

BAL HARBOUR

- V I L L A G E -

Reinaldo Borges, Chair
Amanda Barton, Board Member
Jose L. Gomez, Board Member
Brett Schlacter, Board Member
Nathan VanDeman, Board Member

Village Manager Jorge M. Gonzalez
Village Clerk Dwight S. Danie
Building Director Eliezer Palacio
Village Attorneys Weiss Serota
Helfman Cole & Bierman, PA

ARCHITECTURAL REVIEW BOARD

REGULAR MEETING AGENDA

MAY 7, 2026

AT 1:00 P.M.

Bal Harbour Village Hall • 655 - 96th Street • Bal Harbour • Florida 33154

This meeting will be conducted in-person. The meeting will also be broadcast on the Village's website (www.balharbourfl.gov) and members of the public are encouraged to participate by calling 305-865-6449 by emailing meetings@balharbourfl.gov before and during the meeting.

1 CALL TO ORDER / ROLL CALL

2 PLEDGE OF ALLEGIANCE

3 APPROVAL OF MINUTES

3.1 ARB Meeting Minutes - February 5, 2026

[Architectural Review Board Minutes February5_2026.pdf](#)

4 ARB-HEARINGS - *Please be advised that the following item on the agenda is quasi-judicial in nature. If you wish to comment upon an item, please inform the Chairman when he asks for public input on the item. An opportunity for persons to speak will be made available after the applicant and staff have made their presentations on each item. All testimony, including public testimony and evidence, will be made under oath or affirmation. Additionally, each person who gives testimony may be subject to cross-examination. If you refuse either to be cross-examined or to be sworn, your testimony will be given its due weight. The general public will not be permitted to cross-examine witnesses, but the public may request the Architectural Review Board to ask questions of staff or witnesses on their behalf. Persons representing organizations must present evidence of their authority to speak for their organization. Further details of the quasi-judicial procedures may be obtained from the Clerk.*

*(Disclosure of Ex-Parte Communications)
(Swearing-In by Village Clerk)*

- 4.1** – **ARB-2025-0017**
- 165 Biscay Bay Drive, Bal Harbour FL, 33154
 - Architect: Jorge A. Gamarra, Architectura Group Inc; BRG Studio LLC
 - Owner: Frank McPhillips, Trustee of 165 Biscay Trust
 - New 2-Story Residence
1. [165 Biscay Dr ARB Memo May 2026_.pdf](#)
 2. [ARB2025-0017 - 165 BISCAY DR - POWERPOINT PRESENTATION \(CL\).pdf](#)
 3. [ARB2025-0017 - 165 BISCAY DR - APPLICATION.pdf](#)
 4. [ARB2025-0017 - 165 BISCAY DR - NARRATIVE \(CL\).pdf](#)
 5. [ARB2025-0017 - 165 BISCAY DR - PROPERTY APPRAISER.pdf](#)

5 OTHER BUSINESS

6 PUBLIC COMMENT

7 ADJOURNMENT

One or more members of any Village Committee/Board may attend this meeting of the Council and may discuss matters which may later come before their respective Boards/Committees. The New Business and Council Discussion Section includes a section for Public Comment. On public comment matters, any person is entitled to be heard by this Council on any matter; however, no action shall be taken by the Council on a matter of public comment, unless the item is specifically listed on the agenda, or is added to the agenda by Council action. Any person who acts as a lobbyist, pursuant to Village Code Section 2-301 (Lobbyists), must register with the Village Clerk, prior to engaging in lobbying activities before Village staff, boards, committees, and/or the Village Council. A copy of the Ordinance is available in the Village Clerk's Office at Village Hall.

If a person decides to appeal any decision made by the Village Council with respect to any matter considered at a meeting or hearing, that person will need a record of the proceedings and, for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (F.S. 286.0105).

In accordance with the Americans with Disabilities Act of 1990, all persons who are disabled and who need special accommodations to participate in this proceeding because of that disability should contact the Village Clerk's Office (305-866-4633), not later than two business days prior to such proceeding. All Village Council meeting attendees, including Village staff and consultants, are subject to security screening utilizing a metal detector and/or wand, prior to entering the Council Chamber, Conference Room, or other meeting area located within Village Hall. This is for the safety of everyone. Thanks for your cooperation.

BAL HARBOUR

- V I L L A G E -

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ARCHITECTURAL REVIEW BOARD

REGULAR MEETING MINUTES

FEBRUARY 5, 2026

AT 1:00 P.M.

Bal Harbour Village Hall • 655 - 96th Street • Bal Harbour • Florida 33154

This meeting was conducted in-person. The meeting was also broadcast on the Village's website (www.balharbourfl.gov) and members of the public were encouraged to participate by calling 305-865-6449 by emailing meetings@balharbourfl.gov before and during the meeting.

- 1 CALL TO ORDER / PLEDGE OF ALLEGIANCE-** The meeting was called to order at 1:20 PM. Chair Reinaldo Borges.

The following Board Members were present:

Reinaldo Borges, Chair
Amanda Barton
Jose Gomez (1:26 P.M via Zoom)
Nathan VanDeman

The following were not present:

Brett Schlacter

The following were also present:

Eliezer Palacio, Building Director
Dwight Danie, Village Clerk
Susan Trevarthen, Village Attorney

- 2 PLEDGE OF ALLEGIANCE** - The Pledge of allegiance was led by Chair Borges.

3 APPROVAL OF MINUTES

- 3.1** December 4, 2025 Architectural Review Board Minutes

MOTION: A Motion to approve the minutes was moved by Nathan VanDeman and seconded by Amanda Barton.

VOTE: The Motion passed by unanimous voice vote (3-0).

4 ARB-HEARINGS

Ms. Trevarthen read the quasi-judicial procedures statement. She then asked the Board members to disclose ex parte communications, to which all Board members responded that they had none to disclose. The Village Clerk swore in all those who would be providing testimony.

4.1 RARB-2025-0016

148 Bal Bay Drive, Bal Harbour FL, 33154

Architect: Eneida Pinon

Owner: MDH Miami, LLC

New Single-Family Home

Mr. Palacio described the project saying that that the applicant had submitted written confirmation acknowledging the eighteen conditions of approval required by the building official. He confirmed that staff and the Village's Zoning consultant had reviewed the revision and agreed that it complied with the Appearance Code and Zoning Ordinance.

Chair Borges then reviewed the Board's principal concern from the prior hearing in that the design was still too schematic, and didn't have enough buildable detail, especially sections showing the mezzanine and realistic glazing/canopy framing, for the ARB to be confident the renderings could actually be constructed and look as shown.

Eneida Pinon, Architect reviewed the updated drawings describing the changes to the floor plan, including the mezzanine, which she said that instead of a big open wrap-around area, it's now more contained and reads like a true mezzanine inside a larger central space, taking up less than one-third of that space. She said the north and south ends still have full-height ceilings and added that they kept some separation between the rear pool area and the building so the house isn't pushed all the way to the property edge.

Chair Borges asked about the dark material on the front of the house, to which Ms. Pinon explained that it was a metal cladding that wraps around the front, with glass behind it, and that lighting is meant to make it stand out at night. Chair Borges noted that the screen has holes so you can partly see through it, but what's behind it is mostly a solid stucco wall, so the night lighting will be a big part of how it looks after dark.

Mr. VanDeman asked how wide the glass panels are and whether they would line up with upper level panels. Ms. Pinon said the glass sections range from around eight feet wide to larger sizes depending on location. Mr. VanDeman said the inside layout makes perfect alignment difficult, but they are lining things up in the most important areas.

Ms. Barton said that from the section drawings, the mezzanine floor slab looks very close to the glass on the exterior wall and she asked how that would look at night. Chair Borges said that even if reflective glass looks uniform during the day, you tend to see interior edges and shadows at night, which could make the mezzanine show more than intended. Ms. Pinon said some of it is structural, but the team could try to reduce how visible it is by adjusting details and setting it back.

There was a general discussion regarding the proposed SureCrete with a stamped wood pattern, and whether it would be durable a tropical environment. Chair Borges said that thin finishes can crack, let water in, and stain or wear over time if not detailed and installed extremely well. Ms. Barton said she had the same concern with the roof edge detail, saying that these seamless transitions can become failure points if they aren't designed carefully. Chair Borges suggested bringing in a waterproofing consultant to review the details given the climate and the type of design.

Mr. Gomez said the project had improved a lot since the previous meeting, thanked the team for responding to the board's feedback and said removing the earlier exterior void between the first and second levels made the design more understandable. He said that he didn't object to the SureCrete product based on what was shown and he questioned whether the very large second-floor glass panels were realistic as shown, or whether they would end up needing extra supports and whether approvals existed for glass of that size. Chair Borges also noted one major improvement from the last hearing was replacing the prior NanaWall/double-glazing approach with a simpler, clearer glazing strategy

Pyemo Nunes, project contractor, responded that the glazing manufacturer can make panels that large, adding that they are expensive and Florida approvals exist.

Mr. Gomez also said the mezzanine ceiling height seemed unusually low for a high-end home, but he accepted it if it meets code and the client understands the tradeoff. Mr. Nunes said the client specifically wanted a cozy space and accepted the height limit as the best possible within overall building height restrictions.

Chair Borges read an email from Neca Logan, 64 Camden Drive, in which she said that, in her opinion, the building effectively has three levels first floor, mezzanine, second floor, and may exceed allowed height once rooflines, rooftop equipment, and elevation above the street are counted. She also questioned whether rooftop equipment should count toward height, and whether the parking and one-car garage make sense for a nine-bedroom house. She said that items like the dock, seawall, and pool were shown as separate contractor work and said she wanted one overall master plan showing the full scope.

Mr. Palacio responded that the code requires at least a one-car garage and the plan provides that, plus room along the side drive for multiple vehicles. He said the mezzanine is an interior intermediate space, not a full extra floor. Ms. Trevarthen clarified that the ARB

is not the zoning board and that full compliance with the Village zoning code and Florida Building Code is required before permits are issued.

5 OTHER BUSINESS

5.1 2026 Meeting Dates

There was a general consensus from the Board to maintain the schedule of meeting the first Thursday of each month and August recess, with the exception of April meeting, which was moved to April 16, 2026.

6 PUBLIC COMMENT

7 ADJOURNMENT - The meeting was adjourned at 2:26 P.M.

Reinaldo Borges, Chair



Attest:

Dwight S. Danie, Village Clerk

BAL HARBOUR

- V I L L A G E -

ARCHITECTURAL REVIEW BOARD MEMORANDUM

TO: Architectural Review Board Members

FROM: Eliezer Palacio, Building Director

DATE: May 7, 2026

SUBJECT: 165 Biscay Dr
New Two-Story Single-Family Residence



BACKGROUND

The Village of Bal Harbour (the "Village") received an Architectural Review Board (ARB) application on November 20, 2026, for the development of a new two-story single-family residence located at 165 Biscay Drive (the "Property").

The lot sits on Lot 21 Block 11, and is located in the R-2, single family zoning district of the Bal Harbour Village Residential Section. The Property is 11,560 square feet and the Applicant is proposing a new two-story residence with 6481 square feet of conditioned interior space 2,246 square feet of unconditioned outdoor areas / garages, for a total square footage of 8,728.

The entrance to the residence faces East and the proposed garage entry does not face the street.

This Property is located in the AE-8 N.G.V.D. Base Flood Elevation Zone and the Applicant is constructing the proposed residence at 9.67' N.G.V.D., which complies with the Florida Building Code (F.B.C.) and ASCE 24 for AE zones.

THE PROJECT (AE Description)

The following is a written document to describe the proposed New Construction to be located on 165 Biscay Dr, Bal Harbour, Fl. 33154.

THE PROPERTY

The Property, identified by Miami-Dade County Folio No. 12-2226-002-2120, consists of an approximately 11,560-square-foot lot measuring 85 feet in width by 136 feet in depth. It is located within the R-2 Single-Family Residential Zoning District. The surrounding neighborhood is characterized by a mix of one- and two-story single-family homes. The adjacent properties to the north (155 Biscay Drive) and south (211 Biscay Drive) are both two-story homes featuring pitched roofs.

DESCRIPTION OF PROPOSED DEVELOPMENT

The Applicant proposes the construction of a new elevated two-story single-family residence totaling approximately 6,481 square feet of air-conditioned space. The home is designed in a contemporary architectural style, incorporating a warm, cohesive material palette including stone, stucco, clear glazing, and select metallic elements.

Thoughtfully designed landscaping will enhance the visual appeal of the property while providing privacy for both the residence and neighboring homes.

The Applicant proposes a home with unique architectural style, while maintaining compatibility with the existing neighborhood. Importantly, the proposed development fully complies with all applicable provisions of the Bal Harbour Code, including requirements related to lot coverage, pervious area, and unit size requirements.

CONCLUSION

Approval of the proposed residence will allow for the development of a thoughtfully designed single-family home that will enhance the overall character and architectural composition of the neighborhood. The contemporary design reflects careful consideration of the existing built environment, including the scale, height, and proportions of adjacent residences. The Applicant has taken deliberate steps to ensure that the proposed development minimizes any potential impacts on neighboring properties. The project fully complies with all applicable regulations and does not require any waivers or variances.

Accordingly, we respectfully request your approval of the proposed design. The application is consistent with the intent and spirit of the land development regulations and will contribute positively to the surrounding community.

RECOMMENDATION

It is the opinion of this writer that the proposed new two-story single-family residence follows the Village's Appearance Code and Zoning Ordinance. The Village Planning and Zoning Consultant and the Parks and Public Spaces Department have reviewed the plans and concur that the plans comply.

I recommend that the Board review the submittal for compliance and if they concur with my recommendation, issue a Certificate of Appropriateness.

If approved, the following conditions should be added to the motion:

1. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.
2. Trees shall be added to meet or exceed the previously approved tree canopy prior to issuance of a Certificate of Occupancy.
3. Compliance with Village Code of Ordinances Section 20-29, regarding obstruction of water meters, and Section 21-358 regarding walls, fences, and landscape plantings.
4. Any new hedge must be planted at least 10' from the edge of the curb.
5. Any new trees must be planted at least 10' from the edge of the curb.

6. All Electrical, Mechanical and Plumbing equipment are required to be 1.0 foot above B.F.E. (Base Flood Elevation) per F.B.C. & A.S.C.E. 24 and cannot infringe upon the building setbacks.
7. Flood Design Data is required to be in accordance to F.B.C., Section 1603.1.7. & A.S.C.E. 24.
8. Architect to provide an Elevation Certificate FEMA Form 086-0-33, for proposed construction that complies with F.B.C. 322 & A.S.C.E. 24.
9. A construction contract and/or detailed estimate of the proposed improvements is required to be submitted to establish proposed construction value.
10. The Project shall comply with Section 21-127, a, b, and c regarding setbacks in the R-2 Zoning District.
11. The Project shall comply with Section 21-125, maximum building height of 30 ft. in the R-2 Zoning District.
12. Zoning and Flood Resistant Design Review information included in this approval and backup report consists only of a preliminary review against the basic intent of the Village's Zoning Code and F.B.C. Chapter 16 requirements. Complete review and compliance with the Village Zoning Code and the F.B.C. shall be required prior to permit approval.
13. If any portion of the landscaping, fence, or any other permitted item will be located within the five-foot easement at the front, rear or side of the property, then prior to the issuance of a required permit or permit revision to the master building permit, the Owner of the Project described herein shall execute "Hold Harmless Agreement" as a condition precedent to permit issuance.
14. If the proposed landscape and hardscape design conflicts with the Village's stormwater infrastructure system, the Architect and Civil Engineer are required to resolve prior to permit issuance. Any revisions required to the hardscape or landscape shall be bought before the ARB, if applicable, or be administratively approved prior to permit.
15. Perimeter landscaping required by the Certificate of Appropriateness must be maintained by the property owner in accordance with the standards of the Code.
16. Applicant to apply for and obtain all required permits from the Building Department before beginning work.
17. Applicant to apply for and obtain all necessary permits and approvals from outside agencies.

18. Pursuant to Village Code 2-75(d)(1-3), the Certificate of Appropriateness expires 18 months after issuance, if a principal building permit is not obtained to develop the property in accordance with the Certificate of Appropriateness.

BAL HARBOUR RESIDENCE

**PROPERTY ADDRESS:
165 BISCAY DR, BAL HARBOUR, FL 33154**

LOT 21, BLOCK 11, IN THE RESIDENTIAL SECTION OF BAL HARBOUR ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 44, AT PAGE 98, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

FOLIO NUMBER: 12-2226-002-2120

THE LOT SITS ON LOT 21, BLOCK 11, AND ITS LOCATED IN THE RESIDENTIAL SECTION OF BAL HARBOUR ZONING DISTRICT OF THE VILLAGE RESIDENTIAL SECTION. THE LOT IS 11,860 SQ.FT AND THE APPLICANT IS PROPOSING A 2-STORY RESIDENTIAL HOME ON THE PROPERTY WITH 6,481.22 SQ.FT OF CONDITIONED INTERIOR SPACE AND 2,246.85 SQ.FT OF UNCONDITIONED OUTDOOR AREAS FOR A TOTAL SQ.FT OF 8,728.07 SQ.FT. THE ENTRANCE TO THE RESIDENCE FACES NORTH AND THE PROPOSED GARAGE ENTRY DOES NOT FACE THE STREET.



20% LANDSCAPING MUST BE FLORIDA FRIENDLY

LIGHT NOTES
LIGHTING AROUND THE HOUSE SHOULD BE IN A LOW VOLUME DIM MODE
LIGHTING SHOULD NOT SPILL INTO ADJACENT NEIGHBORS
LIGHTING SHOULD NOT SPILL INTO THE FRONT STREET
PHOTOMETRIC PLANS WILL BE SUBMITTED TO THE BUILDING DEPARTMENT WITH CONSTRUCTION DOCUMENTS

LOCATION MAP

PROPERTY LOCATION



DRAWING INDEX

SHEET NUMBER	SHEET NAME
ARCHITECTURAL	
CS-0.0	COVER SHEET
A-0.1	NEIGHBORHOOD ANALYSIS - CONTEXT
A-0.2	NEIGHBORHOOD ANALYSIS - CONTEXT
A-0.3	NEIGHBORHOOD ANALYSIS - CONTEXT
A-0.4	NEIGHBORHOOD ANALYSIS - CONTEXT
A-0.5	SURVEY
A-1.0	SITE PLAN / SITE / DATE / NOTES
A-1.1	ZONING DIAGRAMS AND CALCULATIONS
A-2.0	GROUND FLOOR PLAN
A-2.1	SECOND FLOOR PLAN
A-2.2	ROOF PLAN
A-3.0	NORTH & SOUTH ELEVATIONS
A-3.1	NORTH & SOUTH ELEVATIONS - COLORED
A-3.2	EAST & WEST ELEVATIONS
A-3.3	EAST & WEST ELEVATIONS - COLORED
A-4.0	RENDERING
A-4.1	RENDERING - AERIAL VIEW
A-4.2	SECTIONS

APPLICABLE CODE NOTE:
APPLICABLE CODE: FBC 2023 RESIDENTIAL - ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH FBC 2023 RESIDENTIAL (8TH EDITION) AS WELL AS IN COMPLIANCE WITH BAL HARBOUR VILLAGE ORDINANCE No. 2023-650.

