrophyllus	Podocarpus	High	no	36" HT. 24" spr.	7 Gal.	30" O.C.
38	REX	Rhapis excelsa	Lady Palm	Medium	no	30" O.A. Clump, Full	7 Gal.	36" O.C.
19	SPA	Spathoglottis spp.	Ground Orchid Lavender	Medium	no	12" Ht. 6" Spr	3 Gal.	24" O.C.
50	SRX	Serenoa repens	Saw Palmetto	High	yes	24" O.A./ Full Clump	7 Gal.	36" O.C.
18	STR	Strelitzia reginae	Orange Bird of Paradise	High	no	30" O.A.	7 Gal.	30" O.C.
98	ZAP	Zamia pumila	Coontle	High	yes	18" Ht. 18" Spr./ Full Clump	7 Gal.	24" O.C.
SOD								
1430	SOD-R	Stenotaphrum secundatum	St. Augustine Grass		yes	Staggerd Panels		
5655	ZOJ	Zoysia japonica	Zoysia Grass		yes	Staggerd Panels		

Bal Harbour Village			
Landscape Code (Miami-Dade Ch. 18A / Street Tree Code (Miami-Dade Ch. 18B) Requirements Legend			
Single-Family Residential Home Sites (R-1 / R-2)			
Address:	148 Bal Bay Dr. Bal Harbour, FL 33151	Lot Area (sf):	27796 Acres 0.64
A. SHADE TREES REQUIRED *		REQUIRED	PROVIDED
1. Single-Family Non-Waterfront Lot		3	N/A
2. Single-Family Waterfront Lot		3	12 + 2 Existing
3. Numbers of Shades trees in Fornt Yard		2	3
4. Native Species required - 30%		1	12
5. Drought Tolerant and Low Maintenance Species required - 50%		2	14
B. STREET TREES REQUIRED **		REQUIRED	PROVIDED
Measure @ 1:35 lineal feet of frontage: Width of lot:	145.5 LF / 35' = 4.15 trees	5	6
Note: Street trees do not count toward required on site lot trees			
Note: Street trees species determined by Village Street Tree Master Plan			
C. SHRUBS REQUIRED ***		REQUIRED	PROVIDED
1. Single-Family Non-Waterfront Lot		N/A	N/A
2. Single-Family Waterfront Lot		30	671
4. Native Species required - 30%		9	346
5. Drought Tolerant and Low Maintenance Species required - 50%		15	637
D. MAXIMUM LAWN AREA ALLOWED****		REQUIRED	PROVIDED
60% of Net Lot area (sf)		16678	5655
* Required Shade Trees at time of planting must be a min. of 12 ft. in overall height; min. 4 ft. of clear wood before branching; and have min. 2½" trunk caliper. Palm Trees (15' hgt x 3" caliper) can be substituted at a 3:1 ratio (except approved larger palm species at 1:1 @ 15' wood) at max. 30% of the required trees			
** Miami-Dade County Right-of-Way Code Sec. 18B (Street Tree Size = 12' min. height / 5' min. clear wood / 2 ½" min. trunk caliper)			
*** Required Shrubs at time of planting must be a min. of 18 inches in overall height, spaced max. 24 inches on center; if used as a visual screen must be a minimum of 36 inches in overall height.			
**** Miami-Dade County Landscape Code Sec. 18A-5(A)(5); 80% of plant material must be listed in either M-D Landscape Manual / M-D Street Tree Master Plan / UF Florida Low-Maintenance Landscape Plants for South Florida.			

TREE MITIGATION TABLE				
TREE #	BOTANICAL NAME	COMMON NAME	DBH INCHES	CANOPY (SF)
3	Livistona chinensis	Chinese Fan Palm	7	113
4	Livistona chinensis	Chinese Fan Palm	6	113
5	Coccoloba uvifera	Sea Grape	11, 11, 15	707
6	Sabal palmetto	Cabbage Palm	7	113
7	Ptychosperma elegans	Alexander Palm	4, 3, 3, 3	50
8	Adonidia merillii	Christmas Palm	5	79
9	Adonidia merillii	Christmas Palm	5	79
10	Adonidia merillii	Christmas Palm	5	79
11	Adonidia merillii	Christmas Palm	5	79
12	Adonidia merillii	Christmas Palm	5	79
13	Adonidia merillii	Christmas Palm	5	79
14	Adonidia merillii	Christmas Palm	5	79
15	Adonidia merillii	Christmas Palm	5	79
16	Adonidia merillii	Christmas Palm	5	79
17	Ptychosperma elegans	Alexander Palm	4	79
18	Ptychosperma elegans	Alexander Palm	3	79
19	Ptychosperma elegans	Alexander Palm	3	79
20	Ptychosperma elegans	Alexander Palm	3	79
21	Adonidia merillii	Christmas Palm	5	113
22	Ptychosperma elegans	Alexander Palm	7	113
23	Ptychosperma elegans	Alexander Palm	7	113
24	Ptychosperma elegans	Alexander Palm	7	113
25	Ptychosperma elegans	Alexander Palm	7	113
26	Coccoloba uvifera	Sea Grape	14, 16, 13	1385
27	Ptychosperma elegans	Alexander Palm	4	113
29	Bursera simaruba	Gumbo Limbo	5	79
31	Ptychosperma elegans	Alexander Palm	3	79
32	Sabal palmetto	Cabbage Palm	10	133
33	Sabal palmetto	Cabbage Palm	9	133
34	Sabal palmetto	Cabbage Palm	8	133
35	Phoenix roebelenii	Pygmy Date Palm	4	38
36	Phoenix roebelenii	Pygmy Date Palm	4, 3, 3	38
37	Phoenix roebelenii	Pygmy Date Palm	4	38
38	Phoenix roebelenii	Pygmy Date Palm	5, 5, 5	38
40	Ptychosperma elegans	Alexander Palm	4	113
41	Ptychosperma elegans	Alexander Palm	4	79
42	Livistona chinensis	Chinese Fan Palm	6	113
43	Livistona chinensis	Chinese Fan Palm	6	113
45	Coccoloba uvifera	Sea Grape	21	707
46	Sabal palmetto	Cabbage Palm	14	154
47	Clusia rosea	Pitch apple	9	380
48	Livistona chinensis	Chinese Fan Palm	7	113
49	Livistona chinensis	Chinese Fan Palm	8	113
50	Livistona chinensis	Chinese Fan Palm	6	113
51	Ptychosperma elegans	Alexander Palm	3	79
53	Ptychosperma elegans	Alexander Palm	4	79
54	Ptychosperma elegans	Alexander Palm	4	79
55	Ptychosperma elegans	Alexander Palm	3	79
56	Cocos nucifera	Coconut Palm	10	254
57	Ptychosperma elegans	Alexander Palm	3	50
58	Phoenix reclinata	Senegal Date Palm	Cluster	254
59	Phoenix roebelenii	Pygmy Date Palm	4, 4	38
60	Cocos nucifera	Coconut Palm	21	254
61	Cocos nucifera	Coconut Palm	10	254
TOTAL TREE CANOPY TO BE REMOVED				8310

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TEL: 954.533.8259
www.amlsaudio.com

Rev	Date	Description	By

LANDSCAPE
CALCULATION TABLES

PRIVATE RESIDENCE
148 BAL BAY DRIVE
BAL HARBOUR, FL 33151

Project Name:
Project No:
Scale:
Date:
Drawn By:
Approved By:
Project No:

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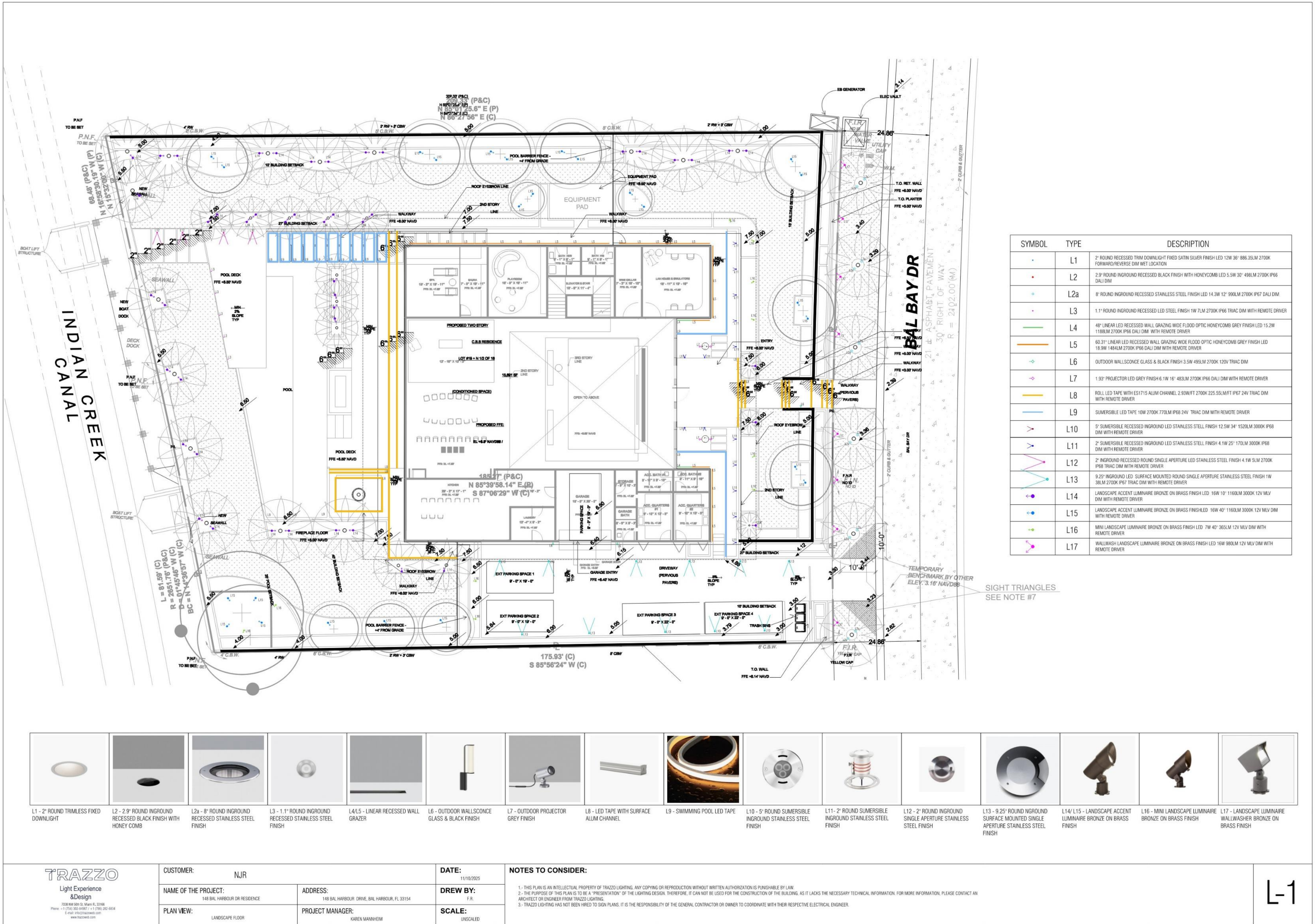
Date: SEPTEMBER 5, 2025
Scale: N.T.S.
Drawn By: AEM/MEP
Approved By: AEM
Project No: 202523