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CONSULTANTS:

PROJECT:
165 BISCAY DR,
BAL HARBOUR, FL 33154

FOLIO NUMBER:
12-2226-002-2120

DATE:
PROJECT NO 04/10/26

REVISION

DATE:
DRAFTED BY:
SCALE:

COVER SHEET

ARCHITECT OF RECORD



J. ALFREDO GAMARRAL, NCARE

605 LINCOLN ROAD SUITE 302
MIAMI BEACH, FLORIDA 33139
PH: 305-310-6206

E-MAIL: jag@jag-architecture.com
www.jag-architecture.com

CS-0.0

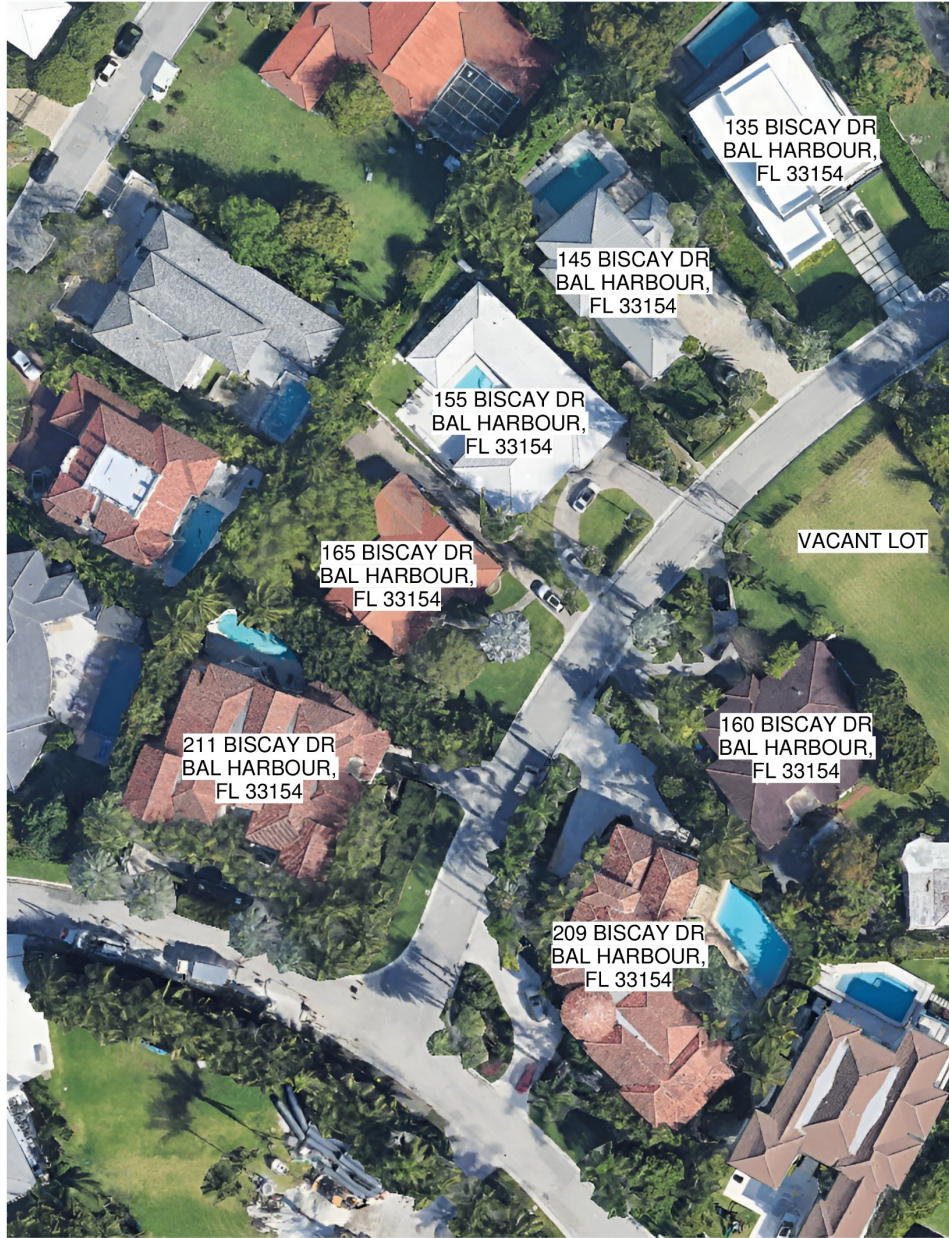
DRAWN BY: F.S



209 BISCAY DR BAL HARBOUR, FL 33154



160 BISCAY DR BAL HARBOUR, FL 33154



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CONSULTANTS:

PROJECT:
165 BISCAY DR,
BAL HARBOUR, FL 33154
FOLIO NUMBER:
12-2226-002-2120

DATE: 04/10/26
PROJECT NO:

REVISION	

DATE:
DRAFTED BY:
SCALE:

NEIGHBORHOOD
ANALYSIS
CONTEXT

ARCHITECT OF RECORD



J. ALFREDO GAMARRARA, NCARE
605 LINCOLN ROAD SUITE 302
MIAMI BEACH, FLORIDA 33139
PH: 305-310-8206
E-MAIL: ag@ag-architecture.com
www.ag-architecture.com

A-0.2

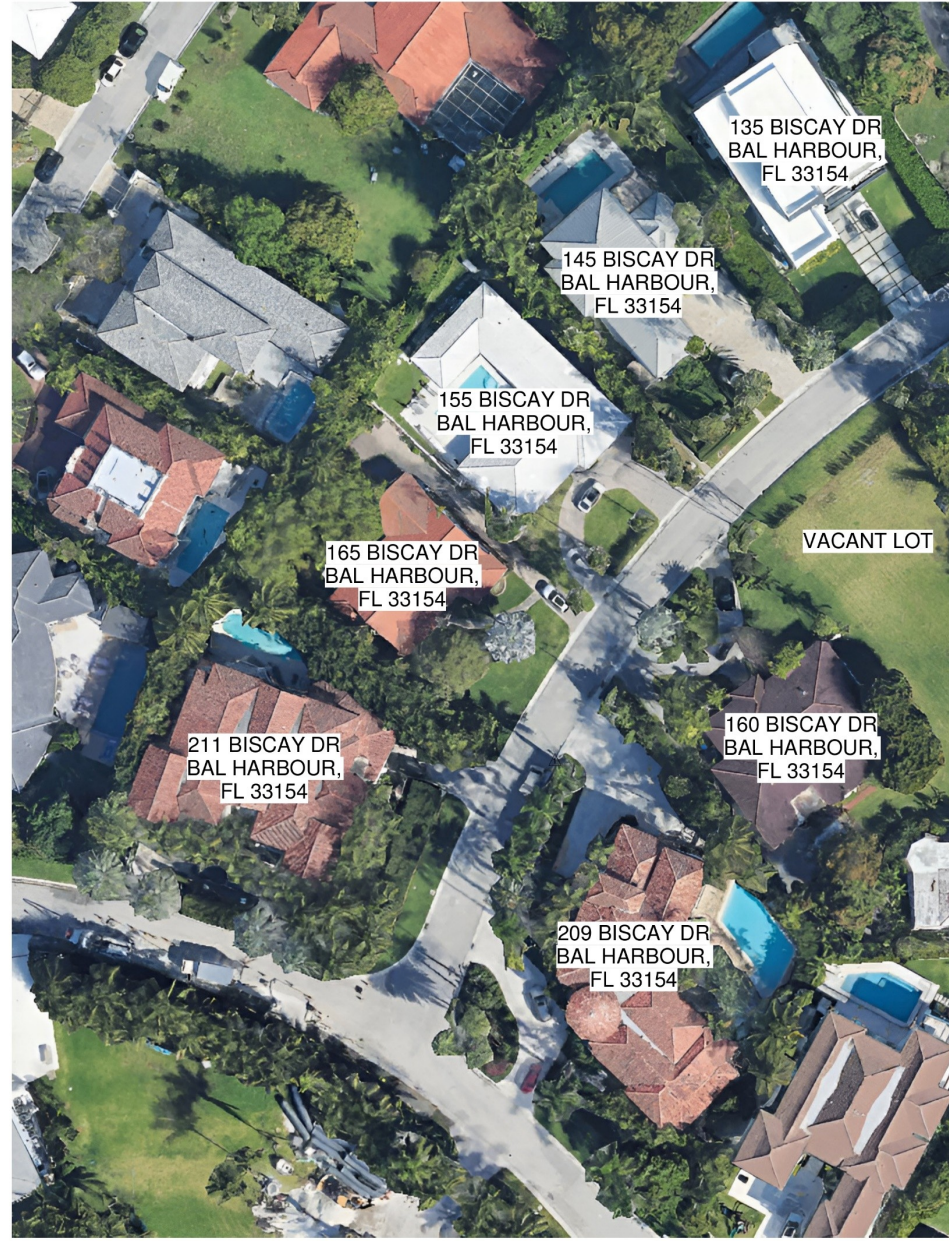
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211 BISCAY DR BAL HARBOUR, FL 33154



VACANT LOT



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CONSULTANTS:

PROJECT:
165 BISCAY DR,
BAL HARBOUR, FL 33154
FOLIO NUMBER:
12-2228-002-2120

DATE: 04/10/26
PROJECT NO:

REVISION	

DATE:
DRAFTED BY:
SCALE:

**NEIGHBORHOOD
ANALYSIS
CONTEXT**

ARCHITECT OF RECORD



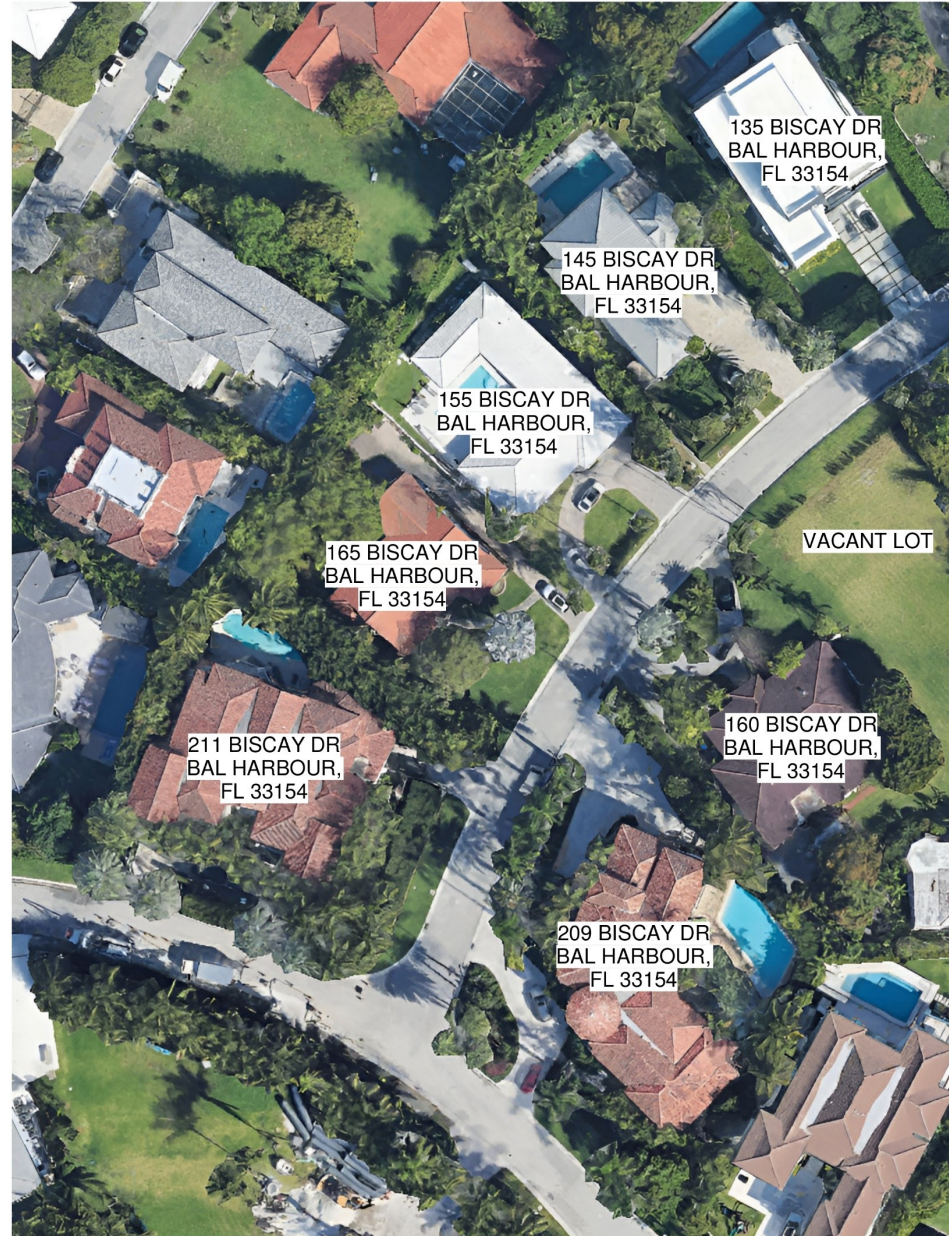
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www.ag-architecture.com

A-0.3

DRAWN BY: F.S



135 BISCAY DR BAL HARBOUR, FL 33154



135 BISCAY DR
BAL HARBOUR,
FL 33154

145 BISCAY DR
BAL HARBOUR,
FL 33154

155 BISCAY DR
BAL HARBOUR,
FL 33154

165 BISCAY DR
BAL HARBOUR,
FL 33154

VACANT LOT

211 BISCAY DR
BAL HARBOUR,
FL 33154

160 BISCAY DR
BAL HARBOUR,
FL 33154

209 BISCAY DR
BAL HARBOUR,
FL 33154

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CONSULTANTS:

PROJECT:
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BAL HARBOUR, FL 33154
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12-2228-002-2120

DATE: 04/10/26
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REVISION	

DATE:
DRAFTED BY:
SCALE:

NEIGHBORHOOD
ANALYSIS
CONTEXT

ARCHITECT OF RECORD



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A-0.4

DRAWN BY: F.S

TERMITE PROTECTION NOTE:
 TERMITE PROTECTION SHALL BE PROVIDED BY FLORIDA REGISTERED TERMITICIDES OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION AS PER SECTION FBCR 318

DRAINAGE NOTE:
 ALL DRAINAGE SHALL BE CONTAINED ON PROPERTY AND SHALL NOT DRAIN ONTO NEIGHBORING PROPERTY.
 SLOPE GRADE AWAY FROM PROPERTY LINES
 SLOPE GRADE AWAY FROM NEW CONSTRUCTION.

SURVEYOR NOTES:
 CONTRACTOR SHALL FIELD VERIFY, PRIOR TO CONSTRUCTION, THAT ALL SETBACKS ARE MET PER SITE PLAN AND THAT RESIDENCE AND ITS AMENITIES SET ON SITE EXACTLY AS PER THIS SITE PLAN. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCH. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 UPON PLACEMENT OF THE LOWEST FLOOR AND PRIOR TO FURTHER VERTICAL CONSTRUCTION, AN ELEVATION CERTIFICATE SHALL BE SUBMITTED AS PER FBC 2020 SECTION 110.3. A FINAL ELEVATION CERTIFICATE FOR FINISHED CONSTRUCTION MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF C.O., T.C.O. OR BUILDING FINAL INSPECTION.

NOTES:
 ENCLOSED AREAS BELOW THE DESIGN FLOOD ELEVATION OR, THE LOWEST FLOOR ELEVATION WHICHEVER IS HIGHER SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS OR STORAGE AS PER (ASCE 24-14 4.6.2) - FBCR SECT. R322.2.2 - R322.3.6.
 PLANS WILL COMPLY WITH ASCE 24 SECTIONS 7.2 ELECTRICAL, 7.3 PLUMBING, 7.4 MECHANICAL, 7.5 ELEVATORS, 8.0 BUILDING ACCESS

FLOOD ELEVATION NOTE:
 DESIGN FLOOD ELEVATION = BFE + 1.00' (9.67' N.G.V.D) FBCB 107.2.6.1
 ALL UTILITIES AND EQUIPMENTS AND ACCESSORIES - ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS: HEATING, VENTILATION, AIR CONDITIONING, PLUMBING APPLIANCES AND PLUMBING FIXTURES, DUCT SYSTEMS; AND OTHER SERVICE EQUIPMENT (WATER HEATERS, GENERATORS, ELECTRICAL PANELS, ETC.) SERVICING THE BUILDING SHALL BE ELEVATED AND INSTALLED ABOVE DESIGN FLOOD ELEVATION (+9.67' N.G.V.D) AS PER (ASCE 24-14 CH. 7.0) - FBCR 322.1.6 - FBCR 322.1.7 CMB ORD. CH 54-48.1.
 ALL CONSTRUCTION AND FINISH MATERIAL BELOW DESIGN FLOOD ELEVATION OR THE LOWEST FLOOR ELEVATION WHICHEVER IS HIGHER SHALL BE FLOOD-DAMAGE RESISTANT MATERIAL, AS PER (ASCE 24-14 CH. 5.0) - FBCR SECT. R322.1.8 - CMB ORD. CH 54-47.
 BUILDINGS AND STRUCTURES IN FLOOD HAZARD AREAS SHALL HAVE THE LOWEST HABITABLE SPACE FLOORS ELEVATED TO OR ABOVE DFE. FBCR 322.2.1

PERMIT NOTES:
EXTERIOR DOOR: NOA No. 25-0624.09
WINDOWS: NOA No. 23-0714.17
SLIDING DOORS: NOA No. 23-1222.07
RAILINGS: NOA No. 23-0710.26
ROOFING, OVERHANGS AND BALCONIES: NOA No. 23-1130.05
WALL CLADDING PANELS: NOA No. 23-0900.05
 EXTERIOR CLADDING, FENCES, DRIVEWAYS, ELEVATORS, ROOFINGS, GENERATOR, HORIZONTAL ROLLING GATES, GARAGE DOORS, CURTAIN WALLS, WATER INFILTRATION, AS PER FBC 1706.5.1 FOR EXTERIOR DOORS & WINDOWS ARE UNDER SEPARATE PERMIT AND NOAS WILL BE PROVIDED AT THE MOMENT OF SUBMISSION.

LEGAL DESCRIPTION
 LOT 21, BLOCK 11, IN THE RESIDENTIAL SECTION OF BAL HARBOUR, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 44, AT PAGE 98, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
 FOLIO NUMBER: 12-2228-002-2120
PROJECT DATA
 SCOPE OF WORK: NEW 2-STORY, CBS, SINGLE FAMILY RESIDENCE
 ZONING: R-2 CONSTRUCTION TYPE: TYPE V-B
 OCCUPANCY: SINGLE FAMILY RESIDENCE FLOOD DESIGN CLASS: TYPE II
 GRADE (SIDEWALK ELEVATION): +4.76' N.G.V.D.

EXISTING ZONING DISTRICT: R-2 SINGLE FAMILY
 FUTURE LAND USE DESIGNATION: RESIDENTIAL LOW DENSITY

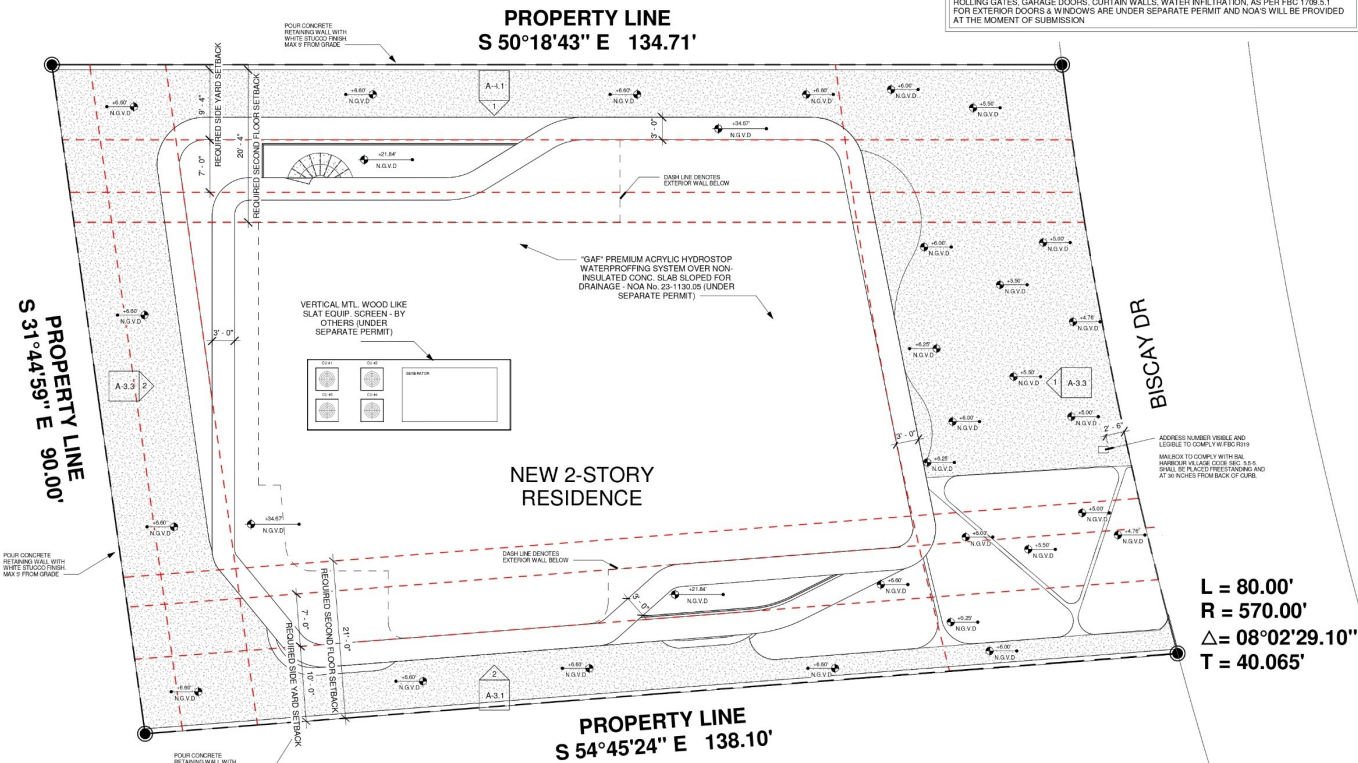
ZONING DATA	ZONING CODE	R-2
DESIGN FLOOD ELEVATION (DFE-1)	REQUIRED/ALOWED	PROPOSED
	+9.67' N.G.V.D.	+9.67' N.G.V.D.
BASE FLOOD ELEVATION (FEMA) (FLOOD ZONE - AE)	-8.00' N.G.V.D.	+8.00' N.G.V.D.
GRADE:	+4.76' N.G.V.D.	+4.76' N.G.V.D.
LOT AREA:	NA	11,560 SQ. FT(0.26 ACRES)
LOT DEPTH:	NA	136'-0"
MINIMUM LOT WIDTH:	NA	85'-0"
MIN. SETBACKS:		
GROUND FRONT	30'-0"	30'-0"
REAR	15'-0"	15'-0"
SIDE 1	10'-0"	10'-0"
SIDE 2	10'-0"	10'-0"
SECOND FLOOR FRONT	30'-0"	30'-0"
REAR	15'-0"	22'-0"
(INCREASED 1'-1" ABOVE 18" 1/3 ALLOWABLE)		
SIDE 1	17'-0"	17'-0"
(INCREASED 1'-1" ABOVE 18" 1/3 ALLOWABLE)		
SIDE 2	17'-0"	17'-0"
(INCREASED 1'-1" ABOVE 18" 1/3 ALLOWABLE)		
MAXIMUM BUILDING HEIGHT: (FROM FEMA BFE+1' FBC)	30'-0"	25'-0"
	(2 STORY HOME)	(2 STORY HOME)
MAX. LOT COVERAGE SF AND % OF BUILDING AND STRUCTURES:	4,824.00 SQ.FT (40.0%)	4,570.17 SQ.FT (39.53%)
ACCESSORY QUARTERS:	346.80 SQ.FT (3.0%)	310.41 SQ.FT (2.69%)
MAX. LOT COVERAGE SF AND % OF DRIVEWAYS, WALKWAYS, DECKS:	1,156 SQ.FT (10.0%)	874.43 SQ.FT (7.56%)
MIN. FLOOR AREA:	1,800 SQ.FT (15.77%)	4,570.17 SQ.FT (39.53%)
MIN. PERVIOUS AREA:	5,780.00 SQ. FT. (50.0%)	5,804.99 SQ. FT. (50.22%)
MAX. IMPERVIOUS AREA:	5,780.00 SQ. FT. (50.0%)	5,755.01 SQ. FT. (49.78%)
PARKING SPACE:	2 PARKING SPACES	2 PARKING SPACES

FLOOD MANAGEMENT DATA

A	FLOOD ZONE:	AE
B	BASE FLOOD ELEVATION:	-8.00' N.G.V.D.
C	DESIGN FLOOD ELEVATION:	+9.67' N.G.V.D.
D	TOP OF BOTTOM FLOOR: (INC. BASEMENT OR ENCLOSURE FLOOR)	-8.00' N.G.V.D.
E	TOP OF THE NEXT HIGHER FLOOR	+22.17' N.G.V.D.
F	BOTTOM OF THE LOWEST HORIZONTAL STRUCTURAL MEMBER (V ZONES ONLY)	N/A
G	ATTACHED GARAGE (TOP OF SLAB)	+6.67' N.G.V.D.
H	LOWEST ELEVATION OF MACHINERY OR EQUIPMENT SERVICING THE BUILDING (DESCRIBE TYPE OF EQUIPMENT AND LOCATION IN COMMENTS)	+9.67' N.G.V.D.
I	LOWEST ADJACENT (FINISHED) GRADE NEXT TO BUILDING (LAG)	-3.94' N.G.V.D.
J	HIGHEST ADJACENT (FINISHED) GRADE NEXT TO BUILDING (HAG)	+4.48' N.G.V.D.
K	CROWN OF ROAD ELEVATION:	+4.75' N.G.V.D.
L	FIRM MAP NUMBER:	12086C0144L



AERIAL VIEW 165 BISCAY DR, BAY HARBOR, FL 33154 - 1327



L = 80.00'
R = 570.00'
Δ = 08°02'29.10"
T = 40.065'

1 SITE PLAN 1/8" = 1'-0"

APPLICABLE CODE NOTE:
 APPLICABLE CODE: FBC 2020 RESIDENTIAL - ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH FBC 2020 RESIDENTIAL (8TH EDITION), AS WELL AS IN COMPLIANCE WITH BAL HARBOUR VILLAGE ORDINANCE No. 2023-653.

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CONSULTANTS:

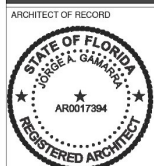
PROJECT: 165 BISCAY DR, BAL HARBOUR, FL 33154
FOLIO NUMBER: 12-2228-002-2120
DATE: 04/10/26
PROJECT NO:

REVISION

NO.	DESCRIPTION

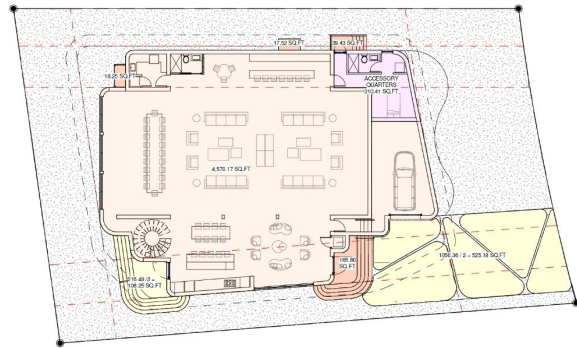
DATE: 04/10/26
DRAFTED BY:
SCALE:

SITE PLAN / SITE DATA / NOTES



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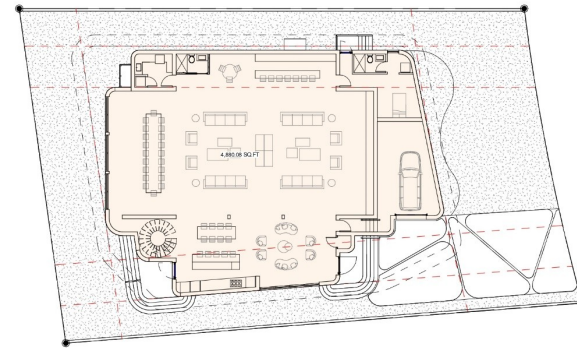
A-1.0
 DRAWN BY: F.S



1 BUILDING COVERAGE
1/16" = 1'-0"

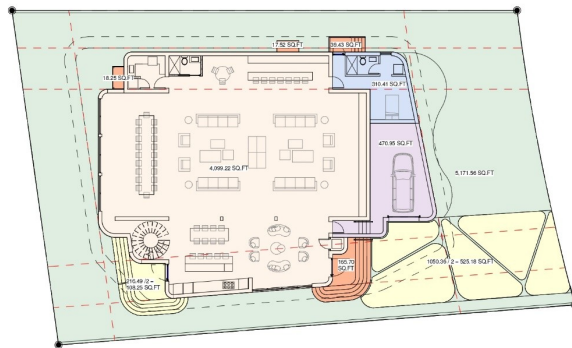
LOT COVERAGE

TOTAL LOT AREA	= 11,560 SQ.FT (100.0%)
REQUIRED	
MAX. LOT COVERAGE SF AND % OF BUILDING AND STRUCTURES	= 4,624 SQ.FT (40.0%)
ACCESSORY QUARTERS	= 346.80 SQ.FT (3.0%)
MAX. LOT COVERAGE SF AND % OF DRIVEWAYS, WALKWAYS, DECKS	= 1,156 SQ.FT (10.0%)
PROPOSED	
MAX. LOT COVERAGE SF AND % OF BUILDING AND STRUCTURES	= 4,570.17 SQ.FT (39.53%)
ACCESSORY QUARTERS	= 310.41 SQ.FT (2.69%)
MAX. LOT COVERAGE SF AND % OF DRIVEWAYS, WALKWAYS, DECKS:	
DRIVEWAY - PERVIOUS PAVERS (50.0%)	= 525.18 SQ.FT
REAR STEPS - PERVIOUS PAVERS(50.0%)	= 108.25 SQ.FT
CONCRETE ENTRY STEPS	= 241 SQ.FT
TOTAL	= 874.43 SQ.FT (7.56%)



3 GROUND FLOOR AREA
1/16" = 1'-0"

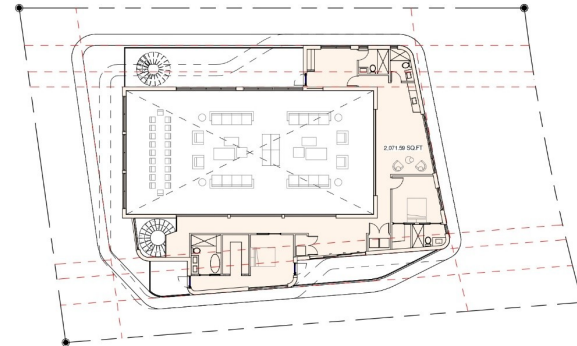
GROUND FLOOR AREA
GROUND FLOOR = 4,880.08 SQ.FT



2 SITE - PERVIOUS/ IMPERVIOUS CALCULATIONS
1/16" = 1'-0"

LOT COVERAGE

TOTAL LOT AREA	= 11,560 SQ.FT (100.0%)
REQUIRED PERVIOUS AREA (50.0% MIN. OF TOTAL LOT AREA)	= 5,780 SQ.FT (50.0%)
ACCESSORY QUARTERS	= 346.80 SQ.FT (3.0%)
PROPOSED PERVIOUS AREA	
LANDSCAPE AREAS	= 5,171.56 SQ.FT
DRIVEWAY - PERVIOUS PAVERS (50.0%)	= 525.18 SQ.FT
REAR STEPS - PERVIOUS PAVERS(50.0%)	= 108.25 SQ.FT
TOTAL PERVIOUS AREA	= 5,804.99 SQ.FT (50.22%)
PROPOSED IMPERVIOUS AREA	
BUILDING AREA UNDER AC GARAGE	= 4,409.63 SQ.FT
DRIVEWAY - PERVIOUS PAVERS (50.0%)	= 525.18 SQ.FT
REAR STEPS - PERVIOUS PAVERS(50.0%)	= 108.25 SQ.FT
CONCRETE ENTRY STEPS	= 241 SQ.FT
TOTAL IMPERVIOUS AREA	= 5,755.01 SQ.FT (49.78%)



4 SECOND FLOOR AREA
1/16" = 1'-0"

SECOND FLOOR AREA
SECOND FLOOR = 2,071.59 SQ.FT

APPLICABLE CODE NOTE:
APPLICABLE CODE: FBC 2023 RESIDENTIAL - ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH FBC 2023 RESIDENTIAL (8TH EDITION) AS WELL AS IN COMPLIANCE WITH BAL HARBOUR VILLAGE ORDINANCE No. 2023-655.

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CONSULTANTS:

PROJECT:
185 BISCAY DR.
BAL HARBOUR, FL 33154
FOLIO NUMBER:
12-2226-002-2120

DATE: 04/10/26
PROJECT NO:

REVISION

DATE:
DRAFTED BY:
SCALE:

ZONING DIAGRAMS & CALCULATIONS

ARCHITECT OF RECORD



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A-1.1

DRAWN BY: F.S

TYPICAL BATH NOTES:

- ALL GLAZING IN BATHROOMS TO BE CATEGORY II SAFETY GLASS AS PER FBC R306.4
- PROVIDE MIN. 22" CLEAR WIDTH SHOWER DOORS AS PER R2708.1.1 AT ALL SHOWER LOCATIONS
- ALL SHOWERS TO COMPLY W/ SHOWER PAN DETAIL ON SHT. A-5.1
- ALL BATHROOM FIXTURES SHALL BE INSTALLED AS PER FBC FIGURE R307.1 A WELL AS FBC P2705.1
- PROVIDE CEMENT BOARD IN LIEU OF GYPSUM WALL BOARD AT ALL PARTITIONS LOCATED IN WET AREAS AS PER FBC R307
- BATHUBS & SHOWER FLOORS AS WELL AS WALLS ABOVE BATHUBS AND IN SH/D/POWDER COMPARTMENTS SHALL BE FINISHED WITH AN NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 6" ABOVE THE FLOOR AS PER FBC R307.2

FLOOD ELEVATION NOTE:

DESIGN FLOOD ELEVATION - BFE +1.00' (0.67' N.G.V.D.) FBCB 107.2.6.1
 ALL UTILITIES AND EQUIPMENTS AND ACCESSORIES - ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS: HEATING, VENTILATION, AIR CONDITIONING, PLUMBING APPLIANCES AND PLUMBING FIXTURES, DUCT SYSTEMS, AND OTHER SERVICE EQUIPMENT WATER HEATERS, GENERATORS, ELECTRICAL PANELS, ETC.) SERVICING THE BUILDING SHALL BE ELEVATED AND INSTALLED ABOVE DESIGN FLOOD ELEVATION (+9.07' N.G.V.D.) AS PER (ASCE 24-14 CH. 7.3), - FBCR 322.1.6, - FBCR 322.1.7 CMB ORD. CH 64-46.1.
 ALL CONSTRUCTION AND FINISH MATERIAL BELOW DESIGN FLOOD ELEVATION, OR THE LOWEST FLOOR ELEVATION WHICHEVER IS HIGHER SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL, AS PER (ASCE 24-14 CH. 5.0) - FBCR SECT. R302.1.8 - CMB ORD. CH 64-47.
 BUILDINGS AND STRUCTURES IN FLOOD HAZARD AREAS SHALL HAVE THE LOWEST HABITABLE SPACE FLOORS ELEVATED TO OR ABOVE DFE, FBCR 322.2.1

TERMITE PROTECTION NOTE:

TERMITE PROTECTION SHALL BE PROVIDED BY FLORIDA REGISTERED TERMICIDES OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION AS PER SECTION FBCR 318

NOTES:

ENCLOSED AREAS BELOW THE DESIGN FLOOD ELEVATION OR, THE LOWEST FLOOR ELEVATION WHICHEVER IS HIGHER SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS OR STORAGE AS PER (ASCE 24-14 CH. 6.2) - FBCR SECT. R302.2.2, - FBCR 318.6
 PLANS WILL COMPLY WITH ASCE 24 SECTIONS 7.2 ELECTRICAL, 7.3 PLUMBING, 7.4 MECHANICAL, 7.5 ELEVATORS, & 6.0 BUILDING ACCESS

FLOOD VENT NOTES:

- BOTTOM OF FLOOD VENTS TO BE MAXIMUM 12" ABOVE ADJACENT GRADE
- FLOOD OPENINGS SHALL NOT BE LESS THAN 3" IN ANY DIRECTION IN THE PLANE OF WALL
- FLOOD OPENING COVERS SHALL ALLOW THE AUTOMATIC FLOW OF FLOOD WATERS INTO AND OUT OF THE ENCLOSED AREA

PAVING NOTE:

ALL AREAS USED FOR PAVING AND MANUEVERING OF VEHICLES, INCLUDING ALL ACCESS DRIVEWAYS, SHALL BE PAVED WITH A DUSTLESS, ALL WEATHER SURFACING MATERIAL, CAPABLE OF CARRYING A WHEEL LOAD OF 4,000 POUNDS PER SQ. FT.

DOOR NOTES:

FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOORS, LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 1-1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. THRESHOLDS SHOULD NOT BE HIGHER THAN 1-1/2 INCHES ABOVE INTERIOR FLOOR LEVEL AS PER FBCR 311.3.1
 FLOOR ELEVATIONS FOR OTHER EXTERIOR DOORS, DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 7-3/4 INCHES BELOW THE TOP OF THE THRESHOLD AS PER FBCR 311.3.2
 EXTERIOR DOORS WILL COMPLY WITH F.B.C. 1709.5.1 WATER FILTRATION.