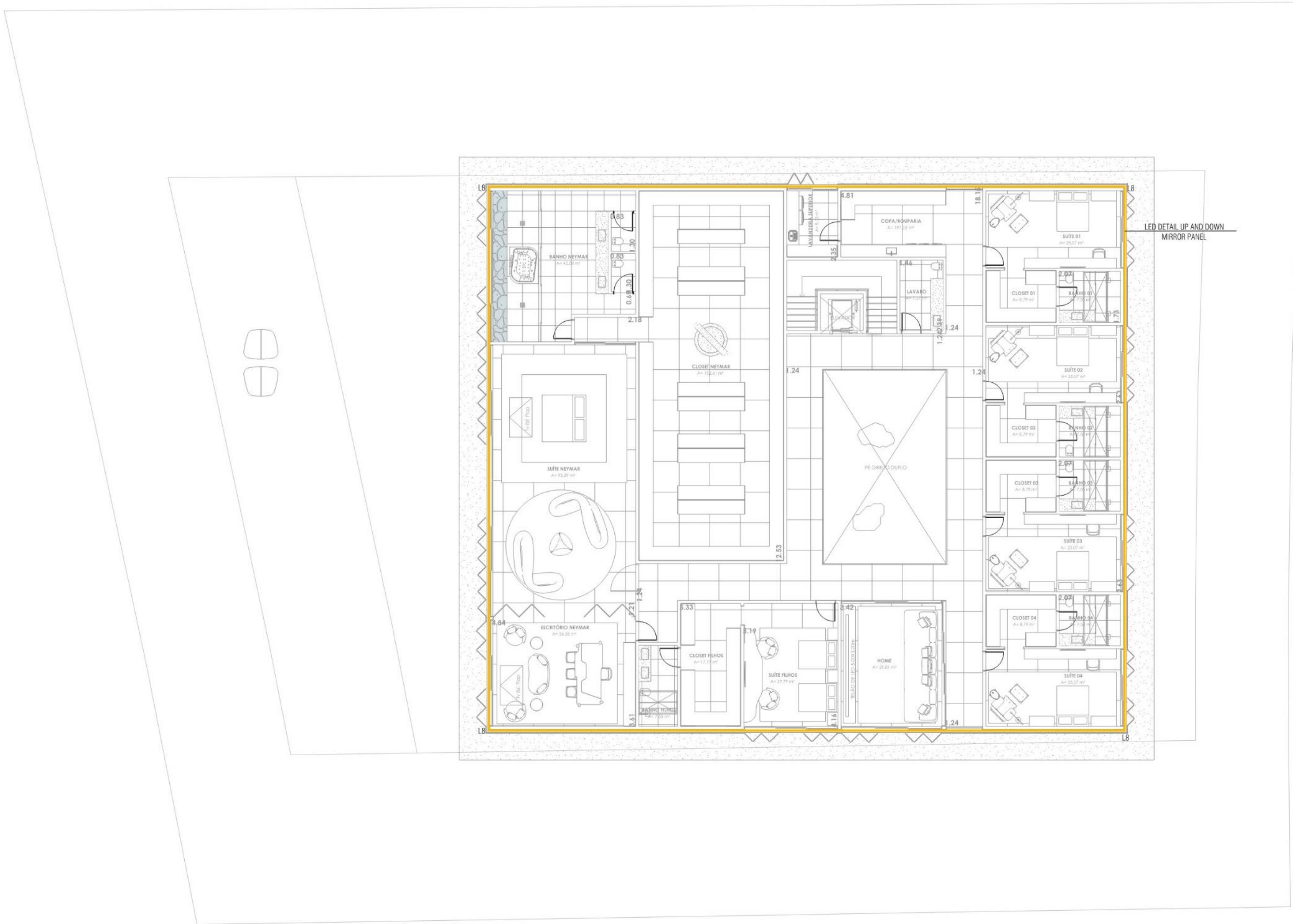
Sheet Number:
L-03

PERMIT SET FOR ARB SUBMITTAL - NOT FOR CONSTRUCTION

1. Before construction begins, the Landscape Contractor is responsible for locating all underground utilities and must avoid damaging any services during construction. If any damage occurs by the fault of the Contractor, the necessary repairs must take place at the Landscape Contractor's expense and under the supervision of the Owner's representative.
2. The Landscape Contractor shall be responsible for securing all necessary applicable permits and licenses to perform the work set forth in this plan set and the specifications.
3. The Landscape Contractor shall be responsible for examining fully both the site and bid documents. Discrepancies in the documents or the actual site conditions shall be reported to the Landscape Architect in writing at the time of bidding or discovery. No account shall be made after contract completion for failure by the Landscape Contractor to report such condition or for errors on the part of the Landscape Contractor at the time of bidding.
4. All dimensions to be field checked by the Landscape Contractor prior to landscape material installation. Discrepancies shall be reported immediately to the Landscape Architect.
5. Contractor shall be responsible for removing all existing and imported limerock and limerock sub-base from all landscape planting areas to a minimum depth of 36" or to native soil. Contractor is responsible to backfill these planting areas to rough finished grade with clean topsoil from an on-site source or an imported source.
6. All planting beds shall be excavated to a minimum size and depth as shown in the planting details for trees, shrubs, and groundcovers, and backfilled with suitable soil unless specified otherwise. All plant material shall be planted in planting soil that is delivered to the site in a loose, clean, and friable condition. The planting soil shall be of the approximate proportions as follows: 50% sand and 50% organic material consisting of native peat, well-decomposed sawdust, leaf mold and topsoil. It shall provide a good, pliable, and thoroughly mixed medium with adequate aeration, drainage, and water-holding capacity. It shall also be free of all extraneous debris, such as roots, stones, weeds, etc.
7. Contractor to test all tree pits with water before planting to assure proper drainage percolation is available.
8. All proposed trees and plant materials shall be graded as Nursery Grade Florida No. 1 or better as outlined by the Florida Department of Agriculture and Consumer Services, Division of Plant Industry "Grades and standards for Nursery Plants", most current edition. All planting shall be done in accordance with the Florida Nurserymen's and Grower's Association approved practices.
9. All trees/palms and shrubs shall be fertilized with "Agriform" 20-10-5 planting tablets as per the manufacturer's specifications at the time of installation and prior completion of pit backfilling also in conjunction with note #5. Tablets to be placed uniformly around the root mass at a depth that is between the middle and bottom of root mass at an application rate of: One (1) - 21 gram tablet for 1 gal container, two (2) - tablets for 3 gal container, three (3) - tablets for 5 gal container, four (4) - tablets for 7 gal container, three (3) - tablets for each 1/2 inch of tree caliper, and seven (7) tablets for palms. Ground Cover areas shall receive fertilization with "Ozmocote" time release fertilizer as per manufacturer's specification.