FLOOD VENT CALCULATIONS:

FL# FL882-R2
 TOTAL GARAGE AREA = 407.95 SQ. FT
 FLOOD VENT REQUIRED = 407.95 SQ. INCHES OR
 = 2.83 SQ. FT
 ENGINEERED FLOOD VENTS @ BLOCK WALL SMARTVENT MODEL #1540-510" = 200 SQ. INCHES EA. (1.99 SQ. FT) 200 SQ. IN. (1.99 SQ. FT) X 3 VENTS = 600 SQ. INCHES (4.17 SQ. FT)

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PROJECT: 165 BISCAIY DR. BAL HARBOUR, FL 33154
 FOLIO NUMBER: 12-2226-002-2120

DATE: 04/10/26
 PROJECT NO:

REVISION

DATE: 04/10/26
 DRAFTED BY:
 SCALE:

GROUND FLOOR PLAN

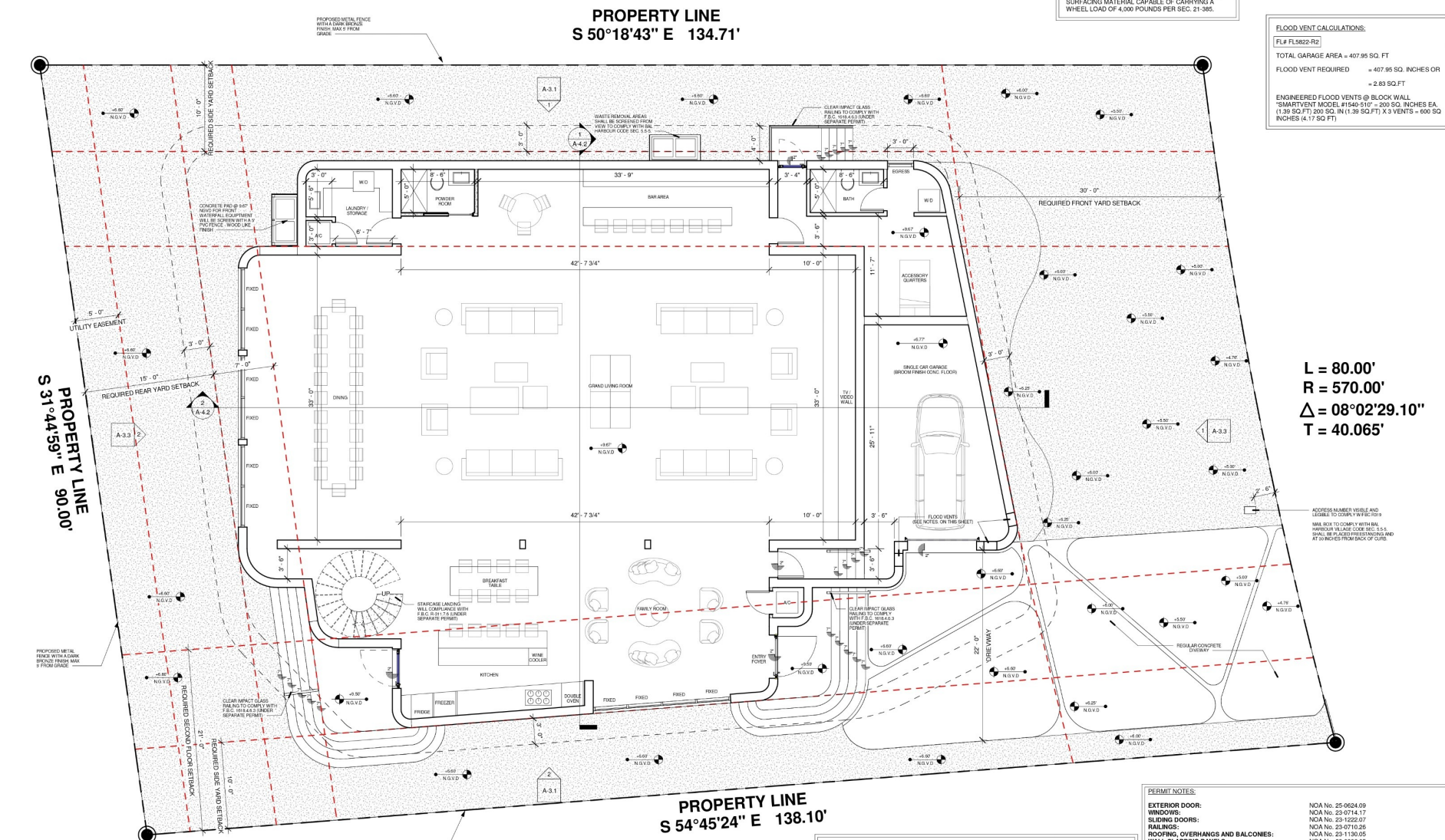
ARCHITECT OF RECORD



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A-2.0

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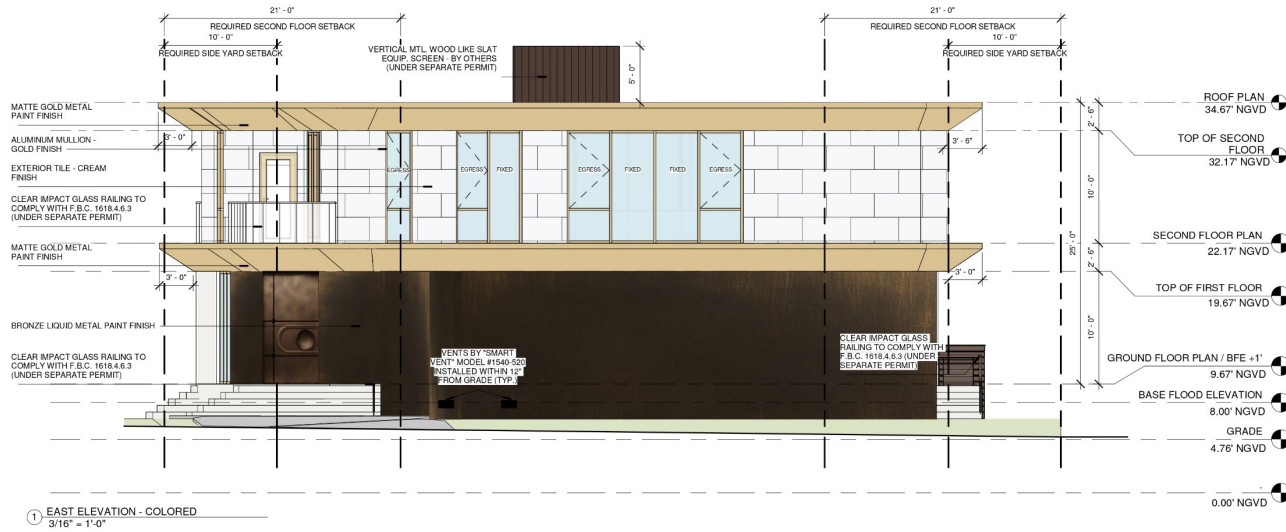


1 GROUND FLOOR PLAN / BFE 4'-1"
 3/16" = 1'-0"

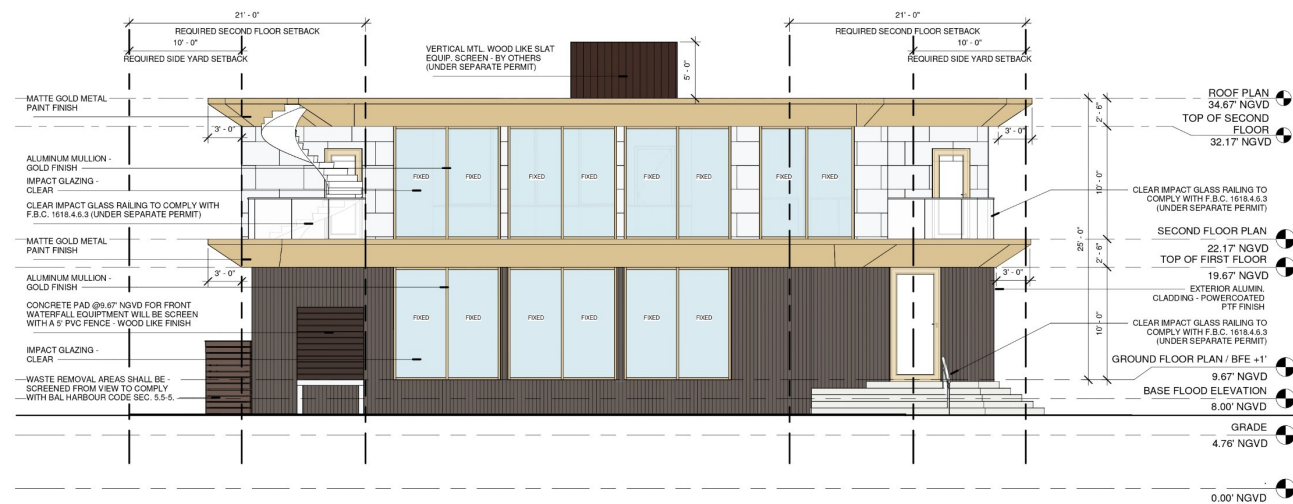
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PERMIT NOTES:

- EXTERIOR DOOR: NOA No. 25-0624.09
 - WINDOWS: NOA No. 25-0714.17
 - SLIDING DOORS: NOA No. 23-1222.07
 - RAILINGS: NOA No. 25-0710.26
 - ROOFING, OVERHANGS AND BALCONIES: NOA No. 23-1130.05
 - WALL CLADDING PANELS: NOA No. 23-0906.05
- EXTERIOR CLADDING, FENCES, DRIVEWAYS, ELEVATORS, ROOFINGS, GENERATOR, HORIZONTAL ROLLING GATES, GARAGE DOORS, CURTAIN WALLS, WATER INFILTRATION AS PER FBC 1709.5.1 FOR EXTERIOR DOORS & WINDOWS ARE UNDER SEPARATE PERMIT AND NOAS WILL BE PROVIDED AT THE MOMENT OF SUBMISSION



1 EAST ELEVATION - COLORED
3/16" = 1'-0"



2 WEST ELEVATION - COLORED
3/16" = 1'-0"

PERMIT NOTES:
EXTERIOR DOOR: NOA No. 25-0524.09
WINDOWS: NOA No. 23-0714.17
SLIDING DOORS: NOA No. 23-1222.07
RAILINGS: NOA No. 23-0710.26
ROOFING, OVERHANGS AND BALCONIES: NOA No. 23-1130.05
WALL CLADDING PANELS: NOA No. 23-0906.05
 EXTERIOR CLADDNG, FENCES, DRIVEWAYS, ELEVATORS, ROOFINGS, GENERATOR, HORIZONTAL ROLLING GATES, GARAGE DOORS, CURTAIN WALLS, WATER INFILTRATION, AS PER FBC 1709.5.1 FOR EXTERIOR DOORS & WINDOWS ARE UNDER SEPARATE PERMIT AND NOA'S WILL BE PROVIDED AT THE MOMENT OF SUBMISSION

APPLICABLE CODE NOTE:
 APPLICABLE CODE: FBC 2023 RESIDENTIAL - ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH FBC 2023 RESIDENTIAL (6TH EDITION) AS WELL AS IN COMPLIANCE WITH BAL HARBOUR VILLAGE ORDINANCE No. 2023-653.

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CONSULTANTS:

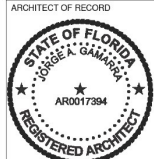
PROJECT:
 165 BISCAVY DR.
 BAL HARBOUR, FL 33154
FOLIO NUMBER:
 12-2226-002-2120

DATE: 04/10/26
PROJECT NO:

REVISION	

DATE:
DRAFTED BY:
SCALE:

EAST WEST ELEVATIONS - COLORED



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A-3.3

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CONSULTANTS:

PROJECT:
165 BISCAIY DR.
BAL HARBOUR, FL 33154
FOLIO NUMBER:
12-2228-002-2120

DATE: 04/10/26
PROJECT NO:

REVISION

DATE:
DRAFTED BY:
SCALE:

RENDERING -
ARIAL VIEW

ARCHITECT OF RECORD

















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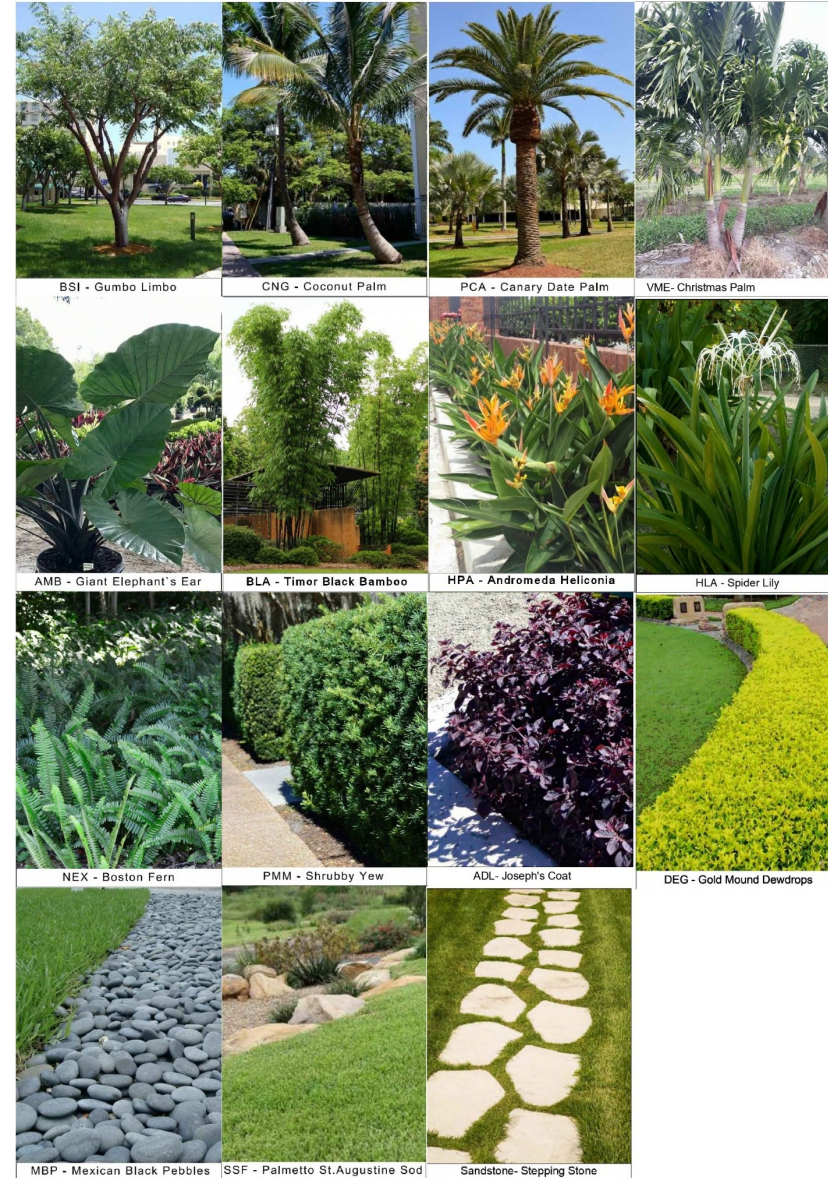
A-4.1

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APPLICABLE CODE NOTE:
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PLANT SCHEDULE GROUND FLOOR

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	DBH	HGT	SRD	REMARKS
TREES									
	BSI	4	Bursera simaruba	Gumbo Limbo	65 gal	4"-6"	14'-18' OA	6'-8'	Florida Native - Miami-Dade Landscape Manual - Drought Tolerant
PALM TREES									
	CNG	4	Coccothrinax 'Green Malayan'	Coconut Palm	FG/BB	14"	24' GW	20'	Miami-Dade Landscape Manual - Drought Tolerant
	PCA	3	Phoenix canariensis	Canary Island Date Palm	B & B	20"	14' CT	16'	Miami-Dade Landscape Manual
	VME	1	Veitchia merrillii	Christmas Palm	25 gal.		10' OA	10'	Double Trunk
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	WIDTH	REMARKS	
SHRUBS									
	AMB	4	Alocasia macrorrhiza 'Black Stem'	Giant Elephant's Ear	3 gal.	2.5'	2'		
	BLA	2	Bambusa lako	Timor Black Bamboo	15 gal	12'-14' OA	6'	Heavy	
	HPA	11	Heliconia psittacorum 'Andromeda'	Heliconia psittacorum 'Andromeda'	3 gal	2'	2'		
	HLA	12	Hymenocallis latifolia	Spider Lily	3 gal	2'	2'		
	NEX	25	Neprolepis exaltata	Boston Fern	7 gal.	1.5'	2'	Florida Native - Miami-Dade Landscape Manual - Florida-Friendly Landscaping Guide	
	PMM	71	Podocarpus macrophyllus 'Maik'	Shrubby Yew	15 gal	6' OA	2'		
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HGT	WIDTH	SPACING	REMARKS
SHRUB AREAS									
	ADL	38	Altemanthera dentata 'Little Ruby'	Joseph's Coat	3 gal.	1.5' OA	1.5'	18" o.c.	
	DEG	124	Duranta erecta 'Gold Mound'	Golden Dewdrop	3 gal.	1.5' OA	1.5'	18" o.c.	Drought Tolerant
AGGREGATES									
	MBP	135 sf	Mexican Black Pebbles	Black Pebbles	S.F.				
SOD/SEED									
	SSP	3,100 sf	Stenotaphrum secundatum 'Palmetto'	Palmetto St. Augustine Grass	Sod				Shade tolerant



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CONSULTANTS

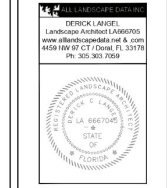
PROJECT:
165 BISCAY DR,
BAL HARBOUR, FL 33154
DESIGN DEVELOPMENT
FOLIO
2-2226-002-2120

DATE:
PROJECT NO

REVISION

DATE:
DRAFTED BY:
SCALE:

Sunshine
Call 811 or www.sunshine11.com two full business days before digging to have utilities located and marked.
Check positive response results before you dig!



ARCHITECT OF RECORD

LANDSCAPE IMAGES

L-03

DRAWN BY: F.S

NOTES:

- All mechanical equipment including, but not limited to Back Flow Preventor, Pumps, Electric, Phone or Cable Boxes, Lift Stations, Etc. shall be screened on 3 sides from view using an approved hedge, fence or wall.
- All light poles if any shown shall be a minimum of 15' from tree locations.
- The Landscape Architect must be notified when the plant material has been set in place to approve final locations, prior to installation.

GENERAL NOTES

- Landscape Contractor is responsible for verifying locations of all underground and overhead utilities and easements prior to commencing work. All Utility companies and/or the General Contractor shall be notified to verify utility locations prior to digging. Utility trenching is to be coordinated with the Landscape plans prior to beginning of project. The Owner or Landscape Architect shall not be responsible for damage to utility or irrigation lines.
- Landscape Contractor shall examine the site and become familiar with conditions affecting the installation prior to submitting bids. Failure to do so shall not be considered cause for change orders.
- Landscape Contractor is responsible for verifying all plant quantities prior to bidding and within (7) seven calendar days of receipt of these plans shall notify the Landscape Architect in writing of any and all discrepancies. In case of discrepancies planting plans shall take precedence over plant list.
- No substitutions are to be made without prior consent of the Landscape Architect. Plant material supply is the responsibility of the Landscape Contractor, and he/she shall take steps to ensure availability at time of planting.
- All plant material shall meet or exceed the size on the plant list. In all cases meeting the height and the spread specifications shall take precedence over container size.
- All planted areas to be mulched with automatic irrigation system providing 100% coverage and 50% overlap. An air sensor must be part of the irrigation system.
- Landscape Contractor shall be responsible for providing temporary hand watering to all proposed & landscape areas, during construction.
- The Landscape Contractor is responsible for coordinating tree and palm removals and transplants shown on the Tree/Palm Disposition Plan. The Landscape Contractor is to remove and discard from site including unrooted trees, palms, shrubs, groundcovers, sod and weeds within landscape areas.
- All permitting and fees to be the responsibility of the Contractor.