10. All plant beds shall receive a 3" layer of organic mulch, which is to be watered-in after installation. Mulch should be at least six (6) inches away from any portion of a structure or tree trunk and three (3) inches away from the base of shrubs. The use of Cypress mulch is discouraged.
11. All plant material shall be thoroughly watered in at the time of planting and until landscape material is established. No dry material shall be permitted.
12. The plant material schedule is presented for the convenience of the Landscape Contractor. In the event of a discrepancy between the plan and the plant list quantities, the contractor shall notify the owner's representative/Landscape Architect prior to bidding or installation of the project.
13. Plants shall meet size, container, and spacing specifications. Any material not meeting specifications shall be removed and replaced at the contractor's expense.
14. All tree and shrub locations shall be approved by Landscape Architect prior to planting.
15. Plant material shall be bid as specified unless unavailable, at which time the Landscape Architect shall be notified in writing of intended changes.
16. All questions concerning the plan set and/or specifications shall be directed to the Landscape Architect.
17. All materials must be as specified on the landscape plan. If materials or labor do not adhere to specifications, they will be rejected by the Landscape Architect with proper installation carried out by the Landscape Contractor at no additional cost.
18. There shall be no additions, deletions, or substitutions without written approval of the Landscape Architect.
19. All screening hedges shall be planted and maintained in a way that they form a continuous visual screen. Screening hedges at VUA to be maintained at a minimum height of thirty (30) inches unless specified otherwise to meet local codes.
20. The Landscape Contractor shall guarantee, in writing, plant survivability. Trees and palms for twelve (12) months, shrubs, and groundcovers for ninety (90) days and sod for sixty (60) days from final acceptance by the Owner or Owner's representative.
21. Existing sod shall be removed as necessary to accommodate new plantings.
22. All existing trees on site shall be protected from damage during construction - See existing tree protection fence detail.
23. Any existing landscape and hardscape areas that are unnecessarily disturbed during the landscape installation shall be restored to their original conditions by the Landscape Contractor.
24. The Landscape Contractor will be responsible for the collection, removal, and proper disposal of all debris generated during the installation of this project.
25. The Landscape contractor shall fine grade all lawn and planting areas prior to plant material installation. Fine grading shall consist of final finished grading of lawn and planting areas that have been rough graded by others.
26. The Landscape Contractor shall grade planting beds, as required, to provide positive drainage and promote optimum plant growth.
27. Prior to sod installation, the Landscape Contractor shall clear the area of debris, weeds and remove any bumps and depressions within the area to be sodded.
28. All landscape areas to have a positive drainage away from buildings and structures. Finished grade of landscape areas to be at or below the grade of adjacent sidewalks, slabs, or VUA
29. All shade and medium trees installed within 5' of a public infrastructure shall utilize a root barrier system unless specified otherwise.
30. In addition to these requirements the Landscape Contractor shall comply with all local landscape codes and requirements as part of this base bid and contract in order to satisfy the review and approval of the governing agency.