PLANTING NOTES

- Landscape Contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, herbicide, preemergence herbicide, seed, and mulch. Landscape Contractor to provide Landscape Architect with at least 5 days notice prior to tree installation.
- Landscape Contractor shall guarantee all plant material for a period of one year from the day of final acceptance by the Landscape Architect.
- All plant material shall be Florida #1 or better, as defined in the Grades and Standards for Nursery Plants, Part 1 and 11 by the State of Florida Department of Agriculture.
- Landscape Contractor is responsible for scheduling a nursery visit for Landscape Architect to approve all trees, palms and shrubs prior to delivery to the project site.
- Landscape Contractor shall coordinate his work with that of the Irrigation and Landscape Lighting Contractor.
- The Landscape Contractor shall treat planted areas with preemergence herbicide after weeds and grass have been removed. Landscape Contractor shall apply pre emergent herbicide per manufacturer's recommendation, well prior to planting as specified. Planting soil mulch shall be clean and free of construction debris, weeds, rock and noxious pests and disease.
- All soil mix in plant beds for ground covers, shrubs, palms and trees shall be as per details. All other areas shall be dressed with a minimum of 4" topsoil "if required".
- All planting areas and planting jobs shall be tested for sufficient penetration prior to final planting and irrigation installation to ensure proper drainage. Plant beds in parking lots and in areas compacted by heavy equipment shall be de-compacted so that drainage is not impeded.
- All synthetic staking, stiling, corers or wire baskets shall be removed before trees are planted, without breaking the soil ball. All synthetic bags shall be removed from branches and trunks prior to final acceptance. The top 15" of a tree shall be removed, and the tree is well in the planting hole and below the tree is backfilled. Landscape Contractor is to check for root defects including deep planting in the root ball and circling roots, trees with root problems will not be accepted.
- Landscape Contractor is responsible for matching all plant beds and planters with a minimum 3" layer of natural color Eucalyptus or Enviro-mulch immediately after planting. In no case shall Cypress mulch be used.
- All Trees/Palms in sod areas are to receive a 48" diameter mulched saucer at the base of the trunk respectively.
- Landscape Contractor shall guy and stake all trees and palms as per specifications and details. No nails, screws or wiring shall penetrate the outer surface of trees and palms. All guying and staking shall be removed before final planting.
- All palm and tree guy wires and bracing are to be flagged for visibility, for their duration. All unattended and unplanted tree pits shall be properly barricaded and flagged during construction.
- All broken branches and clear trunk branches on street trees are to be pruned according to ANS A - 300 Guidelines for Tree Pruning to min. 5' - 0" height clearance to the base of canopy.
- Landscape Contractor shall fertilize plant material as needed to support optimum healthy plant growth. All fertilization shall be performed in compliance with the latest ANSI A320 (Part 2) Standards.
- Stake all trees and palms for approval by Landscape Architect prior to installation.
- Any sod areas damaged by construction are to be replaced with St. Augustine "Florantam" sod.
- All areas within limits of work not covered by walks, buildings, playground, and/or any other landscape feature shall be sodded with St. Augustine "Florantam" sod.
- St. Augustine "Florantam" - Contractor's responsibility to verify quantity.
- Install root barrier as per manufacturer's recommendation on all large trees that are 6" or greater to any pavement or building, as shown on detail page.
- Root barrier shall be Vespro Inc. or approved equal.

1 GENERAL PLANTING NOTES

SCALE: N.T.S.

-ALL PLANTS SHALL BE MAINTAINED IN A HEALTHY CONDITION AND IN ACCORDANCE WITH THE FOLLOWING:

- WATERING:** PLANTS SHALL BE WATERED IN ACCORDANCE WITH SPECIFICATIONS AS PROVIDED ON THE IRRIGATION PLAN
 - MOWING:** ALL LAWN AREAS SHALL BE MOWED WEEKLY DURING GROWING SEASON AND BI-WEEKLY IN NON-GROWING SEASON.
 - FERTILIZING:** FERTILIZER SHALL BE APPLIED IN THE FALL OR EARLY SPRING, ALTHOUGH IT IS NOT HARMFUL TO APPLY FERTILIZER AT ANY TIME DURING THE YEAR. SEE SPECIFICATIONS FOR TYPES OF FERTILIZER APPLICATION.
- TREES:**
TREES SHALL NOT BE FERTILIZED UNTIL ESTABLISHED AND RECOVERED FROM TRANSPLANTING.

BEGIN FERTILIZATION AFTER THE TREE HAS BEGUN TO PRODUCE NEW SPROUTS; FERTILIZERS SHOULD INCLUDE MICRO-ELEMENTS ALONG WITH NITROGEN, PHOSPHOROUS AND POTASSIUM.

THE QUANTITY USED SHOULD REFLECT THE SIZE AND CONDITION OF THE TREE. TO DETERMINE THE PROPER AMOUNT OF FERTILIZER FIRST MEASURE THE DIAMETER OF THE TREE TRUNK AT A POINT FOUR AND HALF (4 1/2) FEET ABOVE THE GROUND (DBH)

FOR TREES HAVING TRUNKS THAT ARE LESS THAN SIX INCHES (6") IN DIAMETER USE ONE (1) TO TWO (2) POUNDS OF FERTILIZER PER YEAR FOR EACH INCH IN DIAMETER.
FOR TREES HAVING TRUNKS GREATER THAN SIX INCHES (6") IN DIAMETER, USE TWO (2) TO FOUR (4) POUNDS OF FERTILIZER PER YEAR FOR EACH INCH IN DIAMETER.
FERTILIZATION SHALL BE DONE IN THE MONTHS OF MARCH/ JUNE/OCTOBER.

PRUNING:

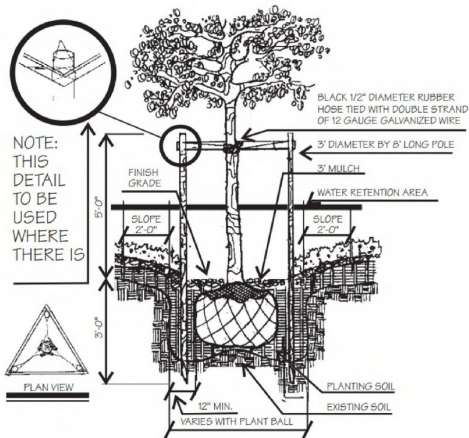
PRUNING OF ALL TREES AND SHRUBS SHALL BE DONE REGULARLY TO CONTROL SHAPE AND FORM AND KEEP BRANCHES FROM DAMAGING SURROUNDING STRUCTURES OR PEOPLE. PRUNING SHALL BE DONE IN WINTER OR EARLY SPRING AND SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE NATIONAL ARBORIST ASSOCIATION.

MULCHING:

ALL PLANTS SHALL BE MULCHED ON A YEARLY BASIS OR AS NEEDED TO MAINTAIN HEALTHY GROWTH AND REDUCE WEED GROWTH.

4 MAINTENANCE PLAN

SCALE: N.T.S.

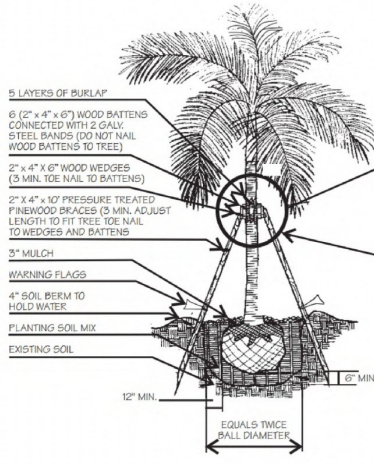


NOTE:
THIS
DETAIL
TO BE
USED
WHERE
THERE IS



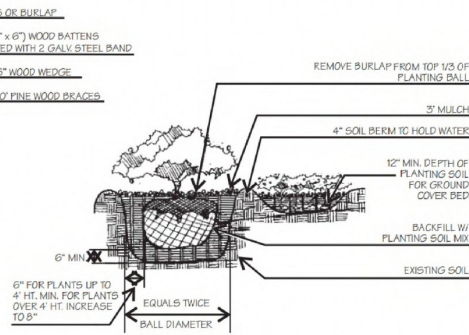
5 TREE PLANTING DETAIL

SCALE: N.T.S.



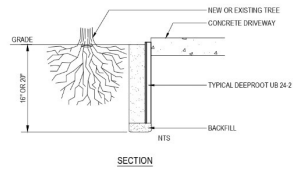
2 PALM PLANTING DETAIL

SCALE: N.T.S.



3 SHRUBS & GROUND COVER PLANTING DETAIL

SCALE: N.T.S.



NOTES:

- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- POINT TO SCALE DRAWINGS.
- THE RAISED ROOT CURING RIBS MUST BE FACING TOWARDS THE TREE ROOTS.
- THE TOP OF THE BARRIER PANELS MUST BE SLIGHTLY ABOVE GRADE (NEVER BELOW GRADE).
- POSITION BARRIER PANELS VERTICALLY WITH TOP AGAINST THE STRUCTURE, TO BE PROTECTED.
- SEE LANDSCAPE SITE PLAN TO DETERMINE TREES THAT REQUIRE BARRIER PANELS.
- CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADetail.com/info REFERENCE NUMBER 02-004.

6 ROOT BARRIER DETAIL

SCALE: N.T.S.

THE INFORMATION AND MATERIAL CONTAINED HEREIN IS THE PROPERTY OF THE DESIGNER. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REPRODUCTION OF THIS MATERIAL WITHOUT THE WRITTEN CONSENT OF THE DESIGNER IS PROHIBITED AND WILL BE CONSIDERED A VIOLATION OF THE DESIGNER'S RIGHTS.

CONSULTANTS

PROJECT:
165 BISCAY DR,
BAL HARBOUR, FL 33154
DESIGN DEVELOPMENT
FOLIO
2-2226-002-2120

DATE: 9/5/25
PROJECT NO:

REVISION	

DATE:
DRAFTED BY:
SCALE:

ShineBright
Call 811 or www.shinebright.com how to get
business before design to have utilities
located and marked.
Check positive response code before you dig!

SHINE BRIGHT ENGINEERS
DERICK LANGRISH
Landscape Architect 1 686 6705
www.shinebright.com or 8
459 1199 07 CT | Doral, FL 33178
PH: 305 363 7509

ARCHITECT OF RECORD

LANDSCAPE NOTES & DETAILS

L-04

DRAWN BY: F.S.

ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF CARLAB, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. APPROVAL AND REVIEW IS NECESSARY TO MAINTAIN COMPLIANCE WITH THE APPLICABLE CODES AND STANDARDS.



CARLAB, INC.
 ENGINEERS AND PLANNERS
 CERTIFICATE OF AUTHORIZATION #419
 4720 W. 25 STREET MIAMI, FL 33145
 TEL: 305-403-1144 FAX: 305-226-6148
 E-MAIL: CARLAB@CARLAB.COM

PROJECT NAME:
NEW 2-STORY SFR AT 165 BISCAY DR., BAL HARBOUR
 165 BISCAY DR. BAL HARBOUR, FL 33154
 FOLIO: 12-2226-002-210

REVISIONS	DATE	BY
1	8/15/24	AM

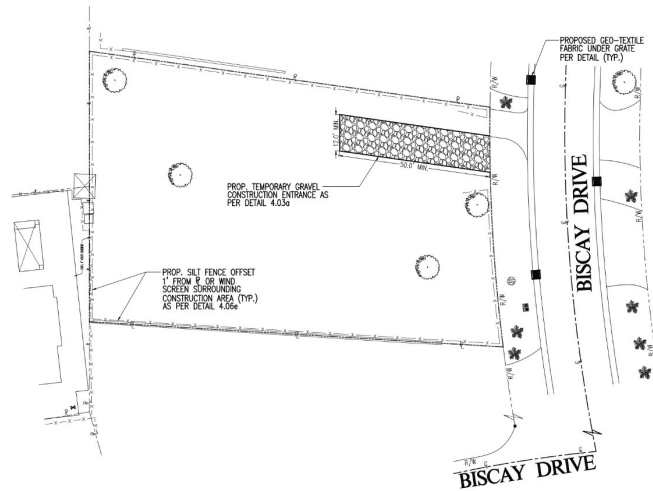
CARLAB INC PROJECT NUMBER
2509-2429

DRAWN	AM
CHECKED	MM
DESIGNED	AM
SCALE	AS SHOWN
DATE	8/15/24/25

DATE: 8/15/24
 BY: SERGIO C. LABISTE P.E. # 61733
 SHEET TITLE:

CIVIL COVER SHEET AND NOTES

SHEET NUMBER
C-1



STORM WATER PREVENTION PRODUCTION PLAN
 SCALE: 1"=20'

Florida Erosion and Sediment Control Inspector's Manual

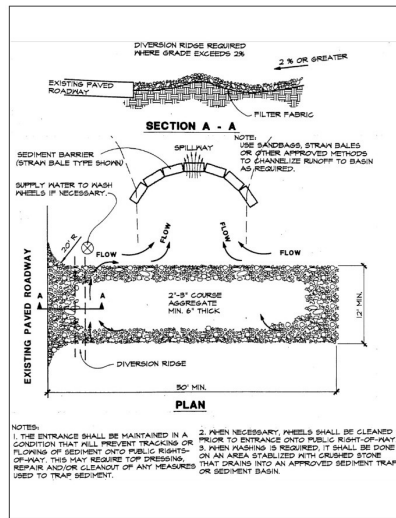


Plate 4.03a Temporary Gravel Construction Entrance
 Source: Erosion Draw

Sunshine811
 Call 811 or visit sunshine811.com two full business days before digging, to have buried facilities located and marked.
 Check positive response codes before you dig!

4-8

ENGINEER'S NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MIAMI-DADE COUNTY PUBLIC WORKS DEPT. ENGINEERING STANDARDS FOR CONSTRUCTION AND APPLICABLE CITY OF BAL HARBOUR VILLAGE STANDARDS AND SPECIFICATIONS.
- ALL SECTIONS INDICATED HEREIN REFER TO THE MIAMI-DADE COUNTY AND CITY OF BAL HARBOUR VILLAGE PUBLIC WORKS MANUAL OF ENGINEERING STANDARD FOR DESIGN AND CONSTRUCTION.
- ALL UNDERGROUND INFORMATION SHALL BE VERIFIED WITH THE DIFFERENT UTILITY COMPANIES BEFORE THE START OF ANY CONSTRUCTION OR EXCAVATION, NEITHER THE ENGINEER OR OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THIS ITEM.
- ALL UNDERGROUND INSTALLATIONS SHALL BE PROTECTED AT ALL TIMES DURING CONSTRUCTION AND EXCAVATION.
- OCTOBER HIGH WATER TABLE (2.0' N.G.V.D.)
- FLOOD CRITERIA 7.52' N.G.V.D.
- ALL ELEVATIONS REFER TO N.G.V.D.
- SHOULD FIELD CONDITIONS CONFLICT WITH THIS PLAN NOTIFY THE ENGINEER IMMEDIATELY.
- FEMA: ZONE "AL" ELEVATION 8.0', COMMUNITY NO. 120636 SUFFIX: L PANEL: 0144 DATED: (09/11/09)
- SURVEY PROVIDED BY CLIENT FROM SURVEY PROS, INC.
- FOLIO # 12-2226-002-210
- SEE LANDSCAPING PLANS FOR REQUIRED PLANTINGS.
- ENGINEER IS NOT RESPONSIBLE FOR ANY AESTHETIC DEFECTS/DEFICIENCIES FROM THE CONSTRUCTION OF PROPOSED DESIGN AND SHALL BE COORDINATED WITH OWNER/DEVELOPER AT TIME OF ACCEPTANCE.
- COM. SEDIMENTATION AND EROSION CONTROL NOTES AS PER SES14. SEE C-2 FOR STANDARD DETAILS.

Chapter 4 - Best Management Practices for Erosion and Sediment Control

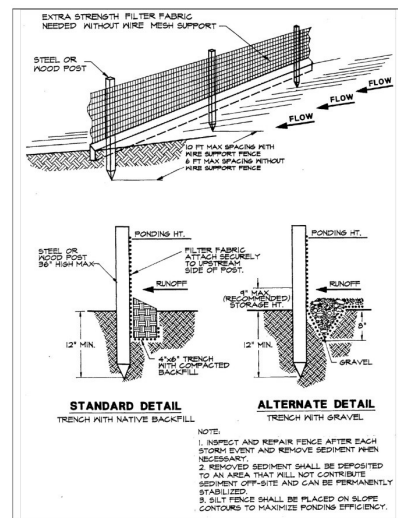


Plate 4.06e Silt Fence
 Source: Erosion Draw

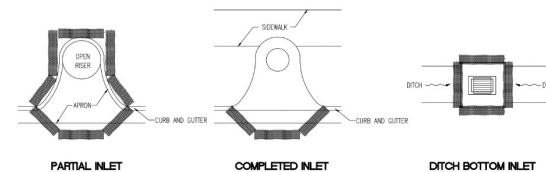
4-9



LOCATION MAP
 SCALE 1" = 300' 526-1525-842E

LEGAL DESCRIPTION

LOT 21, BLOCK 11, OF RESIDENTIAL SECTION OF BAL HARBOUR, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 44, PAGE 88, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
 FOLIO: 12-2226-002-210

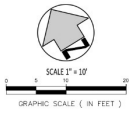
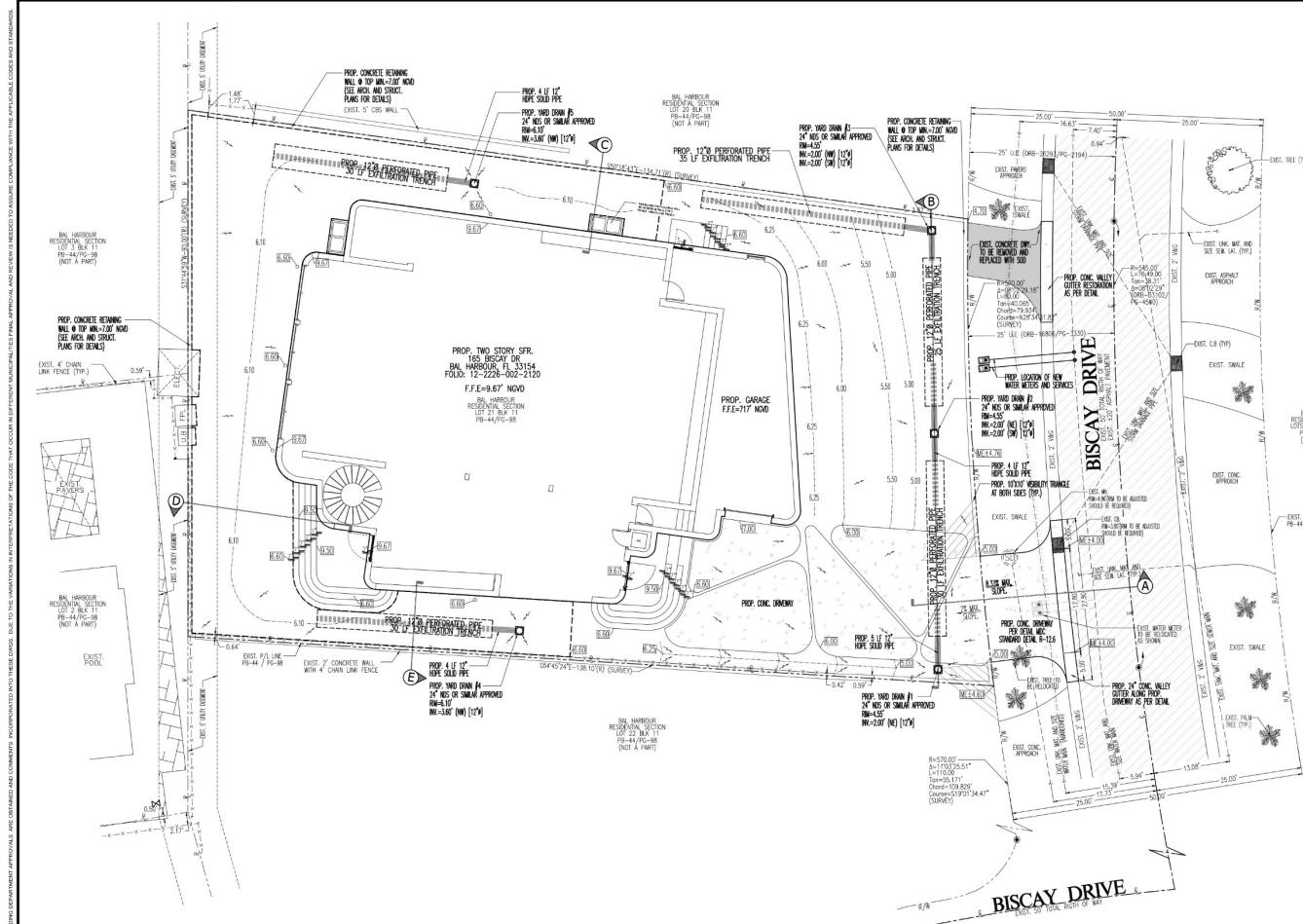