SYMBOL	TYPE	DESCRIPTION
	L1	2" ROUND RECESSED TRIM DOWNLIGHT FIXED SATIN SILVER FINISH LED 12W 36" 886.35LM 2700K FORWARD/REVERSE DIM WET LOCATION
	L2	2.9" ROUND INGROUND RECESSED BLACK FINISH WITH HONEYCOMB LED 5.5W 30" 498LM 2700K IP66 DALI DIM
	L2a	8" ROUND INGROUND RECESSED STAINLESS STEEL FINISH LED 14.3W 12" 990LM 2700K IP67 DALI DIM
	L3	1.1" ROUND INGROUND RECESSED LED STEEL FINISH 1W 7LM 2700K IP66 TRIAC DIM WITH REMOTE DRIVER
	L4	48" LINEAR LED RECESSED WALL GRAZING WIDE FLOOD OPTIC HONEYCOMB GREY FINISH LED 15.2W 1188LM 2700K IP66 DALI DIM WITH REMOTE DRIVER
	L5	60.31" LINEAR LED RECESSED WALL GRAZING WIDE FLOOD OPTIC HONEYCOMB GREY FINISH LED 18.9W 1484LM 2700K IP66 DALI DIM WITH REMOTE DRIVER
	L6	OUTDOOR WALLSCONCE GLASS & BLACK FINISH 3.5W 495LM 2700K 120V TRIAC DIM
	L7	1.93" PROJECTOR LED GREY FINISH 6.1W 16" 483LM 2700K IP66 DALI DIM WITH REMOTE DRIVER
	L8	ROLL LED TAPE WITH ES1715 ALUM CHANNEL 2.93W/FT 2700K 225.55LM/FT IP67 24V TRIAC DIM WITH REMOTE DRIVER
	L9	SUMERSIBLE LED TAPE 10W 2700K 770LM IP68 24V TRIAC DIM WITH REMOTE DRIVER
	L10	5" SUMERSIBLE RECESSED INGROUND LED STAINLESS STELL FINISH 12.5W 34" 1520LM 3000K IP68 DIM WITH REMOTE DRIVER
	L11	2" SUMERSIBLE RECESSED INGROUND LED STAINLESS STELL FINISH 4.1W 25" 170LM 3000K IP68 DIM WITH REMOTE DRIVER
	L12	2" INGROUND RECESSED ROUND SINGLE APERTURE LED STAINLESS STEEL FINISH 4.1W 5LM 2700K IP68 TRIAC DIM WITH REMOTE DRIVER
	L13	9.25" INGROUND LED SURFACE MOUNTED ROUND SINGLE APERTURE STAINLESS STEEL FINISH 1W 38LM 2700K IP67 TRIAC DIM WITH REMOTE DRIVER
	L14	LANDSCAPE ACCENT LUMINAIRE BRONZE ON BRASS FINISH LED 16W 10" 1160LM 3000K 12V MLV DIM WITH REMOTE DRIVER
	L15	LANDSCAPE ACCENT LUMINAIRE BRONZE ON BRASS FINISH LED 16W 40" 1160LM 3000K 12V MLV DIM WITH REMOTE DRIVER
	L16	MINI LANDSCAPE LUMINAIRE BRONZE ON BRASS FINISH LED 7W 40" 365LM 12V MLV DIM WITH REMOTE DRIVER
	L17	WALLWASH LANDSCAPE LUMINAIRE BRONZE ON BRASS FINISH LED 16W 980LM 12V MLV DIM WITH REMOTE DRIVER