PROTECTION AROUND INLETS OR SIMILAR STRUCTURES

SCALE: NTS

INDEX OF SHEETS

- C-1 CIVIL COVER SHEET AND NOTES
- C-2 PROPOSED GRADING, DRAINAGE PLAN AND SECTIONS
- C-3 STANDARD DETAILS

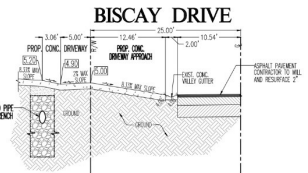


LEGEND

- | | | | |
|---------------------------|-----|--------------------------------|---|
| RIGHT-OF-WAY | --- | EXISTING WATER MANHOLE | ⊕ |
| MONUMENT LINE | --- | EXISTING AT-RAMP MANHOLE | ⊕ |
| PROPERTY LINE | --- | EXISTING TRAFFIC SIGN | ⊕ |
| CENTER LINE | --- | EXISTING TELEPHONE UTILITY | ⊕ |
| BASE LINE | --- | EXISTING TRAFFIC SIGN | ⊕ |
| EDGE OF PAVEMENT | --- | EXISTING ELECTRICAL UTILITY | ⊕ |
| EXISTING OVERHEAD WIRE | --- | EXISTING TRAFFIC SIGN POLE | ⊕ |
| EXISTING CHAIN LINK FENCE | --- | PROPOSED CLEAN-OUT | ⊕ |
| PROPOSED | --- | PROPOSED CORPORATION STOP | ⊕ |
| EXIST. | --- | PROPOSED TEE | ⊕ |
| EXIST. | --- | PROPOSED REDUCER | ⊕ |
| EXIST. | --- | EXIST. FLOW DIRECTION | ⊕ |
| EXIST. | --- | PROPOSED TAPPING SLEEVE | ⊕ |
| EXIST. | --- | PROPOSED BACKFLOW | ⊕ |
| EXIST. | --- | PROPOSED WATER VALVE | ⊕ |
| EXIST. | --- | EXISTING WATER VALVE | ⊕ |
| EXIST. | --- | PROPOSED ELEVATION | ⊕ |
| EXIST. | --- | MATCH EXISTING ELEVATION | ⊕ |
| EXIST. | --- | EXISTING CATCH BASIN | ⊕ |
| EXIST. | --- | PROPOSED CATCH BASIN AND DRAIN | ⊕ |

- NOTES:**
- DAMAGED CURB AND GUTTER SHALL BE RESTORED AT THE PERMITTEE'S EXPENSE WITH FULL FLAGS 4" THICK.
 - RECONSTRUCT SWALE/SOD ALONG THE ENTIRE PROPERTY.
 - PERMITTEE IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND FACILITIES AND ASSUMES RESPONSIBILITY FOR ANY DAMAGE DONE BY THE PERMITTEE TO UNDERGROUND FACILITIES AND ABOVE GROUND FACILITIES.
 - FOR PAVEMENT RESTORATION REFER TO FDOT, MAAM-DADE COUNTY PUBLIC WORKS OR SPECIFIC MUNICIPALITY STANDARDS.
 - NO AS-BUILT INFORMATION AVAILABLE FOR UTILITY UNDERGROUND AT TIME OF DESIGN. CONTRACTOR TO FIELD VERIFY MATERIAL, DEPTH AND EXACT LOCATION OF PIPES AS REQUIRED.

CB #	STRUCT.	RIM ELEV.	STRUCTURE BOTTOM	PIPE SIZE / DIRECTION / INVERT	TRENCH
1	NDS 24" YARD DRAIN (OR SIMILAR APPROVED)	4.55'	0.60'	12" # HOPE / NE / 2.05'	
2	NDS 24" YARD DRAIN (OR SIMILAR APPROVED)	4.55'	0.60'	12" # HOPE / SW/NE / 2.05'	90 LF
3	NDS 24" YARD DRAIN (OR SIMILAR APPROVED)	4.55'	0.60'	12" # HOPE / SW/NE / 2.05'	
4	NDS 24" YARD DRAIN (OR SIMILAR APPROVED)	6.10'	1.10'	12" # HOPE / NW / 3.60'	30 LF
5	NDS 24" YARD DRAIN (OR SIMILAR APPROVED)	6.10'	1.10'	12" # HOPE / NW / 3.60'	30 LF



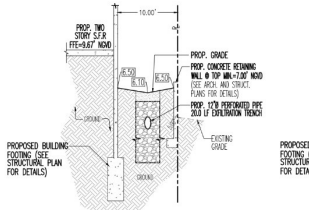
SECTION A

SCALE: N.T.S.

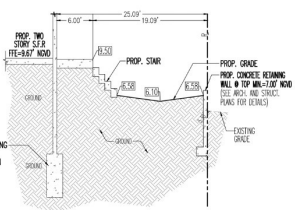
FLOODPLAIN NOTE:
ADEQUATE DRAINAGE SHALL BE PROVIDED, AND SURFACE RUN-OFF WATER SHALL BE DIVERTED TO A STORM COLLECTOR OR OTHER APPROVED POINT OF COLLECTION IN ACCORDANCE WITH FLORIDA BUILDING CODE AND CITY OF BAL HARBOUR CODE ORDINANCES. ALL USE DRAINAGE IS DESIGNED AND SHALL BE CONSTRUCTED IN SUCH A MANNER THAT RUN-OFF RATES, VOLUME AND POLLUTANT LOADS NOT EXCEEDING PREDEVELOPMENT CONDITIONS AND PREVENTING FLOODING OF ADJACENT PROPERTIES AND PUBLIC RIGHT-OF-WAY.

ALL RAINFALL FOR A 25-YEAR 6 HOURS STORM WITH 1.25 SATISFACTION (PMP) IS A MINIMUM DEPTH OF 2.53 INCHES MUST BE RETAINED ON THE PROPERTY, NO DISCHARGE INTO THE ROOF OF ANY OF THE SUBJECT PROPERTY IS ALLOWED.

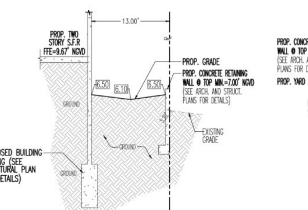
Sunshine811
Call 811 or visit sunshine811.com two full business days before digging, to have buried facilities located and marked.
Check positive response codes before you dig!



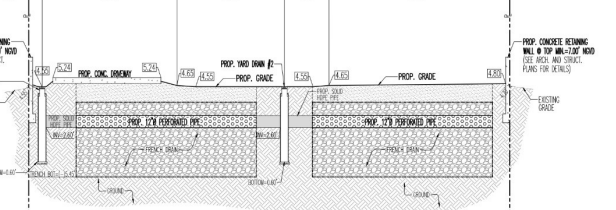
SECTION E
SCALE: N.T.S.



SECTION D
SCALE: N.T.S.



SECTION C
SCALE: N.T.S.



SECTION B
SCALE: N.T.S.

CARLAB, INC.
ENGINEERS AND PLANNERS
CERTIFICATE OF AUTHORIZATION #1419
8750 W. 25 STREET, MIAMI, FL 33195
TEL: 305.480.1144 FAX: 305.226.4548
E-MAIL: S.ALBERT@CARLAB.COM

PROJECT NAME:
NEW 2-STORY SFR AT 165 BISCAVY DR., BAL HARBOUR
165 BISCAVY DR., BAL HARBOUR, FL 33154
FOUC: 12-2226-002-2120

REVISIONS	DATE	BY
1	8/15/24	AM

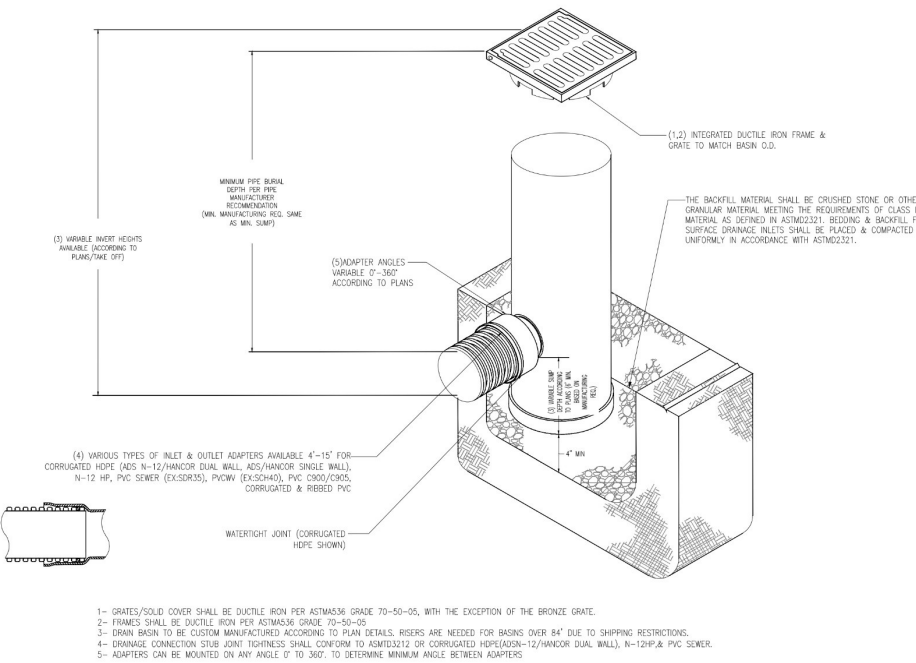
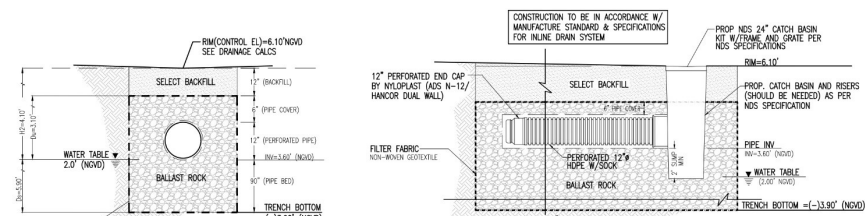
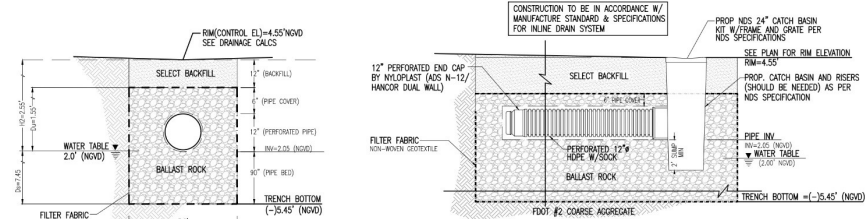
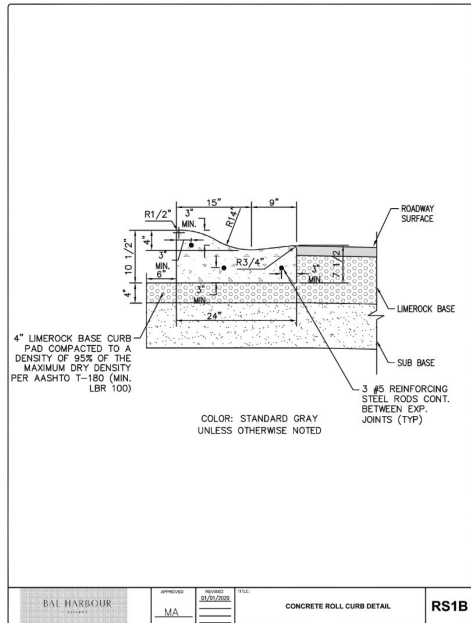
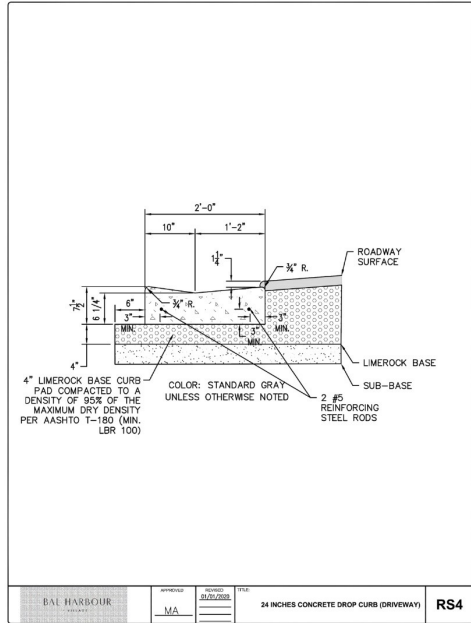
CARLAB INC PROJECT NUMBER
2509-2429

DRAWN	AM
CHECKED	MM
DESIGNED	AM
SCALE	AS SHOWN
DATE	08/15/24

DATE: 8/15/24
DRAWN: SERGIO C. LABISTE P.E. # 61173
CHECKED: [Blank]

PROPOSED PAVING, GRADING, DRAINAGE PLAN AND SECTIONS

THIS DRAWING IS THE PROPERTY OF CARLAB, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CARLAB, INC. ALL RIGHTS ARE RESERVED. APPROVALS AND COMMENTS ARE OBTAINED AND COMPLETED BY THE DESIGNER AND CONTRACTOR. REVISIONS SHALL BE INDICATED BY A NUMBERED CIRCLE AND A LETTER. SEE THE REVISIONS AND COMMENTS SHEET FOR A COMPLETE LIST OF REVISIONS. DATE OF THE REVISIONS IS INDICATED IN THE REVISIONS AND COMMENTS SHEET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES.



NYLOPLAST YARD DRAIN



CARLAB, INC.

ENGINEERS AND PLANNERS
 CERTIFICATE OF AUTHORIZATION #1419
 8730 W. 25 STREET MIAMI, FL 33149
 TEL: 305.455.1144 FAX: 305.226.4518
 E-MAIL: CARLAB@CARLABINC.COM

PROJECT NAME:
NEW 2-STORY SFR AT 165 BISCAY DR., BAL HARBOUR
 165 BISCAY DR. BAL HARBOUR, FL 33154
 FOLIO: 12.2226-002.2120

REVISIONS	DATE	BY
1	8/15/24	AM

CARLAB INC PROJECT NUMBER	2509-2429
DRAWN	AM
CHECKED	MM
DESIGNED	AM
SCALE	AS SHOWN
DATE	8/15/24

DESIGNER:
 SERGIO C. LABISTE P.E. # 61173

STANDARD DETAILS

8447 NUMBER
C-3

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BAL HARBOUR

- VILLAGE -

Master Permit # ARB2025-0017

Sub Permit #:

Revision #:

Address: 165 BISCAY DR

Folio #: 1222260022120

MDC Process #:

MDC Tracking #:

MDC Permit #:

Job Description: NEW 2 STORY RESIDENCE

OFFICE USE ONLY

<input checked="" type="checkbox"/> ZONING / LANDSCAPING	Approved	Date	Disapproved	<input checked="" type="checkbox"/> BUILDING	Approved	Date	Disapproved	<input type="checkbox"/> STRUCT.	Approved	Date	Disapproved		
	Date	11/20/26	12/5/25		WJM	4220	11-25-25						
	Initials	WJM					1-22-26						
<input type="checkbox"/> ROOFING	Approved	Date	Disapproved	<input type="checkbox"/> ELECT.	Approved	Date	Disapproved	<input type="checkbox"/> MECH.	Approved	Date	Disapproved		
	Date					Date					Date		
	Initials					Initials					Initials		
<input type="checkbox"/> PLUMBING	Approved	Date	Disapproved	<input checked="" type="checkbox"/> FLOOD	Approved	Date	Disapproved	<input type="checkbox"/>	Approved	Date	Disapproved		
	Date					11-25-25					Date		
	Initials					Initials					Initials		
<input checked="" type="checkbox"/> PUBLIC WORKS / UTILITIES	Approved	Date	Disapproved	MDC REQUIRED: <input type="checkbox"/> YES <input type="checkbox"/> NO									
	Date	2/25/26	11/25/25									JW	
	Initials	JW	1/20/25									JW	

PLANS CHECKED OUT

DATE	NAME
12/10/25	Fiorella Salamanna
08/23/26	Fiorella Salamanna

PLANS CHECKED IN

DATE	NAME
11/20/26	Fiorella Salamanna
	Fiorella Salamanna
	Fiorella Salamanna
	Fiorella Salamanna

k: _____ Date: ___/___/___

	AMOUNTS
UPFRONT FEE PAID	
PERMIT FEE	
DBPR SURCH. STATE	
DCA SURCH. BUILDING	
CODE COMPLIANCE FEE	
PUBLIC WORKS FEE	
LANDSCAPE FEE	
UTILITIES FEE	
ZONING FEE	
SCANNING FEE	
REVISION FEE	
RE-WORK REVIEW	
WORK W/O PERMIT FEE	
BALANCE DUE:	

VNA
BISCAY HARBOUR
 - VILLAGE -

The undersigned Agent/Owner request(s) Architectural Review Board review of the following application(s):

New Building (\$2,500.00) Alteration/ Additions (\$1,000.00) Revision (\$250.00)

PROJECT INFORMATION

Street Address of the Subject Property: 165 Biscay dr Bal Harbor FL, 33154

Property/Project Name: 165 Biscay

Legal description: Lot(s) Lot 21 Full Legal Lot 21, Block 11 of Residential

Block(s) Block 11 of Residential Section(s) of Bal harbor Harbor, PB 44, PG 98

Folio No. 12-2226-002-2120

Owner(s): Frank McPhillips, Trustee of 165 Biscay trust u/i/d March 25, 2024

Mailing Address: 165 Biscay Drive, Bal harbor, FL 33154

Telephone: 305-374-0448

Fax _____

Other _____

Email Frank

@ flm law firm . com

Architect(s)/Engineer(s): Jorge A GARRA

Architect(s)/Engineer(s) Mailing Address: 605 Lincoln Road, Suite 302, miami Beach, FL

Telephone: Business _____

Fax _____

Other _____

Email _____

Ag@ Ag-architecture . com

PROJECT INFORMATION

Project Description(s): New 2 - story residence

Estimated project cost*: ~~2,544,191.00~~ \$3,927,600.00

(*Estimated cost shall be +/- 10% of actual cost)

Date(s) of Previous Submittal(s) and Action(s): _____

Landscaping

- 11" x 17" landscaping plans and elevations, including plant list detailing the types of plants and/or trees, their size at planting, amount of plants and/or trees, and/or square footage of planting areas. Indicate the disposition of existing trees.
- 4" x 6" colored photographs (NO black & white photos), printed on 11" x 17" sheets.
- Survey (see submittal requirements on pages 4 and 5)

Railings/Ironwork

- 11" x 17" site plans and elevation drawings (1/4" = 1' scale), installation drawings and details for railings (linear footage, height, color and type of railing). (a survey cannot serve as the site plan).
- 4" x 6" colored photographs (NO black & white photos), printed on 11" x 17" sheets.
- Survey

Roofs (New or Re-roof)

- Photographs must show existing roof tile; proposed area of work, and the entire front of the structure. 4" x 6" colored photographs (NO black & white photos), printed on 11" x 17" sheets.
- Sample of roof tile or material to be installed.
- Roof Plan indicating slopes

Signs (all signs require council approval) and are required to comply with Chapter 15 of the Village Zoning Code.

- Plans including the following: complete building elevation drawings with signs (1/2" = 1' scale); site plan showing location of signs; detail drawings including anchor patterns, all parts and fasteners, color, dimensions, and style of letters. Include mounting details and electrical drawings, if applicable. Provide drawings and calculations for signs on buildings over three stories in height, for freestanding signs, blade signs, etc. by an engineer. **Include all existing signage.** (A survey cannot serve as the site plan).
- Completed signed and notarized Building Permit Application.
- 4" x 6" colored photographs (NO black & white photos). Submitted photos must show the entire building and the location of the proposed signage, printed on 11" x 17" sheets.
- Photos with the sign superimposed
- Survey; if the sign is not painted directly on the building



NOTE: BOTH SIGNATURES OR AFFIRMATION/CONSENT ARE REQUIRED

Owner / Representative Printed Name: <u>Vaughn Brevegemann</u>			Architect(s)/Engineer(s) Print Name: <u>Jorge A. Gamarra</u>		
Owner / Representative Signature: 			Architect(s)/Engineer(s) Signature: 		
Address: <u>9181 W Bay Harbor Dr Bay Harbor Islands</u>			Address: <u>605 Lincoln Road, Suite 302, Miami Beach</u>		
Telephone: <u>561-735-2358</u>	Fax:	Email: <u>Vaughn@TCmail.com</u>	Telephone: <u>305-310-8206</u>	Fax:	Email: <u>Ag@Ag-Architecture.com</u>

Architect/Engineer Seal:		
--------------------------	--	--

NOTARIZATION

STATE OF FLORIDA
COUNTY OF MIAMI-DADE

Sworn to or affirm and subscribed before me this 20 day of November, in the year 2025 by Karla Martinez who has taken an oath and is personally known to me or has produced as identification.

My Commission Expires: _____

Notary Public **Karla Martinez**
Comm.: HH 356916
Expires: February 1, 2027
Notary Public - State of Florida

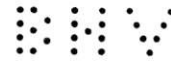
NOTARIZATION

STATE OF FLORIDA
COUNTY OF MIAMI-DADE

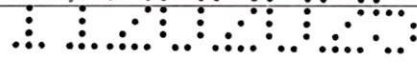
Sworn to or affirm and subscribed before me this 20 day of November, in the year 2025 by Karla Martinez who has taken an oath and is personally known to me or has produced as identification.

My Commission Expires: _____

Notary Public **Karla Martinez**
Comm.: HH 356916
Expires: February 1, 2027
Notary Public - State of Florida



Applicant / Owner / Architect / Engineer Affirmation and Consent



I acknowledge, affirm, and certify to all of the following:



1. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Plan and Code of Ordinances of Bal Harbour Village unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
2. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
3. Understand that the application, all attachments and fees become a part of the official records of Bal Harbour Village and are not returnable.
4. All application representatives have registered with and completed lobbyist forms for the Bal Harbour Village City Clerk's office.
5. Understand that under Florida Law, all the information submitted as part of the application are public records.
6. Failure to provide the information required for submittal/necessary for review by the Architectural Review Board may cause the application to be deferred without review.
7. That applications for Architectural Review Board review require the presence of the applicant and/or architect/engineer at the meeting unless otherwise notified.
8. All fees shall be paid at the time of submittal.
9. A written narrative explaining the architectural style of the proposed building or alteration
10. I have received consent from the owner of the property to file this application.

Kaiti Mathews
 Comm. #11 328818
 Florida, February 1, 2023
 Bal Harbour Village, Florida



Kaiti Mathews
 Comm. #11 328818
 Florida, February 1, 2023
 Bal Harbour Village, Florida





EXHIBIT E



REQUEST FOR ADMINISTRATIVE REVIEW OF REVISIONS TO APPROVED ARB SUBMITTAL

E-1: BUILDING OR STRUCTURE REVISION TO ARB

To qualify for an administrative review the proposed revision to the external architectural features must not be a material deviation from the approved ARB plans, specifications, drawings, materials and conditions of approval. The External Architectural features as defined in Section 5.5-2(b)(11) is defined as follows:

The architectural style and general arrangement of such portion of a building or structure as is designated to be open to view from a public street, place or way, including the kind, color, and texture of the building material of such portion and type of window, doors and lights attached or ground signs, and other fixtures appurtenant to such portion.

The Building Official determines whether the deviation is material. See 5.5-2(d)(2)

Submittal Requirements for Administrative Review for Revisions to Approved Building or Structure:

Architect to submit a signed and sealed narrative explaining the architectural revisions and reason for the revision.

Architect to submit the previously approved ARB project and the proposed revised plans with the revisions bubbled in.

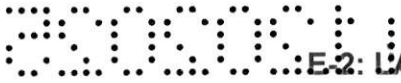
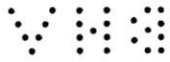
Architect to explain in the narrative how or why the revision is not a material deviation to the architectural design elements as shown in the approved plans.

If the proposed revision involves architectural elements that can be seen from the public ROW they must be minor in nature and not consist of a material deviation from the plans approved by the ARB.

Architect to request meeting with Building Official to present revision and obtain administrative approval.

Approved : _____ Denied: _____ see attached Deficiency

Building Official Approval Signature: _____ Date of Approval: _____



E-2: LANDSCAPE REVISION TO ARB



Request for Administrative Review of Revisions to Approved ARB Submittal Landscape Plans

To qualify for an administrative review the proposed revision to the external architectural features must not be a material deviation from the approved ARB plans, specifications, drawings, materials and conditions of approval. The External Architectural features as defined in Section 5.5-2(b)(11) is defined as follows:

The architectural style and general arrangement of such portion of a building or structure as is designated to be open to view from a public street, place or way, including the kind, color, and texture of the building material of such portion and type of window, doors and lights attached or ground signs, and other fixtures appurtenant to such portion.

The Building Official determines whether the deviation is material. See 5.5-2(d)(2)

Landscape Architect to submit a signed and sealed narrative explaining the landscape revisions and reasons for the revision. Landscape Architect shall provide certified letter demonstrating compliance with Miami-Dade County Chapter 18A.

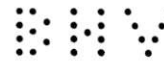
Landscape Architect to submit the previously approved ARB landscape plan and proposed revised plans with the revisions bubbled in.

Landscape Architect to explain in the narrative why the revision to the external landscape architectural features is not a material deviation from the approved ARB plans, specifications, drawings, materials and conditions of approval.

Landscape Architect to request meeting with Building Official and Parks & Public Spaces Director to present revision and obtain administrative approval.

Approved: _____ Denied: _____ see attached Deficiency

Building Official Approval Signature: _____ Date of Approval: _____



E-3: MINOR ARB APPLICATION



To qualify for an administrative review the proposed minor scope of work as listed on pages 7 thru 9 of the Minor Application Requirements to the external architectural features must not be a material deviation from the existing design of the building or structure.

The External Architectural features as defined in Section 5.5-2(b)(11) is defined as follows:

The architectural style and general arrangement of such portion of a building or structure as is designated to be open to view from a public street, place or way, including the kind, color, and texture of the building material of such portion and type of window, doors and lights attached or ground signs, and other fixtures appurtenant to such portion.

The Building Official determines whether the deviation is material. See 5.5-2(d)(2)

____ Submittal Requirements for Administrative Review for Revisions to Approved Building or Structure:

Owner to Architect to submit narrative explaining the architectural revisions and reason for the revision.

If the proposed minor work involves architectural elements that can be seen from the public ROW they must be minor in nature and not consist of a material deviation from the design of the existing building or structure.

Architect to request meeting with Building Official to present revision and obtain administrative approval.

Approved: _____ Denied: _____ see attached Deficiency

Building Official Approval Signature: _____ Date of Approval: _____



EXHIBIT B

This instrument prepared by:

Maria V. Currais, Esq.
Weiss Serota Helfman Cole & Bierman, P.L.
2525 Ponce de Leon Blvd, Suite 700
Coral Gables, Florida 33134
(305) 854-0800

Folio Number _____

HOLD HARMLESS AGREEMENT

THIS HOLD HARMLESS AGREEMENT ("Hold Harmless Agreement") dated _____, 20__, is made by _____ (collectively, "**Owner**") in favor of BAL HARBOUR VILLAGE, a Florida municipal corporation ("**Village**").

RECITALS:

- A. Owner is the owner of the following described real property located at _____, in Bal Harbour Village, Miami-Dade County, Florida (the "**Property**"):
 - Lot ____, Block ____, RESIDENTIAL SECTION OF BAL HARBOUR, according to the Plat thereof recorded in Plat Book 44, at Page 98 of the Public Records of Miami-Dade County, Florida (Folio # _____).
- B. Simultaneously herewith the Village has granted the Owner Permit Number # _____ (the "**Permit**") for the following work _____ (the "**Permitted Work**"). The Permitted Work will be located within the current five foot easement located in the rear and, if a corner lot, on the side of the Property ("**Rear Utility Easement**").
- C. In connection with and as consideration for granting of the Permit, the Owner and Owner's successors or assigns hereby agree to hold the Village harmless against any and all claims, demands, damages or suits by any utility providers or other third party that may arise due to the Owner's use of the Rear Utility Easement area.

AGREEMENT:

NOW, THEREFORE, in consideration for granting of the Permit, and for other good and valuable consideration, the receipt and sufficiency of which is acknowledged, the Owner, on behalf of itself and on behalf of any of its successors or assigns, hereby agrees as follows:

- 1. Owner acknowledges that the Village does not have the authority to alter or terminate the easement rights of any utility providers or other third party which has the right to use the Rear Easement Area; therefore, such entities may object to the use of the Rear Utility Easement by the Owner in the manner set forth in the Permit and may require Owner to permanently or temporarily remove any or all of the Permitted Work.
- 2. Owner agrees to indemnify, defend and hold harmless and forever release and discharge the Village and its employees, officers, agents and authorized personnel from any and all claims, actions, damages or liability, including the costs of any suit, attorneys' fees at trial and on appeal, and any other expenses in connection therewith that may arise out of, or in connection with, any utility providers or other third party

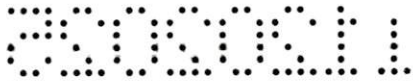
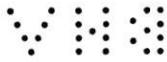


EXHIBIT C

This instrument prepared by:

Maria V. Currais, Esq.
Weiss, Serota, Helfman, Cole & Bierman, P.L.L.C.
2525 Ponce de Leon Blvd., Suite 700
Coral Gables, Florida 33134
Telephone: 305.854.0800

Folio Number _____

GRANT OF UNDERGROUND EASEMENT
ON RESIDENTIAL PARCELS

THIS GRANT OF UNDERGROUND EASEMENT dated _____, 20____
is made by _____ ("Grantor"), whose mailing address is _____
_____, and **BAL HARBOUR VILLAGE**, a Florida municipal
corporation ("**Village**"), whose mailing address is 655-96th Street Bal Harbour, Florida 33154.

RECITALS

Grantor is the sole owner and holder of the underlying fee title to certain real property located at _____ in Bal Harbour Village, Miami-Dade County, Florida, and more particularly described in **Exhibit A** attached to and made a part of this Grant of Underground Easement (the "**Property**").

The Property includes a private street as shown in the RESIDENTIAL SECTION OF BAL HARBOUR, according to the Plat thereof recorded in Plat Book 44, Page 98, of the Public Records of Miami-Dade County.

Under Florida law, Grantor is the owner and holder of the underlying fee title to the portions of the street abutting the Property, up to the centerline of the street.

Grantor has agreed to grant to Village a perpetual underground easement on, over, across and under the street portion of the Property, as more particularly described in attached **Exhibit B** (the "**Underground Easement Parcel**") for the construction, installation, maintenance, repair, removal and replacement of all utility facilities and related accessory uses ("**Underground Facilities**") owned, operated, or maintained by Village now or at any time in the future.

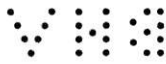
AGREEMENT

1. **Grant of Underground Easement.** Subject to the restrictions and limitations set forth herein and for Ten Dollars and other good and valuable consideration, the receipt of which is acknowledged by Grantor, Grantor hereby grants to Village a perpetual non-exclusive easement ("**Easement**") upon, over, across, and under the Underground Easement Parcel solely for the underground construction, installation, inspection, operation, maintenance, repair, replacement, and removal of Underground Facilities. Grantor acknowledges that the Easement will be utilized by Village and its employees, agents, contractors, successors and assigns.
2. **Ingress and Egress.** The Easement hereby granted includes a right of ingress and egress, and grants to Village and its employees, agents, contractors, successors and



assigns, full right and authority to enter upon and excavate the Underground Easement Parcel for the purposes set forth in this instrument.

3. **Temporary License.** Grantor also grants Village a license to temporarily locate equipment on portions of the Property adjacent to the Easement Area to the extent reasonably necessary for Village to carry out the construction, installation, inspection, operation, maintenance, repair, replacement, and removal of Underground Facilities. Village shall only use the temporary license hereby granted in a manner that does not adversely impact Grantor's access to or use and enjoyment of its property.
4. **Village's Use of Easement.** Village shall have the right to do all things necessary, useful or convenient for the maintenance of the Easement and for the construction, installation, inspection, operation, maintenance, repair, replacement, and removal of Underground Facilities in the Easement so long as those activities do not unreasonably interfere with Grantor's access to or use of its property.
5. **Quiet Enjoyment of Easement.** Grantor represents that it is lawfully seized and possessed of the Underground Easement Parcel, and that Grantor has the right to enter into and convey the Easement. Grantor covenants that Village shall have quiet and peaceful possession, use and enjoyment of the Easement.
6. **Restoration of Underground Easement Parcel.** Upon completion of any work by Village in the Underground Easement Parcel, Village shall restore the Underground Easement Parcel and any affected portions of the Property to the condition existing prior to the utility work, at no cost or expense to Grantor, unless such restoration is required due to the acts or omissions of Grantor. In exercising its rights hereunder, Village will use reasonable efforts to minimize any impacts to Grantor's ongoing activities on the Property. At no time will the Village's activities on the Underground Easement Parcel interfere with ingress or egress to and from the Property by residents, guests, employees and invitees.
7. **Indemnification.** To the extent permitted by law, Village agrees to indemnify and hold Grantor harmless from and against any and all damages, liabilities, fees and costs arising out of the exercise of Village's rights under this Grant of Underground Easement.
8. **Services in the Underground Easement Parcel.** The Underground Easement hereby granted is intended to include all mechanical, electronic, energy, water and sewer services which may now or in the future be considered utilities.
9. **Covenant Running with the Land.** This Grant of Underground Easement is a covenant running with the land and is binding upon and inures to the benefit of Grantor and Village and their respective successors and assigns.
10. **Rights Reserved.** The easement rights and temporary license granted herein are non-exclusive in nature and are subject to all matters of record. Grantor shall have the right to use the Property, or any portion thereof, or any property of Grantor adjoining the Property for any purpose not inconsistent with the full use and enjoyment of the rights granted herein in favor of Village.



11. **Amendment or Termination.** This Grant of Underground Easement may be amended, modified or terminated only by a written instrument signed by both parties or their respective successors and assigns, which instrument will only become effective when recorded in the Public Records of Miami-Dade County, Florida.
12. **Governing Laws.** The laws of the State of Florida will govern the interpretation, validity, performance and enforcement of this Grant of Underground Easement. Venue for any action brought under this Grant of Underground Easement will be in Miami-Dade County, Florida.
13. **Above Ground Structures.** No building, structures, barriers, or other above ground improvements may be built by the Village across the Underground Easement Parcel; provided however, nothing in this Grant of Underground Easement shall be construed as prohibiting the installation of meters, manhole covers, and other ancillary structures needed for the operation, access, or maintenance of any of the Underground Facilities all of which are specifically allowed to be installed and located on the surface area above the Underground Easement Parcel.
14. **Use of the Above Ground Area.** Grantor may continue to use the surface area above the Underground Easement Parcel which is not presently being used as a street for driveway and landscaping (e.g., planters) as exists on the date of this Grant of Underground Easement so long as such uses do not interfere with the Village's access and use of the Underground Easement Parcel.
15. **Insurance of Underground Facilities.** Village shall at all times insure all Underground Facilities in the same manner as it presently does for any other underground facilities installed by the Village. The Village shall maintain the Underground Easement Parcel in good condition; provided however the Village shall not be responsible to maintain or repair any driveways, landscape areas, or such other items Grantor has installed, constructed or placed on the surface of the Underground Easement Parcel.
16. **Mineral Rights.** This Grant of Underground Easement does not hereby convey unto the Village the right to any mineral rights located on, in or under the Underground Easement Parcel unless such rights are already held by the Village in which case the Village retains such rights.
17. **Public Rights to the Underground Easement Parcel.** Although the Underground Facilities will provide service to more individuals than just the Grantor, nothing contained in this Grant of Underground Easement is intended to evidence of be, or shall ever be construed or interpreted as, a dedication of any right or interest in or to the public, nor give any member of the public any rights of interest whatsoever under this Grant of Underground Easement.
18. **Matters of Record.** This Grant of Underground Easement is subject to all matters of record affecting the Underground Easement Parcel as of the date hereof none of which



are sought to be reimposed. In no event shall the Underground Easement Parcel or any part thereof be used by the Village for any purpose in violation of applicable ordinances, laws, or regulations.



19. **Assignment by Village.** Grantor hereby confirms that the Village may partially assign its rights hereunder to third party providers of utilities (the "**Private Providers**"). The Private Providers shall have the right to use the Underground Easement Parcel for the construction, installation, maintenance, repair, removal and replacement of utility facilities and related accessory uses ("**Private Provider Facilities**") in the same manner as the Village. The Private Providers use of the Underground Easement Parcel is subject to their compliance with all of the Village's obligations under this Grant of Underground Easement including, but not limited to, restoration of the Underground Easement Parcel set forth in paragraph 6. The Village hereby agrees that it will notify the Owner of any assignment of the Village's rights and obligations to a Private Provider. Any Private Provider that has been assigned rights hereunder shall, to the extent permitted by law, indemnify and hold Grantor and the Village harmless from and against any and all damages, liabilities, fees and costs arising out of the exercise of Private Provider's rights under this Grant of Underground Easement.

[SIGNATURE BLOCKS ON FOLLOWING PAGES]

BHV

EXHIBIT 1 of C

130025

LEGAL DESCRIPTION OF PROPERTY

BUILDING

Lot ____, Block ____, RESIDENTIAL SECTION OF BAL HARBOUR, according to the Plat thereof recorded in Plat Book 44, Page 98, of the Public Records of Miami-Dade County.