L1 - 2" ROUND TRIMLESS FIXED DOWNLIGHT	L2 - 2.9" ROUND INGROUND RECESSED BLACK FINISH WITH HONEY COMB	L2a - 8" ROUND INGROUND RECESSED STAINLESS STEEL FINISH	L3 - 1.1" ROUND INGROUND RECESSED STAINLESS STEEL FINISH	L4/L5 - LINEAR RECESSED WALL GRAZER	L6 - OUTDOOR WALLSCONCE GLASS & BLACK FINISH	L7 - OUTDOOR PROJECTOR GREY FINISH	L8 - LED TAPE WITH SURFACE ALUM CHANNEL	L9 - SWIMMING POOL LED TAPE	L10 - 5" ROUND SUMERSIBLE INGROUND STAINLESS STEEL FINISH	L11 - 2" ROUND SUMERSIBLE INGROUND STAINLESS STEEL FINISH	L12 - 2" ROUND INGROUND SINGLE APERTURE STAINLESS STEEL FINISH	L13 - 9.25" ROUND NGROUND SURFACE MOUNTED SINGLE APERTURE STAINLESS STEEL FINISH	L14/ L15 - LANDSCAPE ACCENT LUMINAIRE BRONZE ON BRASS FINISH	L16 - MINI LANDSCAPE LUMINAIRE BRONZE ON BRASS FINISH	L17 - LANDSCAPE LUMINAIRE WALLWASHER BRONZE ON BRASS FINISH

BAL HARBOUR
- VILLAGE -
BUILDING

The undersigned Agent/Owner request(s) Architectural Review Board review of the following application(s):

☒ New Building (\$2,500.00) ☐ Alteration/ Additions (\$1,000.00) ☐ Revision (\$250.00)

PROJECT INFORMATION

Street Address of the Subject Property: 148 Bal Bay Dr, Bal Harbour, FL 33154, USA

Property/Project Name: 148 Bal Bay Dr

Legal description: Lot(s) 26 27 52 42 PB 44-98 BAL HARBOUR RESIDENTIAL SEC BLK 1 NLY1/2 LOT 18 & LOT 19 BLK 1 AND PROP INT IN & TO COMMON ELEMENTS NOT DEDICATED TO PUBLIC LOT SIZE

Block(s) 1 Section(s)

Folio No. 12-2226-002-0180

Owner(s): MDH MIAMI LLC

Mailing Address: 7901 4th St N #22452 St. Petersburg, FL 33702

Telephone: Fax

Other Email @

Architect(s)/Engineer(s): eneida pinon

Architect(s)/Engineer(s) Mailing Address: 9099 NW 165th terrace, miami lakes, fl 33018

Telephone: Business 305-331-7759 Fax

Other Email eneidapinon7 @ gmail.com

PROJECT INFORMATION

Project Description(s): new single family home to be built as per plan.

Estimated project cost*: 10,000,000

(*Estimated cost shall be +/- 10% of actual cost)

Date(s) of Previous Submittal(s) and Action(s): 10/01/2025

Applicant / Owner / Architect / Engineer/ Affirmation and Consent

I acknowledge, affirm, and certify to all of the following:

1. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Plan and Code of Ordinances of Bal Harbour Village unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
2. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
3. Understand that the application, all attachments and fees become a part of the official records of Bal Harbour Village and are not returnable.
4. All application representatives have registered with and completed lobbyist forms for the Bal Harbour Village City Clerk's office.
5. Understand that under Florida Law, all the information submitted as part of the application are public records.
6. Failure to provide the information required for submittal/necessary for review by the Architectural Review Board may cause the application to be deferred without review.
7. That applications for Architectural Review Board review require the presence of the applicant and/or architect/engineer at the meeting unless otherwise notified.
8. All fees shall be paid at the time of submittal.
9. A written narrative explaining the architectural style of the proposed building or alteration
10. I have received consent from the owner of the property to file this application.



DAY

11:00:05

NOTE: BOTH SIGNATURES OR AFFIRMATION/CONSENT ARE REQUIRED

Owner / Representative Printed Name: LOPES BEZERRA, ALTAMIRO			Architect(s)/Engineer(s) Print Name: Eneida Pinon		
Owner / Representative Signature: 			Architect(s)/Engineer(s) Signature: 		
Address: 7901 4th St N Ste 300 St. Petersburg, FL 33702			Address: 9099 nw 165th terrace, miami lakes, fl 3301		
Telephone:	Fax:	Email:	Telephone:	Fax:	Email:
			3053317759		eneidapinon7@gmail.co
			Architect/Engineer Seal: 		
NOTARIZATION			NOTARIZATION		
STATE OF FLORIDA COUNTY OF MIAMI-DADE			STATE OF FLORIDA COUNTY OF MIAMI-DADE		
Sworn to or affirm and subscribed before me this <u>13</u> day of <u>NOVEMBER</u> , in the year 20 <u>25</u> by <u>ALTAMIRO BEZERRA</u> who has taken an oath and is personally known to me or has produced as identification.			Sworn to or affirm and subscribed before me this <u>13</u> day of <u>NOVEMBER</u> , in the year 20 <u>25</u> by <u>ENEIDA PINON</u> who has taken an oath and is personally known to me or has produced as identification.		
My Commission Expires: <u>10-22-2027</u>			My Commission Expires: <u>10-22-2027</u>		
 Notary Public <u>Ulisses Dias</u>			 Notary Public <u>Ulisses Dias</u>		
					

February 5, 2026

Attn: Bal Harbour Village – Architectural Review Board
655 96th Street,
Bal Harbour, FL 33154

Re: **ARCHITECTURAL REVIEW BOARD - INITIAL SUBMISSION**
148 Bal Bay Drive
Bal Harbour, FL 33154
For a Two-Story Single Family New Construction Residence

ARCHITECTURAL DESIGN CRITERIA

This project resides in the prestigious Bal Harbour Village neighborhood, west of Bal Harbour Boulevard and just south of the Bal Harbour Village Marina. The existing property is a waterfront lot with water on one side of the property and is currently empty. The current site is situated between two (2) one-story residences and in front of a one-story residence and a two-story residence across the street on Bal Bay Drive. The proposed design allows for open vistas to the intracoastal, while providing privacy to and from the neighboring properties. The proposed design also conforms with the R-1 Zoning requirements as noted on the Site Plans. This submission also complies with the request from the Board from the previous Hearing for more information showing the massing of the two-story building.

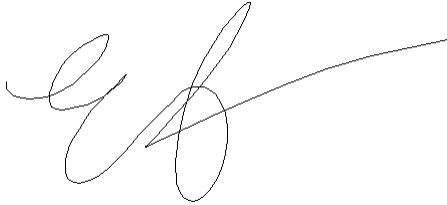
The design aesthetic of this residence will have modern-contemporary architectural features that are grounded with natural-feeling materials. The design features are a nod to Miami modernism, MIMO and Art Deco styles, with angular linear features, sweeping overhead eyebrows and cantilevers. The use of rustic-toned materials such as darkened metal and wood-stamped concrete juxtaposed with the use of water provides a darker modern-contemporary building look that blends in with the lush landscape and with the tranquil view of the waterfront. The additional water features surrounding the home further emphasize the closeness and connection to the waterfront and bring the tranquil qualities of water onto the project site. The proposed design is two stories tall at the full allowable height of 35 feet tall. The entry on the ground floor will open up to a large double height open living room area with tall ceilings that have a large overhead skylight to provide natural lighting within the home. This large welcoming space will open to the exterior pool deck to fully embrace the waterfront views. The programmatic spaces adjacent to this central living area include supporting spaces such as an adjacent kitchen, garage, spa, playroom, wine cellar, entertainment room and game room (on the mezzanine). Two accessory quarters are also provided on the first floor with separate entry access. The second floor holds the more private spaces, with a large opening that looks down into the first floor living area. The programming includes the large master suite that will overlook the pool area and the entire west wing with the view towards the waterfront. There are also five more bedrooms on the second floor, each with their own private bathrooms and most with views to the street side. An additional and more private family room, pantry and laundry are also on this floor.

The building systems include: concrete foundations, CMU walls, steel joists/concrete slabs for floor systems and roofs, concrete, metal finishes and impact windows/doors. The proposed design has the least amount as possible of glass in the south facing elevations and more glazing on the other facades which have an overhead eyebrow, following passive architectural techniques to minimize heat gain. Large covered/shaded terraces reduce direct sun exposure on areas with more glazed openings. All building window/door openings will be HVHZ impact rated. All windows will have interior screens for privacy and to minimize sun exposure. The roof will have a flat roof deck system, which will allow for higher ceilings floor to floor. This proposed structure will uphold all of the codes and laws regulated by the governing authorities of the project, State and Local with special regards to HVHZ requirements and environmental protections. All practices will meet

or exceed requirements of the Florida Building Code 2023, 8th edition and the State of Florida Department of Environmental Protection.

Please feel free to contact us with any questions or concerns.

Sincerely,

A handwritten signature in black ink, appearing to be 'EP' followed by a long horizontal stroke.