EXHIBIT 2 of C

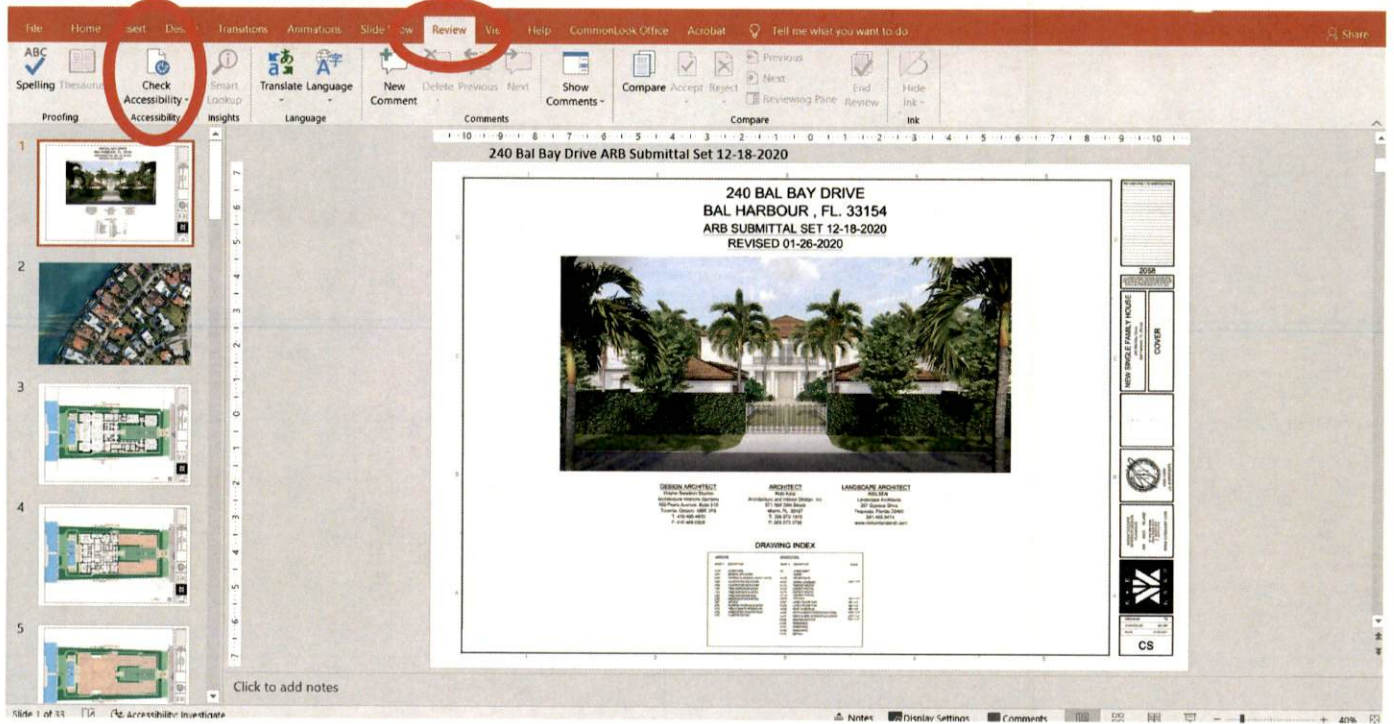
LEGAL DESCRIPTION AND SURVEY OF UNDERGROUND EASEMENT PARCEL

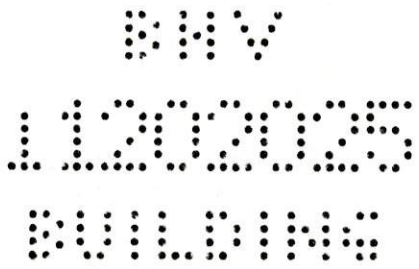


EXHIBIT D

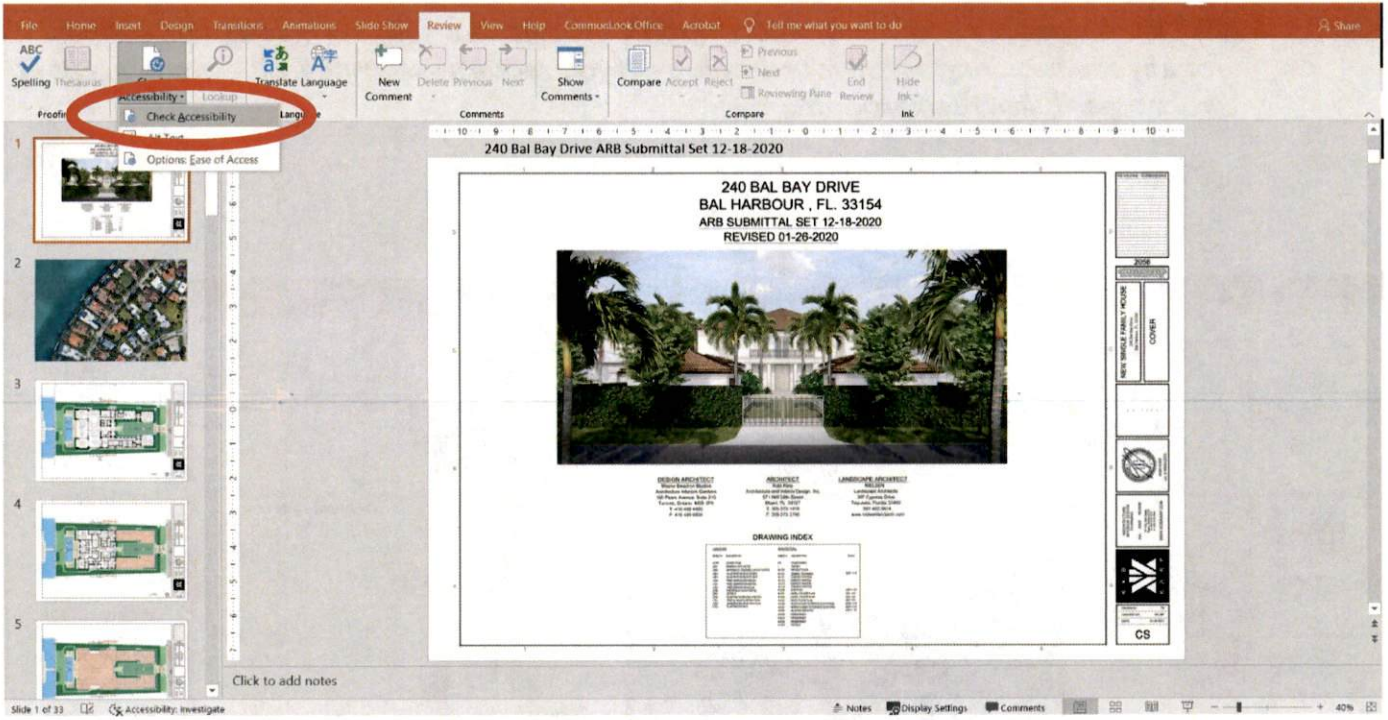
Instructions for Ensuring the Accessibility of PowerPoint

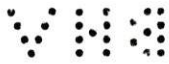
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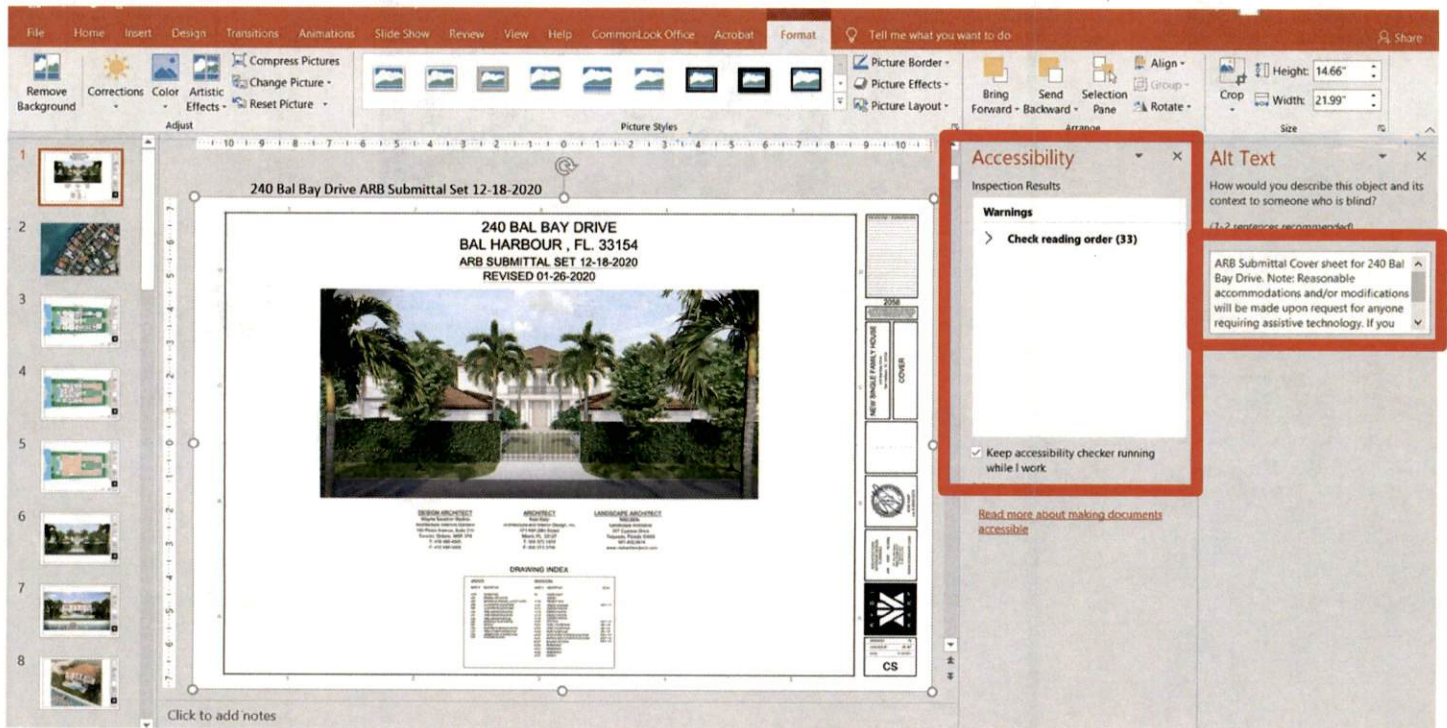
(2) Select Check Accessibility.





(3) Review the inspection results, and address any issues. Please provide alternate text for any images; this will include a brief description of the image, as well as the Village's disclaimer language (below):

Note: Reasonable accommodations and/or modifications will be made upon request for anyone requiring assistive technology. If you require assistance, please contact us at webaccessibility@balharbourfl.gov.





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- [Unlicensed Activity Search](#)
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LICENSEE DETAILS

1:11:48 PM 1/21/2026

Licensee Information

Name:	GAMARRA, JORGE A (Primary Name) ARCHITECTURA GROUP INC; BRG STUDIO LLC (DBA Name)
Main Address:	605 LINCOLN ROAD SUITE 302 MIAMI BEACH Florida 33139
County:	DADE

License Information

License Type:	Architect
Rank:	Architect
License Number:	AR0017394
Status:	Current,Active
Licensure Date:	05/14/2001
Expires:	02/28/2027

Special Qualifications

Qualification Effective

--

Alternate Names

--

[View Related License Information](#)

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2601 Blair Stone Road, Tallahassee FL 32399 :: Email: [Customer Contact Center](#) :: Customer Contact Center: 850.487.1395

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Licensee

Name:	GAMARRA, JORGE A	License Number:	AR0017394
Rank:	Architect	License Expiration Date:	02/28/2027
Primary Status:	Current	Original License Date:	05/14/2001
Secondary Status:	Active		

Related License Information

License Number	Status	Related Party	Relationship Type	Relation Effective Date	Rank	Expiration Date
	Current	ARCHITECTURA GROUP INC	Qualifying Architect	09/13/2005	Architect Business Information	
	Current	ARCHITECTURA GROUP INC	Responsible Supervisor	09/13/2005	Architect Business Information	
	Current	BRG STUDIO LLC	Qualifying Architect	02/04/2016	Architect Business Information	
	Current	BRG STUDIO LLC	Responsible Supervisor	02/04/2016	Architect Business Information	

April 10, 2026

Architecture Review Board
Planning and Zoning Department
Bal Harbour Village
Village Hall
655 96th Street
Bal Harbour, FL 33154

Re: Letter of Intent – Design Review Approval Proposed Two-Story Single-Family Residence 165 Biscay Drive, Bal Harbour, Florida 33154

Dear Members of the Architecture Review Board,

This firm represents Frank McPhillips (the “Applicant”), owner of the property located at 165 Biscay Drive (the “Property”). This letter serves as the Applicant’s formal request for Architecture Review Board (ARB) approval for the construction of a new two-story single-family residence.

Property Description

The Property is identified by Miami-Dade County Folio No. 12-2226-002-2120. It consists of approximately 11,560 square feet, with dimensions of 85 feet in width and 136 feet in depth.

The site is located within the R-2 Single-Family Residential Zoning District. The surrounding neighborhood includes a mix of one- and two-story single-family homes. Adjacent properties to the north (155 Biscay Drive) and south (211 Biscay Drive) are both two-story residences with pitched roofs.

Proposed Development

The Applicant proposes the construction of a new elevated two-story single-family residence totaling approximately 6,481 square feet of air-conditioned space.

The design incorporates the following materials:

- 1 Stone
- 2 Stucco
- 3 Clear glazing
- 4 Select metallic elements

The project includes thoughtfully designed landscaping to enhance the appearance of the property while providing privacy for both the residence and neighboring homes.

Conclusion

The proposed residence represents a carefully designed project that will enhance the architectural character of the neighborhood. The design reflects consideration of surrounding properties, including their scale, height, and proportions.

The Applicant has taken deliberate steps to minimize potential impacts on adjacent properties. The project is fully compliant with all applicable regulations.

We respectfully request approval of the proposed design. If you have any questions or require additional information, please contact me at (786) 537-6886.

Sincerely,

Jorge A. Gamarra, RA, NCARB
License No. AR0017394

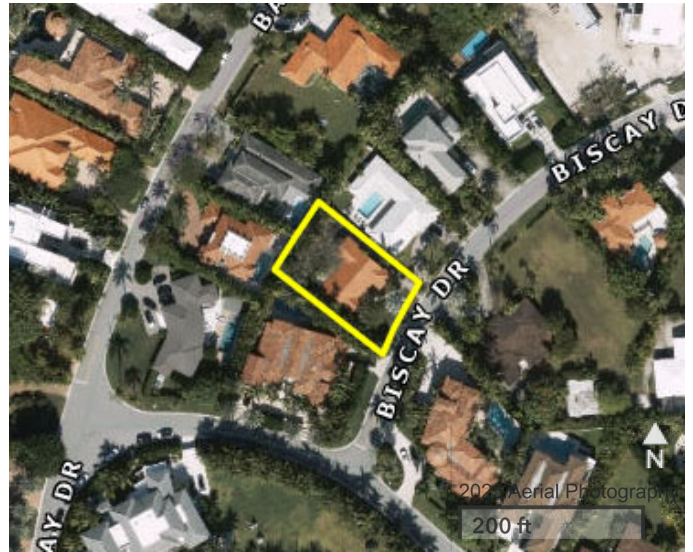


PROPERTY APPRAISER OF MIAMI-DADE COUNTY

Detailed Report

Generated On: 04/17/2026

PROPERTY INFORMATION	
Folio	12-2226-002-2120
Property Address	165 BISCAY DR BAL HARBOUR, FL 33154-0000
Owner	FRANK MCPHILLIPS TRS , 165 BISCAY TRUST
Mailing Address	165 BISCAY DR BAL HARBOUR, FL 33154
Primary Zone	0800 SGL FAMILY - 1701-1900 SQ
Primary Land Use	0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT
Beds / Baths /Half	2 / 3 / 0
Floors	1
Living Units	1
Actual Area	2,611 Sq.Ft
Living Area	2,120 Sq.Ft
Adjusted Area	2,348 Sq.Ft
Lot Size	11,560 Sq.Ft
Year Built	Multiple (See Building Info.)



ASSESSMENT INFORMATION				
Year	2025	2024	2023	
Land Value	\$4,624,000	\$4,392,814	\$4,392,814	
Building Value	\$98,616	\$302,892	\$302,892	
Extra Feature Value	\$5,333	\$5,389	\$5,443	
Market Value	\$4,727,949	\$4,701,095	\$4,701,149	
Assessed Value	\$4,727,949	\$2,041,023	\$1,855,476	

BENEFITS INFORMATION				
Benefit	Type	2025	2024	2023
Non-Homestead Cap	Assessment Reduction		\$2,660,072	\$2,845,673

Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).

TAXABLE VALUE INFORMATION				
Year	2025	2024	2023	
COUNTY				
Exemption Value	\$0	\$0	\$0	
Taxable Value	\$4,727,949	\$2,041,023	\$1,855,476	
SCHOOL BOARD				
Exemption Value	\$0	\$0	\$0	
Taxable Value	\$4,727,949	\$4,701,095	\$4,701,149	
CITY				
Exemption Value	\$0	\$0	\$0	
Taxable Value	\$4,727,949	\$2,041,023	\$1,855,476	
REGIONAL				
Exemption Value	\$0	\$0	\$0	
Taxable Value	\$4,727,949	\$2,041,023	\$1,855,476	

The information contained herein is for ad valorem tax assessment purposes only. The Property Appraiser of Miami-Dade County is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser of Miami-Dade County and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <https://www.miamidadepa.gov/pa/disclaimer.page>



PROPERTY APPRAISER OF MIAMI-DADE COUNTY

Generated On: 04/17/2026

Property Information

Folio: 12-2226-002-2120

Property Address: 165 BISCAY DR

Roll Year 2025 Land, Building and Extra-Feature Details

LAND INFORMATION						
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value	
GENERAL	R-2	0800	Square Ft.	11,560.00	\$4,624,000	

BUILDING INFORMATION						
Building Number	Sub Area	Year Built	Actual Sq.Ft.	Living Sq.Ft.	Adj Sq.Ft.	Calc Value
1	3	1972	120	0	60	\$2,520
1	2	1959	56	56	56	\$2,352
1	1	1949	2,435	2,064	2,232	\$93,744

EXTRA FEATURES			
Description	Year Built	Units	Calc Value
Patio - Concrete Slab w/Roof Aluminum or Fiber	2000	305	\$2,086
Patio - Brick, Tile, Flagstone	1974	384	\$2,534
Patio - Brick, Tile, Flagstone	1974	108	\$713

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PROPERTY APPRAISER OF MIAMI-DADE COUNTY

Generated On: 04/17/2026

Property Information

Folio: 12-2226-002-2120

Property Address: 165 BISCAY DR

Roll Year 2024 Land, Building and Extra-Feature Details

LAND INFORMATION						
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value	
GENERAL	R-2	0800	Front Ft.	85.00	\$4,392,814	

BUILDING INFORMATION						
Building Number	Sub Area	Year Built	Actual Sq.Ft.	Living Sq.Ft.	Adj Sq.Ft.	Calc Value
1	3	1972	120	0	60	\$7,740
1	2	1959	56	56	56	\$7,224
1	1	1949	2,435	2,064	2,232	\$287,928

EXTRA FEATURES			
Description	Year Built	Units	Calc Value
Patio - Concrete Slab w/Roof Aluminum or Fiber	2000	305	\$2,114
Patio - Brick, Tile, Flagstone	1974	384	\$2,556
Patio - Brick, Tile, Flagstone	1974	108	\$719

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PROPERTY APPRAISER OF MIAMI-DADE COUNTY

Generated On: 04/17/2026

Property Information

Folio: 12-2226-002-2120

Property Address: 165 BISCAY DR

Roll Year 2023 Land, Building and Extra-Feature Details

LAND INFORMATION						
Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value	
GENERAL	R-2	0800	Front Ft.	85.00	\$4,392,814	

BUILDING INFORMATION						
Building Number	Sub Area	Year Built	Actual Sq.Ft.	Living Sq.Ft.	Adj Sq.Ft.	Calc Value
1	3	1972	120	0	60	\$7,740
1	2	1959	56	56	56	\$7,224
1	1	1949	2,435	2,064	2,232	\$287,928

EXTRA FEATURES			
Description	Year Built	Units	Calc Value
Patio - Concrete Slab w/Roof Aluminum or Fiber	2000	305	\$2,141
Patio - Brick, Tile, Flagstone	1974	384	\$2,577
Patio - Brick, Tile, Flagstone	1974	108	\$725

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PROPERTY APPRAISER OF MIAMI-DADE COUNTY

Generated On: 04/17/2026

Property Information

Folio: 12-2226-002-2120

Property Address: 165 BISCAY DR

FULL LEGAL DESCRIPTION

PB 44-98
BAL HARBOUR RESIDENTIAL SEC
LOT 21 BLK 11
AND PROP INT IN & TO COMMON
ELEMENTS NOT DEDICATED TO PUBLIC
LOT SIZE 85.000 X 136
OR 20887-4870 12 2002 1

SALES INFORMATION

Previous Sale	Price	OR Book-Page	Qualification Description
04/13/2024	\$5,850,000	34188-2632	Qual by exam of deed
12/01/2002	\$870,000	20887-4870	Sales which are qualified
12/01/1971	\$56,600	00000-00000	Sales which are qualified

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