Eneida Pinon, RA
FL License: AR99209
Eneidapinon7@gmail.com



PROPERTY APPRAISER OF MIAMI-DADE COUNTY

Summary Report

Generated On: 11/24/2025

PROPERTY INFORMATION	
Folio	12-2226-002-0180
Property Address	148 BAL BAY DR BAL HARBOUR, FL 33154-0000
Owner	MDH MIAMI LLC
Mailing Address	848 BRICKELL AVE 203 MIAMI, FL 33131
Primary Zone	1100 SGL FAMILY - 2301-2500 SQ
Primary Land Use	0066 VACANT RESIDENTIAL : EXTRA FEA OTHER THAN PARKING
Beds / Baths /Half	0 / 0 / 0
Floors	0
Living Units	0
Actual Area	0 Sq.Ft
Living Area	0 Sq.Ft
Adjusted Area	0 Sq.Ft
Lot Size	27,796.23 Sq.Ft
Year Built	0

ASSESSMENT INFORMATION				
Year	2025	2024	2023	
Land Value	\$18,067,550	\$14,593,606	\$11,118,463	
Building Value	\$0	\$0	\$0	
Extra Feature Value	\$9,460	\$9,568	\$9,675	
Market Value	\$18,077,010	\$14,603,174	\$11,128,138	
Assessed Value	\$18,077,010	\$10,102,847	\$9,184,407	

BENEFITS INFORMATION				
Benefit	Type	2025	2024	2023
Non-Homestead Cap	Assessment Reduction		\$4,500,327	\$1,943,731
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).				

SHORT LEGAL DESCRIPTION	
26 27 52 42 PB 44-98	
BAL HARBOUR RESIDENTIAL SEC BLK 1	
NLY1/2 LOT 18 & LOT 19 BLK 1	
AND PROP INT IN & TO COMMON	
ELEMENTS NOT DEDICATED TO PUBLIC	



TAXABLE VALUE INFORMATION				
Year	2025	2024	2023	
COUNTY				
Exemption Value	\$0	\$0	\$0	
Taxable Value	\$18,077,010	\$10,102,847	\$9,184,407	
SCHOOL BOARD				
Exemption Value	\$0	\$0	\$0	
Taxable Value	\$18,077,010	\$14,603,174	\$11,128,138	
CITY				
Exemption Value	\$0	\$0	\$0	
Taxable Value	\$18,077,010	\$10,102,847	\$9,184,407	
REGIONAL				
Exemption Value	\$0	\$0	\$0	
Taxable Value	\$18,077,010	\$10,102,847	\$9,184,407	

SALES INFORMATION			
Previous Sale	Price	OR Book-Page	Qualification Description
10/14/2024	\$26,000,000	34466-1010	Qual by exam of deed
04/07/2021	\$100	32450-1471	Corrective, tax or QCD; min consideration
08/05/2020	\$9,300,000	32043-1936	Qual by exam of deed
12/30/2009	\$3,175,000	27139-3976	Qual by exam of deed

The information contained herein is for ad valorem tax assessment purposes only. The Property Appraiser of Miami-Dade County is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser of Miami-Dade County and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <https://www.miamidadepa.gov/pa/disclaimer.page>

BAL HARBOUR

- V I L L A G E -

ARCHITECTURAL REVIEW BOARD 2026 DEADLINES

DRAFT DOCUMENTS DUE TO BUILDING OFFICIAL	BUILDING OFFICIAL FINAL DOCUMENT APPROVAL	DOCUMENTS DUE TO VILLAGE CLERK: POST TO PROPERTIES	DOCUMENTS SENT TO ARB MEMBERS, POST AGENDA ONLINE, SEND CONSTANT CONTACT	ARB HEARING DATE
Friday, November 7, 2025	Monday, December 8, 2025	Friday, December 26, 2025	Thursday, January 1, 2026	Thursday, January 8, 2026
Friday, December 5, 2025	Monday, January 5, 2026	Friday, January 23, 2026	Thursday, January 29, 2026	Thursday, February 5, 2026
Friday, January 2, 2026	Monday, February 2, 2026	Friday, February 20, 2026	Thursday, February 26, 2026	Thursday, March 5, 2026
Friday, January 30, 2026	Monday, March 2, 2026	Friday, March 20, 2026	Thursday, March 26, 2026	Thursday, April 2, 2026
Friday, March 6, 2026	Monday, April 6, 2026	Friday, April 24, 2026	Thursday, April 30, 2026	Thursday, May 7, 2026
Friday, April 3, 2026	Monday, May 4, 2026	Friday, May 22, 2026	Thursday, May 28, 2026	Thursday, June 4, 2026
Friday, May 1, 2026	Monday, June 1, 2026	Friday, June 19, 2026	Thursday, June 25, 2026	Thursday, July 2, 2026
August Recess				
Friday, July 3, 2026	Monday, August 3, 2026	Friday, August 21, 2026	Thursday, August 27, 2026	Thursday, September 3, 2026
Friday, July 31, 2026	Monday, August 31, 2026	Friday, September 18, 2026	Thursday, September 24, 2026	Thursday, October 1, 2026
Friday, September 4, 2026	Monday, October 5, 2026	Friday, October 23, 2026	Thursday, October 29, 2026	Thursday, November 5, 2026
Saturday, October 3, 2026	Monday, November 2, 2026	Friday, November 20, 2026	Thursday, November 26, 2026	Thursday, December 3, 2026

Passover -No Work

Sukkot-Limited Work